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**NOTICE
OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

REGULAR MEETING – VIRTUAL

Participate through this Zoom link:
<https://us02web.zoom.us/j/81715945393>

Or by calling: 1-929-205-6099
Meeting ID: 817 1594 5393

(Refer to the www.oshtemo.org home page or the third page of this packet for additional virtual meeting information)

**THURSDAY, JULY 29, 2021
6:00 P.M.**

AGENDA

- a) Call to Order
- b) Roll Call and Remote Location Identification
- c) Pledge of Allegiance
- d) Approval of Agenda
- e) Approval of Minutes: June 24th
- f) **Public Hearing: Special Use, T-Shirt Printing Plus Building Addition**
Delta Design Systems, on behalf of the owner, Gary Peshl, is requesting site plan and special use approval to construct a 7,800 square foot addition onto the existing building located at 8608 W Main Street.
- g) **Public Hearing: Special Use, Huntington Run Mobile Home Park Expansion**
Huntington Run Partners LLC is requesting site plan and special use approval to expand the Huntington Run Mobile Home Park onto a neighboring 8-acre parcel to the west. The proposed expansion would provide an additional 31 mobile home units to the park.
- h) Public Comment
- i) Other Updates and Business
- j) Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email (oshtemo@oshtemo.org), walk-in visits, or by appointment.

b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)
(revised 5/14/2013)
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday 8:00 am- 5:00 pm, and on Friday 8:00 am-1:00 pm. Additionally, questions and concerns are accepted at all hours through the website contact form found at www.oshtemo.org, email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to oshtemo@oshtemo.org and it will be directed to the appropriate person.

Oshtemo Township Board of Trustees		
<u>Supervisor</u>		
Libby Heiny-Cogswell	216-5220	libbyhc@oshtemo.org
<u>Clerk</u>		
Dusty Farmer	216-5224	dfarmer@oshtemo.org
<u>Treasurer</u>		
Clare Buszka	216-5221	cbuszka@oshtemo.org
<u>Trustees</u>		
Cheri L. Bell	372-2275	cbell@oshtemo.org
Kristin Cole	375-4260	kcole@oshtemo.org
Zak Ford	271-5513	zford@oshtemo.org
Kizzy Bradford	375-4260	kbradford@oshtemo.org

Township Department Information			
<u>Assessor:</u>			
Kristine Biddle	216-5225	assessor@oshtemo.org	
<u>Fire Chief:</u>			
Mark Barnes	375-0487	mbarnes@oshtemo.org	
<u>Ordinance Enf:</u>			
Rick Suwarsky	216-5227	rsuwarsky@oshtemo.org	
<u>Parks Director:</u>			
Karen High	216-5233	khigh@oshtemo.org	
Rental Info	216-5224	oshtemo@oshtemo.org	
<u>Planning Director:</u>			
Iris Lubbert	216-5223	ilubbert@oshtemo.org	
<u>Public Works:</u>			
Marc Elliott	216-5236	melliott@oshtemo.org	

Zoom Instructions for Participants

Before a videoconference:

1. You will need a computer, tablet, or smartphone with a speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. If you are going to make a public comment, please use a microphone or headphones with a microphone to cut down on feedback, if possible.
3. Details, phone numbers, and links to videoconference or conference call are provided below. The details include a link to “**Join via computer**” as well as phone numbers for a conference call option. It will also include the 11-digit Meeting ID.

To join the videoconference:

1. At the start time of the meeting, click on this link to [join via computer](#). You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

You may also join a meeting without the link by going to [join.zoom.us](#) on any browser and entering this **Meeting ID: 817 1594 5393**

If you are having trouble hearing the meeting or do not have the ability to join using a computer, tablet, or smartphone then you can join via conference call by following instructions below.

To join the conference by phone:

1. On your phone, dial the teleconferencing number: **1-929-205-6099**
2. When prompted using your touchtone (DTMF) keypad, enter the Meeting ID number: **817 1594 5393#**

Participant controls in the lower-left corner of the Zoom screen:



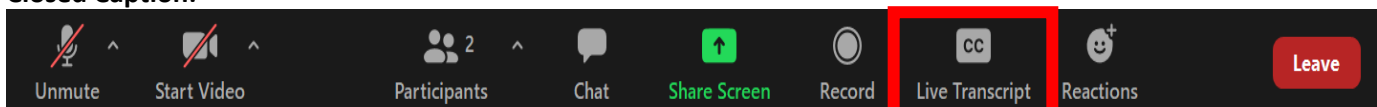
Using the icons at the bottom of the Zoom screen, you can (some features will be locked to participants during the meeting):

- Participants – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand. **This will be used to indicate that you want to make a public comment.**
- Chat – opens pop-up screen that allows participants to post comments during the meeting.

If you are attending the meeting by phone, to use the “Raise Hand” feature **press *9 on your touchtone keypad.**

Public comments will be handled by the “Raise Hand” method as instructed above within Participant Controls.

Closed Caption:



Turn on Closed Caption:

Using the icons at the bottom of the Zoom screen:

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2. Then select “Show Subtitle”.

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**OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

DRAFT MINUTES OF A VIRTUAL MEETING HELD JUNE 24, 2021

Agenda

PUBLIC HEARING: SPECIAL USE, 6480 TECHNOLOGY AVENUE

Corrion 9th LLC was requesting Special Use and Site Plan approval to create two additional tenant spaces within a multi-tenant building located at 6480 Technology Ave. One of the proposed tenant spaces is for a martial arts studio.

PUBLIC HEARING: SPECIAL USE, SPEEDWAY

Speedway LLC was requesting Special Use and Site Plan approval to demolish the existing gas station, dry cleaners, and car wash at 1250 and 1300 S Drake Rd to construct a new 4,608 sq ft convenience store with a 10 dispenser auto fueling canopy.

PUBLIC HEARING: Code Amendment, Nonmotorized

Consideration of amendments to the Township Zoning Ordinance Section 57.90 Sidewalks, for recommendation to the Township Board.

Emberly Acres II Expansion – Sidewalk SAD Request

A virtual meeting of the Oshtemo Charter Township Planning Commission was held Thursday, June 24, 2021, commencing at approximately 6:01 p.m.

**ALL MEMBERS
WERE PRESENT:**

Bruce VanderWeele, Chair
Micki Maxwell, Vice Chair
Kizzy Bradford
Deb Everett
Alistair Smith
Anna VerSalle
Chetan Vyas

LOCATION

Oshtemo
Oshtemo
Kalamazoo
Oshtemo
Oshtemo
Oshtemo
Oshtemo

Also present were Iris Lubbert, Planning Director, Colten Hutson, Zoning Administrator, James Porter, Township Attorney, and Martha Coash, Recording Secretary.

Guests present included Jim Rodbard, Attorney for Brian Corrion, Mandy Gauss, Engineer for Speedway LLC, Jennifer High, Speedway representative, and Paul Schramm, Prime Homes LLC.

Call to Order and Pledge of Allegiance

Chairperson VanderWeele called the meeting to order at approximately 6:00 p.m. and invited those in attendance to join in reciting the Pledge of Allegiance.

Approval of Agenda

Hearing no changes, the Chair let the agenda stand as published. He asked for a motion to approve the Minutes of the Meetings of April 29, 2021, and May 27, 2021.

Approval of the Minutes of the Meeting of April 29, 2021, and May 27, 2021

Ms. VerSalle made a **motion** to approve the Minutes of the Meetings of **April 29, 2021, and May 27, 2021**. Mr. Vyas **seconded the motion**. The **motion passed unanimously** by roll call vote.

Chairperson VanderWeele moved to the next agenda item and asked Mr. Hutson for his presentation

PUBLIC HEARING: SPECIAL USE, 6480 TECHNOLOGY AVENUE

Corrion 9th LLC was requesting Special Use and Site Plan approval to create two additional tenant spaces within a multi-tenant building located at 6480 Technology Avenue. One of the proposed tenant spaces for a martial arts studio.

Mr. Hutson indicated Corrion 9th LLC was requesting Special Use and Site Plan approval to change the composition of the existing building located at 6480 Technology Avenue. Currently serving as a multi-tenant building consisting of two suites, the applicant is seeking to split one of the suites into two. The two new tenant spaces are proposed to serve as an indoor recreational use, in suite B, along with a general office and light manufacturing use, in suite C. If approved, such modifications would provide a total of three tenant spaces at the subject property.

6480 Technology Avenue falls within the I-R: Industrial District, Restricted zoning classification. The proposed indoor recreational use, a martial arts studio, is a permitted Special Use within the I-R: Industrial District, Restricted. Any proposed Special Uses require review and approval from the Planning Commission. The general office and light manufacturing use of this proposal is a permitted use by right within the I-R: Industrial District, Restricted. The office and light manufacturing use that already exists in suite A is a permitted use within said zoning district as well.

When reviewing this Special Use request, there are two sets of criteria that need to be considered: the general Special Use review criteria outlined in Section 65.30, and the general Site Plan review criteria outlined in Section 64. He provided an analysis of the proposal against these two sections as outlined below. Overall, most of the requirements of Section 65.30 and Section 64 have been met.

Section 64: Site Plan Review

General Zoning Compliance:

Zoning: 6480 Technology Avenue is zoned I-R: Industrial District, Restricted and is located within the Oshtemo Business Park. The property

abuts an undeveloped parcel to its north, two industrial land uses to its south and west, along with the business park's stormwater retention pond to its east. All the above are zoned I-R: Industrial District, Restricted. The proposed general office and light manufacturing use is a permitted use by right within the I-R: Industrial District, Restricted. The proposed indoor recreational component of this proposal is a permitted Special Use within the mentioned zoning district. Additionally, 13.7% of the site is proposed to be reserved as open space while the proposed percentage of land covered by buildings is 31%.

Access and Circulation

Access: The site under consideration already has two established access drives adjacent to Technology Avenue. The site is designed to accommodate two-way travel on the west and east sides while allowing only one-way travel on the north and south circulation aisles. Aisles on the proposed site plan vary anywhere between 16 Ft and 49 Ft wide. The eastern circulation aisle is proposed to be reduced from 59 Ft in width to 49 Ft in width to accommodate parking needs. All other circulation aisles will remain their existing widths. The Fire Marshal has reviewed the site plan and found it adequate for emergency vehicle circulation.

Parking: The site currently has 69 parking spaces in total, four of which are ADA accessible. All existing parking stalls are 10 Ft x 20 Ft. Between the existing and proposed uses on-site, the proposed floor plan indicates that there will be a net floor area of 7,767 SF of general office space, 4,197 SF of indoor recreational space, 11,785 SF of manufacturing space, and 1,443 SF of warehouse space. Business and general office space requires one parking space per each 150 SF of net floor area. This would mean that 52 parking spaces are required to accommodate the overall office use at this site. Health and fitness center space requires one parking space per each 200 SF of net floor area and one additional parking space per each employee on the largest shift. The applicant has informed staff their largest shift entails two employees. Considering the number of employees and net floor area, a total of 23 parking spaces for the health and fitness center component would be required. Manufacturing facilities require one and a half parking spaces per each 1,000 SF of net floor area plus the required parking devoted to other uses or one per employee whichever is greater. This means the site would require 19 parking spaces to accommodate the overall manufacturing use at this site. Warehousing facilities require one parking space per each 1,500 SF of net floor area plus the required parking devoted to other uses or one per employee whichever is greater. The parking calculation would require one parking space for the overall warehousing use at this site. After calculating the parking needed for the various uses proposed to occupy the site, a total of 96 parking spaces would be required.

Since the site currently only having 69 parking spaces in total, the parking lot would need to be expanded by an additional 27 parking spaces to accommodate the proposed uses. The applicant proposed to add pavement on the north and east sides of the building to accommodate the necessary 96 parking spaces on-

site. However, the proposed modifications to the existing parking lot would mean the removal of a 10 ft landscape buffer along the north and east property lines. Such a loss would put the site out of compliance with the landscaping ordinance. To help mitigate this issue, the applicant was seeking a parking deviation per Section 52.140: Deviation of the zoning ordinance to not install the eight parallel parking spaces proposed along the northern property line to maintain the landscape buffer on the north side. If granted by the Planning Commission, the parking spaces provided on-site would be reduced from 96 to 88.

The applicant utilized Section 52.70: Mixed Uses in the Same Building or Joint Use of Facilities of the zoning ordinance to justify the deviation request. This section of the Ordinance allows the Planning Commission to approve sites with a multi-tenant building to have less than the required amount of parking needed during peak hours for each respective business if such hours differentiate between each use on site. In essence, this would allow the site to be slightly under parked by strategically selecting tenants who have different hours of operations from each other to ensure the site will still have sufficient parking spaces for customers visiting the site. Both office/light manufacturing uses will have standard operation hours on Monday through Friday. For the proposed martial arts studio, the applicant indicated most classes will take place at 5pm or after. This alternative would allow the landscaping along the north side to remain intact. The applicant's logic behind the requested parking deviation is sound and meets the intent of Section 52.70.

Although the requested deviation would address the concerns with the landscaping on the north side of the property, the landscaping on the east side of the property would have to be addressed through a landscaping deviation per Section 53.150(C): Provisions for Existing Sites of the zoning ordinance.

Easements: No changes to the current easements on-site are proposed. This portion of the review is not applicable.

Shared Use Path: Per Section 57.90: Sidewalks of the zoning ordinance, sidewalks indicated on the Township's Non-motorized Plan shall be installed by the developer when properties adjacent to planned non-motorized facilities receive site plan approval from the municipality. The Township's Non-motorized Plan does identify a 6 Ft wide sidewalk adjacent to the subject site on the east side of S 9th Street. The Township already has a signed SAD agreement form for the deferment of the sidewalk's installation from when the property was originally developed in 2016 (Document Number: 2017-003764). With an agreement already having been executed, no further action on this item was needed.

Sidewalk: Section 57.90: Sidewalks also requires that an interior sidewalk network be provided at the time of a site plan review unless the reviewing body grants a deviation from this provision. Since this is an existing site, an interior sidewalk network already exists on the south side and west side of the building to

service the existing entryways of the two tenant spaces on site. A sidewalk connection that extends along the full length of the building's north side would be required to provide a connection to the proposed tenant entrance near the northeast corner of the building. The installation of sidewalk on the building's north side would enhance the site's overall accessibility. However, the applicant was requesting that the Planning Commission grant a deviation from this requirement as the site was approved and is already built with parking spaces directly abutting the northern elevation of the building. Installing a sidewalk in this location presents a physical challenge as it would mean the parking spaces along the north side of the building would need to be reconfigured. Ultimately the reconfiguration of the parking to accommodate a sidewalk connection would impact the overall width of the northern most circulation aisle or require it to shift north. Reducing the size of the aisle would affect the on-site circulation for delivery trucks and fire apparatus, creating a safety hazard in terms of access. There is not much if any room to allow for the drive aisle to shift north without impacting utilities or encroaching on the required 10 ft wide northern landscaping buffer. In essence, the current layout of the site makes adding a sidewalk along the north side of the building unfeasible. He indicated the Planning Commission would need to discuss this deviation request along with the parking and landscaping deviation to determine if the proposal is suitable for this site.

Building Design

Building Information: The 34,830 SF, one-story building was constructed in 2016 and is approximately 20 Ft tall. The applicant will make some relatively minor changes to the façade by adding windows on the north and east elevations along with new doorway entries on the north elevation to accommodate the new tenant spaces. The elevation sheet submitted with the site plan shows that such exterior modifications will match the existing façade and architectural features of the building. Other than what is mentioned above, no changes to the building's exterior are proposed.

Lot Dimensions: The site under consideration is about 2.57 Acres (112,280 SF) and has approximately 375 Ft of road frontage on Technology Avenue along with 260 Ft of road frontage adjacent to S 9th Street. The parcel exceeds both the property area (13,200 SF minimum) and frontage (120 Ft minimum) requirements of the I-R: Industrial District, Restricted. The site's dimensions satisfy zoning ordinance requirements.

Setbacks: Properties located within Industrial Districts are required to have a minimum front yard setback of 70 Ft. If properties are located along a designated highway within the Township, they are subject to additional setback requirements if greater than what is outlined for the underlying zoning district. The minimum setback requirement for properties adjacent to S 9th Street, a designated highway, is also 70 Ft. With this being a corner property, it is subject to two front yard setbacks. The building is set back 100 Ft from the S 9th Street public right-of-way line and 70 Ft from the Technology Avenue public right-of-way line.

Properties zoned as Industrial are also subject to have a minimum side and rear yard setback of 20 Ft. The building is set back approximately 50 Ft from the northern property line and 70 Ft from the eastern property line. The minimum setbacks for the front yard, side yard, and rear yard have all been met. **The site plan will need to be revised to show the minimum front, side, and rear yard setbacks. An updated site plan was required as a condition of approval.**

Fencing: No changes to the current on-site fencing were proposed. This portion of the review was not applicable.

Lighting: No changes to current on-site lighting were proposed. This portion of the review was not applicable.

Signs: No additional signage for the site was proposed. If the applicant wishes to add signage in the future, such signage will be required to be reviewed and approved by staff at time of their sign permit application submission.

Landscaping

When the site plan was approved in 2016, it was subject to landscaping requirements that have since been updated. In 2016, the landscaping ordinance required a 10 Ft landscape buffer between uses, which the site provided. The current landscaping ordinance requires additional interior landscaping instead of the buffer. The applicant is using the new landscaping ordinance, which allows pavement right up to the property lines, to utilize the north and east landscaping buffers for the installation of the additional 27 parking spaces needed to accommodate their proposal. Their removing the landscaping buffers brings them out of compliance with the landscaping ordinance they were originally approved under and out of compliance with our current ordinance as their site's configuration is unable to provide the interior landscaping needed.

If a parking deviation is granted by the Commission for the eight parking spaces along the north side, the landscape buffer on the north side of the property would be able to be preserved. However, the parking deviation does not address the eastern landscape buffer in which approximately nine understory tree plantings will have to be completely removed to accommodate the proposed parking along the eastern property line. Although the eastern landscape buffer would be removed in its entirety, the business park's stormwater retention basin abuts the subject site to the immediate east. The overall character of the project area will be unchanged as the community's stormwater basin will forever be vegetated. It could be argued that the intent of the previous landscaping ordinance's landscape buffer, to separate uses and break up pavement, would still be met if the deviation is granted. This unique situation would allow the basin's western border to serve as a substitute for the "planned landscaping" for aesthetic purposes at the site. The Planning Commission has the authority to grant such a deviation under 53.150 (C) Provisions for Existing Sites. This section of the ordinance states that "If site constraints prevent the application of these

(landscaping) requirements, the reviewing body may grant an alternate approach or reduction in the landscape requirements through the site plan review process". The applicant is aware of the landscaping concerns and offered to re-establish such understory trees elsewhere adjacent to the premises, noting the frontage of the business park's stormwater retention basin on Technology Avenue as an opportune location. With staff's involvement, these alternate tree planting locations would need to be approved by the owner of the stormwater retention basin and be privately arranged between said property owner and the owner of the subject multi-tenant facility. Another alternative would be to relocate the trees just inside the community stormwater basin's western property line. If the Planning Commission were to grant the parking deviation, staff believed granting a landscaping deviation for the eastern landscape buffer would be an appropriate option, given the site's unique characteristics.

Engineering

Prein & Newhof and the Oshtemo Public Works Department have reviewed the project site plan and are satisfied with the proposal.

Fire Department

The Fire Marshal has reviewed the site plan and is happy with the proposal. The Fire Marshal did note that the circulation aisle width on the north side does not meet the 20 Ft width requirement outlined in the zoning ordinance for one-way circulation aisles. Since this is an existing site, the applicant is not required to increase such width to meet current ordinance requirements.

Section 65.30: Special Use Review Criteria

A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

The Township's Future Land Use Plan categorizes this area on S 9th Street, just north of the southern border, as *Research Office*. This part of the Township currently serves as an important employment center that provides high quality job opportunities to residents and neighboring areas. Uses allowed within this designation include a mix of technology, research, office, recreation, and industry. This property is presently zoned I-R: Industrial District, Restricted. General office and manufacturing are permitted uses by right within the I-R, Industrial District, Restricted, while indoor recreational facilities are permissible with Special Use approval from the Planning Commission within said district. The proposed uses meet the intent of the Township's Master Plan documents for this area and comply with the Township's Zoning Ordinance.

B. Site Plan Review: The Site Plan Review Criteria of Section 64

A site plan was provided; the evaluation is under Section 64: Site Plan Review.

C. Impacts:

- 1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

The proposed martial arts studio, a special exception use within the I-R: Industrial District, Restricted, would be leasing space within the already established multi-tenant facility on-site. All properties adjacent to the subject site share the same zoning designation of I-R: Industrial District, Restricted. The I-R: Industrial District, Restricted, allows for a mixture of different use types. Such uses include craft food and beverage facilities, banks and other financial institutions, general office, light manufacturing, indoor recreational facilities and health clubs, etc. An indoor recreational facility for soccer activities has been established within the same business park. A martial arts studio would be harmonious with the other existing uses surrounding the site. With the proposed martial arts studio being compatible with the allowable use within this zoning district, with minimal to no site changes proposed, and being in accordance with both the Master Plan and the Zoning Ordinance, staff has no concerns that the proposed use will negatively affect neighboring uses.

- 2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.**

Staff does not foresee a significant impact of the proposed use on neighboring properties. The overall site layout is not changing as the applicant is not proposing any additions to the existing building. The minimum building setbacks have been met. Existing entrances on the site will not change and will continue to be used in a similar fashion. (See sections on Parking and Landscaping under Section 64: Site Plan Review of this report.)

- 3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.**

Staff anticipated the proposed project will not generate such negative impacts on adjacent properties as uses allowed within the I-R: Industrial District, Restricted zoning district can be established on this site. An office and light manufacturing business specializing in pharmaceuticals has occupied the building on-site since the date of its construction in 2016. The proposed martial arts studio and the office/light manufacturing use will be utilizing two different spaces within the existing building on-site for their daily business operations. All major site work will occur within the building's interior.

- D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design**

elements, particularly where the natural features assist in preserving the general character of the area.

The proposed project will occupy the existing building on-site. Other than the modification to the on-site parking, most modifications will be to the building's interior. As previously mentioned under the Site Plan Review portion of this report, the applicant was proposing to add pavement to accommodate sufficient parking for the site due to the creation of two tenant spaces. The modifications to the existing parking lot would necessitate removing the landscape buffer to the east to create such parking stalls. Although the eastern landscape buffer would be removed in its entirety, the business park's stormwater retention basin abuts the subject site to the immediate east. Having said that, the character of the project area will remain intact as the community's stormwater retention basin will be vegetated in perpetuity. In normal circumstances where the surrounding properties are all developed, the vegetative character of the site would typically be diminished through such losses. However, this is a unique situation in that the natural vegetative growth on the stormwater retention basin's western border will act as a substitute of the "planned landscaping" for the visual appearance at the site. With the natural vegetation from the stormwater basin and the proposed relocation of tree plantings onto the adjacent stormwater basin, either along its frontage on Technology Avenue or just inside the western property line, staff feels that such combination would satisfy the intent of the previous landscaping ordinance that the site was originally approved under. Provided that this proposal would meet its spirit, and given the unique circumstance, approval should not set a negative precedence.

E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.

The building located at 6480 Technology Avenue is already adequately serviced by public water and public sanitary sewer. The Township's Non-motorized Transportation Plan identifies a 6 Ft wide Shared Use Path adjacent to the subject site on the east side of S 9th Street. The applicant signed a sidewalk SAD agreement form for the deferment of the installation of said non-motorized facility from when the property was developed in 2016 (Document Number: 2017-003764). This means when the Township deems it appropriate to install the path and implement a Special Assessment District to fund the installation of the path, the owners and future owners of this site cannot oppose it.

F. Specific Use Requirements: The Special Use development requirements of Article 49.

No specific use requirements exist for indoor recreational facilities and health clubs. Therefore, this section does not apply.

RECOMMENDATION:

Mr. Hutson explained the Planning Commission would need to review these three deviation requests:

- 1) **PARKING DEVIATION:** The Planning Commission will need to grant or deny the applicant's deviation request from Section 52.140. If approved, the eight parking spaces being proposed on the north side of the property can be eliminated.
- 2) **LANDSCAPING DEVIATION:** The Planning Commission will need to grant or deny the applicant's deviation request from Section 53.150. If approved, the previously approved 10 Ft eastern landscape buffer can be removed and utilized for parking.
- 3) **SIDEWALK DEVIATION:** The Planning Commission will need to grant or deny the applicant's deviation request from Section 57.90. If approved, the sidewalk connection on the north side of the building will not be required to be installed.

He indicated if all three deviations were approved by the Planning Commission, Staff recommended approval of the proposed Special Use and Site Plan for the multi-tenant building located at 6480 Technology Avenue with the following conditions.

- 4) Alternative landscaping shall be provided elsewhere on or adjacent to the premises to replace the understory trees lost with the approval of the landscaping deviation. A landscaping plan shall be submitted and approved by Township staff prior to issuing a certificate of occupancy.
 - a. If the alternative landscaping is to be placed onto the neighboring basin, an agreement between the applicant and the owner of the stormwater retention basin for the tree plantings shall be executed with Township staff's oversight prior to issuing a certificate of occupancy or any temporary certificate of occupancy.
- 5) A revised site plan shall be submitted and approved by Township staff showing the correct minimum setbacks for all front, side, or rear yards prior to issuing a certificate of occupancy.
- 6) The applicant shall submit a sign permit application to be reviewed and approved by Township staff if the applicant wishes to add any type of signage to the site.

Chairperson VanderWeele asked if Commissioners had questions for Mr. Hutson. Hearing none, he asked if the applicant wished to speak.

Mr. Jim Rodbard, Counsel for Mr. Corrion, Owner, thanked staff for their hard work and creativity when addressing this request. He felt the staff recommendation regarding how to handle the sidewalk deviation was appropriate. The plan will ameliorate concerns for access. He appreciated the time allowed to complete the requested ministerial correction to the site plan until the time of occupancy.

The Chair asked if there were questions from Commissioners.

Mr. Vyas had safety concerns regarding the lack of a sidewalk on the north side relative to children who would be attending classes at the martial arts studio.

Mr. Rodbard indicated other building users would be gone by the time children would be dropped off for classes in the evening. A drive by survey of the 59 current spaces showed no more than 19-28 cars occupying the current 59 spaces at one time. He did not feel there was much risk to children.

Hearing no further questions, Chairperson VanderWeele moved to Public Hearing. Since no one wished to speak, the hearing was closed, and the Chair moved to Board Deliberations.

Ms. Everett wondered if all 96 parking spaces were needed, citing a desire not to pave and install unnecessary spaces.

Mr. Hutson said he understood the concern, but Section 52.100 requires 96 spaces given the three different entities involved.

Mr. Lubbert said if the building use changes in the future parking requirements would be recalculated.

Mr. Vyas wondered if anything could be done to change the site plan parking to the east side to be able to include a sidewalk there.

Ms. Lubbert indicated the space available for parking there is not sufficient as right next door there is a 10 foot landscape buffer. Everything to the east is stormwater retention basin. There is no additional room on the site for parking relocation. The applicant's proposal is the only way to add parking according to ordinance.

Attorney Porter said conformance is tough when redeveloping an existing site.

Ms. Lubbert said ordinance does allow the Planning Commission to make adjustment when addressing shared parking, which can be seen throughout the Township. If a deviation is allowed parking would be sufficient on the north side.

Chairperson VanderWeele, hearing no further discussion, asked for a motion.

Ms. Maxwell made a **motion** to approve the Site Plan and Special Use as requested for the multi-tenant building located at 6480 Technology Avenue, and to grant the three deviations requested for parking, landscaping and sidewalk with the following staff conditions:

- 1) Alternative landscaping shall be provided elsewhere on or adjacent to the premises to replace the understory trees lost with the approval of the landscaping deviation. A landscaping plan shall be submitted and approved by Township staff prior to issuing a certificate of occupancy.
 - a. If the alternative landscaping is to be placed onto the neighboring basin, an agreement between the applicant and the owner of the stormwater retention basin for the tree plantings shall be executed with Township

staff's oversight prior to issuing a certificate of occupancy or any temporary certificate of occupancy.

- 2) A revised site plan shall be submitted and approved by Township staff showing the correct minimum setbacks for all front, side, or rear yards prior to issuing a certificate of occupancy.
- 3) The applicant shall submit a sign permit application to be reviewed and approved by Township staff if the applicant wishes to add any type of signage to the site.

Ms. VerSalle **seconded the motion. The motion passed 6 – 1 by roll call vote, with Mr. Vyas voting No.**

Chairperson VanderWeele moved to the next agenda item and asked Ms. Lubbert for her presentation.

PUBLIC HEARING: SPECIAL USE, SPEEDWAY

Speedway LLC was requesting Special Use and Site Plan approval to demolish the existing gas station, dry cleaning, and car wash located at 1250 and 1300 S Drake Road to construct a new 4,608 sq ft convenience store with a 10 dispenser auto fueling canopy.

Ms. Lubbert said Speedway LLC was requesting Special Use and Site Plan approval to demolish the existing gas station, dry cleaning, and car wash located at 1250 and 1300 S Drake Road to construct a new 4,608 sq ft convenience store with a ten dispenser auto fueling canopy. The proposal entailed combining the two properties to create a 3.2 acre parcel; a land combination application was received.

Currently zoned C: Local Business District, 1250 and 1300 S Drake Road are located at the edge of Oshtemo's eastern boundary, directly south west of the S Drake Road and W KL Avenue intersection. The two properties abut an Amtrak rail line to the south and a National Mini Storage to the west. The properties adjacent to the north are zoned R-4: Residence District.

She indicated when reviewing this Special Use request, there are two sets of criteria that need to be considered: the general Special Use review criteria outlined in Section 65.30 and the general Site Plan review criteria outlined in Section 64. She provided an analysis (below) of the proposal against these two Sections and said overall, the requirements of Section 64 and Section 65.30 have been met.

Section 64: Site Plan Review

General Zoning Compliance:

Zoning: 1250 and 1300 S Drake Road are zoned C: Local Business District. Convenience stores are a permitted use by right within the C: Local Business District. Filling stations are permitted as a Special Use within the district. The proposed percentage of land on-site covered by buildings is 3% and 48% reserved for open space. All general zoning requirements have been met.

Access and Circulation

Access: The two parcels currently have two access points each. Once the parcels are combined, two of the existing curb cuts will be closed; the two furthest from the intersection will remain to service the proposed use. To improve safety the applicant worked with the Road Commission of Kalamazoo County (RCKC) to shift the south eastern curb cut further south to line up with the access point on the other side of S Drake Road. Most circulation aisles within the proposed site plan are approximately 30 Ft wide and have safe turning radii. Fire engines and other vehicles have ample space and circulation if emergency response is needed. Oshtemo's Fire Marshal reviewed the proposed layout and has no concerns in terms of access and circulation. All driveways will need to be reviewed and approved by the RCKC. An approved driveway permit will need to be submitted prior to building permit issuance.

Parking: The proposed structure on this site will serve primarily as a convenience store. As a convenience store requires more parking than an automotive service station, the convenience store designation was used to calculate the necessary parking on site. Per Section 52.100 of the zoning ordinance a use of this nature requires one parking space for every 150 SF of net floor area. A 4,608 SF building is proposed, requiring 31 parking spaces. To minimize excessive areas of pavement which detract from the aesthetics of an area and contribute to high rates of storm water runoff, per ordinance no parking lot shall have parking spaces totaling more than 110% of the minimum parking space requirements. A maximum of 34 spaces are permitted on this site. The proposed site plan provides a total of 34 parking spaces, two of which are ADA. All parking requirements have been met.

Shared Use Path: The Township's Non-Motorized Transportation Plan does identify a 10 Ft wide Shared Use Path along the frontage of this property on S Drake Road. The applicant has shown this path on their plan and will be coordinating its design and installation with the Township's Public Works Department.

Internal Sidewalk Network: Per Section 57.90 Sidewalks of the ordinance an internal sidewalk network is required. The proposed site plan has sidewalk on all sides of the building abutting parking and includes a sidewalk connection from the building to South Drake Road. Although this connection is acceptable it would be preferred that the sidewalk be located on the North side of the site. Staff anticipates most foot traffic will be coming from the multi-family housing developments to the north. These individuals and others coming from the north or east, will not walk to the south side of the site to access the proposed internal sidewalk network; it is anticipated pedestrians will cut through the site. Staff recommended the applicant and Planning Commission consider placing the internal sidewalk connection on the north side of the site. Public Works staff indicated if an internal northern sidewalk were constructed the currently proposed

eastern internal sidewalk would not be required to be installed. It should also be noted a bike rack is proposed near the building entrance.

Building Design

Building Information: The proposed 4,608 SF one story building will be just under 24 Ft tall. The exterior material for the proposed building is a heritage blend quik brik with estate grey asphalt shingles. The proposed dumpster enclosure is placed at the back of the site and will be made of the same material as the building with a brown wooden gate.

Section 65.30: Special Use Review Criteria

Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

Ms. Lubbert explained the Township's Future Land Use Plan categorizes this area as *Local Commerical*. The intent of the *Local Commerical* designation is to provide low volume commercial businesses that mix well with a variety of land uses including residential, industrial, and general commercial.

This property is currently zoned C: Local Business District. Retail uses (including convenience stores) are permitted uses within the C: Local Business District and Filling Stations are permissible with Special Use approval from the Planning Commission.

From a zoning perspective, she said the proposed land use is consistent with the Future Land Use Map designation and the Township's Zoning Ordinance, 65.30 requirements have been met.

Impacts: The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.

She explained established commercial uses already exist on-site: a gas station, dry cleaners and car wash. The proposal is to demolish these existing buildings/uses and construct a new convenience store and gas station. The proposed use of a convenience store with a ten dispenser auto fueling canopy is comparable to the existing uses. Staff has no concerns that the proposal will negatively affect neighboring uses. It should be noted that with the residential development to the north the proposed convenience store is arguably more compatible and appropriate at this location than the existing uses onsite.

Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.

Staff did not foresee a significant impact of the proposed use on neighboring properties. The proposal provides adequate parking, the placement of the building exceeds the minimum setbacks, and the number of curb cuts is being reduced and modified for safety.

The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.

A gas station has occupied the site since the date of its construction in 1997. The laundromat and car wash, per the assessor's website, have been at this location for 35 years. In combining the two parcels to accommodate the proposal, two of the four existing curb cuts will be closed, which will be an improvement in traffic safety. The proposed use of a convenience store and filling station is comparable to the existing uses on site and is appropriate for this zoning designation. Staff anticipates that the proposed project will not generate negative impacts on adjacent properties.

Recommendation:

Ms. Lubbert recommended the Planning Commission approve the proposed Special Use and Site Plan for Speedway at 1250 and 1300 S Drake Road with the following conditions.

1. Approved driveway permits from the Road Commission of Kalamazoo County will need to be submitted prior to building permit issuance.
2. 1250 S Drake Road and 1300 S Drake Road shall be formally combined.
3. The internal sidewalk connection be moved to the north side of the site.
4. An updated signage plan shall be submitted and approved administratively OR a variance acquired prior to building permit issuance.
5. The stormwater system is within the City of Kalamazoo wellhead protection zone and the proposed stormwater is being discharged to the City of Kalamazoo system. An approved and signed storm water maintenance agreement with the City of Kalamazoo will need to be provided prior to building permit issuance
6. No SESC plan was provided. A SESC Permit will be required from the Kalamazoo County Drain Commission.

Chairperson VanderWeele asked if there were questions for Ms. Lubbert.

Ms. Everett asked about the landscaping requirement.

Ms. Lubbert noted that a landscaping plan had been submitted and said Ms. High, Parks Director, was satisfied it meets all requirements.

Attorney Porter said Ms. High was quite complimentary of the design.

The Chair commented this plan will be a big improvement to the corner. Hearing nothing further, he asked if the applicant wished to speak.

Ms. Mandy Gauss, Architect for the owner, said she felt Ms. Lubbert covered everything, but noted the left side of the drive shifts, and is wider for better access. She agreed with the assessment that the north side access would better serve residents and indicated it will be located there.

Chairperson VanderWeele asked if there were questions for the applicant. Hearing none, he moved to Public Hearing. There were no members of the public who wished to speak, so he moved to Board Deliberations.

Several members indicated they were happy with the plan, especially with the change to move the access sidewalk to the north.

The Chair asked for a motion.

Mr. Vyas made a **motion** to approve the Special Use and Site Plan as requested to demolish the existing gas station, dry cleaners and car wash, to construct a new 4,608 square foot convenience store and filling station at 1250 and 1300 S. Drake Road, with the following staff conditions:

1. Approved driveway permits from the Road Commission of Kalamazoo County will need to be submitted prior to building permit issuance.
2. 1250 S Drake Road and 1300 S Drake Road shall be formally combined.
3. The internal sidewalk connection be moved to the north side of the site.
4. An updated signage plan shall be submitted and approved administratively OR a variance acquired prior to building permit issuance.
5. The stormwater system is within the City of Kalamazoo wellhead protection zone and the proposed stormwater is being discharged to the City of Kalamazoo system. An approved and signed storm water maintenance agreement with the City of Kalamazoo will need to be provided prior to building permit issuance
6. A SESC Permit will be required from the Kalamazoo County Drain Commission.

Ms. Maxwell **seconded the motion**. The **motion passed unanimously** by roll call vote.

Chairperson VanderWeele moved to the next item on the agenda and asked Ms. Lubbert for her presentation.

PUBLIC HEARING: Code Amendment, Nonmotorized

Consideration of amendment to the Township Zoning Ordinance Section 57.90 Sidewalks, for recommendation to the Township Board.

Ms. Lubbert said as Oshtemo Township continues to grow and, simultaneously, the Township is hearing community requests for a quality of life that is connected by sidewalks and paths. Over the years the Township has adopted several policies and ordinances to establish a physical and cultural environment that supports and encourages safe, comfortable, and convenient ways for a diverse population of pedestrians and bicyclists to travel throughout the Township and into the surrounding communities. The most recent of which was through the *Go!Green Oshtemo – 5 Year Parks and Recreation Master Plan*. Part of the plan included an action strategy to continue to require provisions for nonmotorized transportation facilities with site plan reviews. The Zoning Ordinance language that continues to implement this action strategy is Section 57.90, language provided below.

“For those uses requiring Site Plan review under this ordinance, an internal sidewalk network (including connection to and establishment of a sidewalk in the right-of-way of any arterial, collector, or local road indicated on the Non-motorized Facilities Map abutting the site) shall be required within public street rights-of-way and/or private street easements unless the reviewing body grants a deviation from this provision. Deviation may be considered if the street is a cul-de-sac, or if there are constraints as the result of severe topography or natural features.” (57.90 Sidewalks)

In essence, she said, Section 57.90 does three things: 1) when a site plan is submitted to the Township, only the nonmotorized facilities shown on the adopted Nonmotorized Facilities Map need to be installed as part of the site plan review and approval process, 2) An internal sidewalk network is required within the site itself (including a connection from the proposed development to the adjacent nonmotorized path), and 3) the reviewing body can grant a deviation if warranted.

What exactly that deviation can be was not specified in the code. As such, the Township’s reviewing bodies have over the years waived the requirement to install sidewalk with different approaches. Most recently by requiring the applicant to sign a sidewalk SAD agreement. It has also become common practice that if the property in question cannot directly connect to an existing nonmotorized facility a deviation is granted so to avoid “sidewalks to nowhere”.

She indicated the Township Board discussed this section of the code and the Township’s current sidewalk policies at their March 9th, 2021 meeting and agreed sidewalks should be installed more aggressively in urbanized areas of the Township, the “sidewalks to nowhere” argument is no longer a valid reason for a deviation in those urbanized areas, and this section of the code needs to be revisited and refined.

Staff presented the Township Board’s request to the Planning Commission at their regular March 25th meeting for initial reaction and input before drafting an

ordinance change. Using the feedback collected, staff presented potential variations of the amendment to the Commission at their regular April 8th meeting. Ordinance Section 64, Site Plan Review and Section 294, Non-Motorized Facilities/Sidewalks as well as the KATS MPO Urbanized area map and Oshtemo's adopted nonmotorized plan were referenced in both the discussion and drafting of the amendment. Staff finalized a draft per the discussion on April 8th. At their May 27th meeting, after reviewing the proposed changes and making additional tweaks, the Planning Commission unanimously motioned to forward the proposed amendment to a public hearing.

She noted that when the KATS MPO Urbanized area map was compared to Oshtemo's adopted nonmotorized plan, it was found almost all Oshtemo's identified desired nonmotorized facilities were within the urbanized boundary. (ACUB area) As such, Planning Commission and staff felt it was unnecessary to distinguish between urban and non-urban areas within the proposed amendment.

The proposed amendment to Section 57.90 of the Ordinance addresses the Township Board's concerns regarding the installation of nonmotorized facilities in connection to site plan reviews, provides clear direction, and makes this section consistent with other existing sections of the ordinance.

The group then reviewed the May 27th draft and after discussion, made one change: the word "contribution" in the first line of 57.90 Sidewalks and Non-motorized Facilities was changed to "connection" for clarification of purpose.

Chairperson VanderWeele opened a Public Hearing.

Mr. Paul Schramm encouraged the Commission to consider special assessment district agreements in lieu of the amendment being considered.

Hearing no further comments, Chairperson VanderWeele moved to Board Deliberations. Hearing nothing further from Commissioners, he asked for a motion.

Mr. Smith **made a motion** to send the proposed amendment to the Township Board to consider the proposed changes to the Nonmotorized and Sidewalk Ordinance as presented, with the one wording change from "contribution" to "connection" as agreed upon. Mr. Vyas **seconded the motion**. The **motion was approved** unanimously by roll call vote.

Emberly Acres II Expansion – Sidewalk SAD Request

Ms. Lubbert told the Commission Prime Homes LLC, both applicant and owner, has approached township staff requesting a sidewalk SAD agreement for their recently approved Emberly Acres II Condominium Expansion project. However, only the reviewing body has the authority to grant such a request. This item was placed on the Planning Commission agenda for consideration.

Per Section 57.90 of the Zoning Ordinance, non-motorized facilities indicated on the Township's Non-motorized Plan shall be installed by the developer when properties adjacent to planned nonmotorized facilities receive site plan approval from the municipality unless the reviewing body grants a deviation. The Township's adopted Non-motorized Plan shows a 6-foot-wide path along Emberly Acres II section of S 8th Street. The segment of the shared use path along the frontage of Emberly Acres II, Parcel ID: 05-34-230-070, was included as part of the site plan set reviewed and approved by the Planning Commission at their regular April 29th meeting.

Attorney Porter indicated this would be permissible under current ordinance.

Chairperson VanderWeele noted a SAD agreement was not requested at the time the site plan was approved; the site plan request showed a sidewalk would be built.

Mr. Paul Schramm, Prime Homes LLC, indicated it has been determined building a sidewalk would be better to provide a holistic approach, connecting the shared use path to Emberly Acres at a future time. There are challenging grades and screening issues that exist in the right-of-way to provide ADA compliance, and connection would result in removal of screening. He said he would not object to a future assessment. A sidewalk put in now might need to be removed to make it safe in the future. Even though it would likely be a higher cost to build a sidewalk in the future, he would like to delay building for the sake of continuity in the future.

Mr. Vyas, Ms. Maxwell and the Chair all agreed the cost would be less to build now and were puzzled at the request.

Chairperson VanderWeele asked for a motion.

Mr. Smith **made a motion** to disapprove the request for a sidewalk SAD agreement for the recently approved Emberly Acres II Condominium Expansion project, as there was no compelling reason to approve it. Ms. Maxwell **seconded the motion**. The **motion was approved** unanimously by roll call vote to disapprove the request.

PUBLIC COMMENT ON NON-AGENDA ITEMS

As there were no public comments, Chairperson VanderWeele moved to the next agenda item.

OTHER UPDATES AND BUSINESS

Ms. Lubbert reported no changes from virtual vs. in-person public meetings as of now; the Township Board is currently considering how to move forward.

ADJOURNMENT

With there being no further business to consider, Chairperson VanderWeele adjourned the meeting at approximately 7:36 p.m.

Minutes prepared:
June 25, 2021

Minutes approved:
_____, 2021

DRAFT

July 22, 2021

Mtg Date: July 29, 2021

To: Oshtemo Township Planning Commission

From: Colten Hutson, Zoning Administrator

Applicant: Scott Musser, Delta Design Systems

Owner: Gary Peshl

Property: 8608 W Main Street, Parcel Number 05-16-180-042

Zoning: C: Local Business District

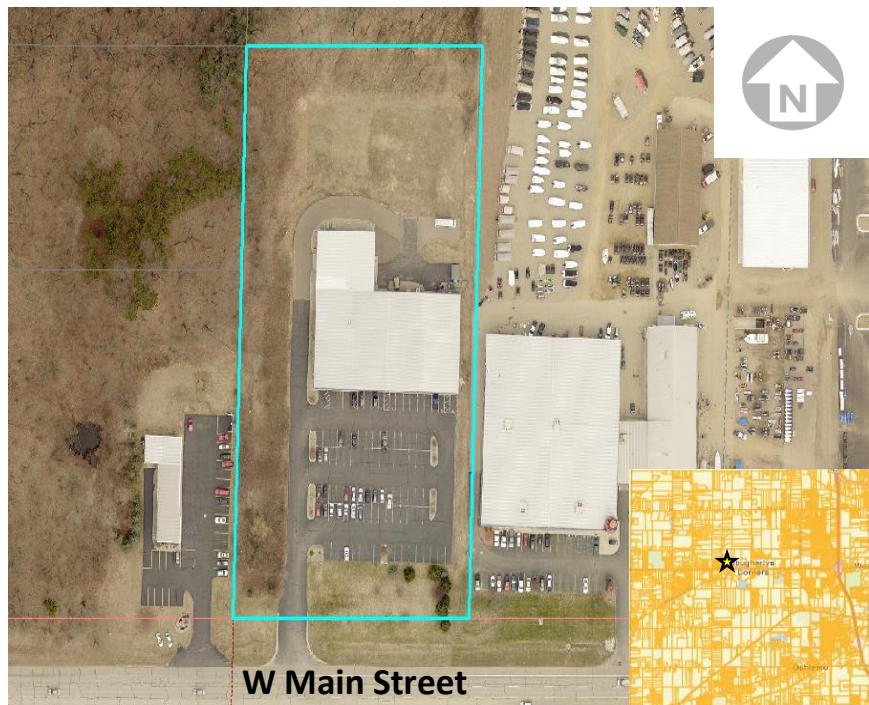
Request: Site plan and special use approval to construct a 7,800 square foot addition onto the existing multi-tenant building.

Section(s): Section 64: Site Plan Review
Section 65: Special Uses



PROJECT SUMMARY:

Delta Design Systems, on behalf of the owner, Gary Peshl, is requesting site plan and special use approval to construct a 7,800 square foot addition onto the existing building located at 8608 W Main Street. Currently serving as a multi-tenant building consisting of two businesses, the applicant is seeking to expand their business operations. The expansion will serve as additional space for indoor recreational activities and retail sales. The project area under consideration is outlined in light blue on the map to the right.



8608 W Main Street falls within the C: Local Business District zoning classification. The proposed indoor recreational use, a batting cage operation for baseball activities, is a permitted Special Use within the C: Local Business District. Any proposed Special Uses require review and approval from the Planning Commission. The retail sales use of this proposal is a permitted use by right within the C: Local Business District.

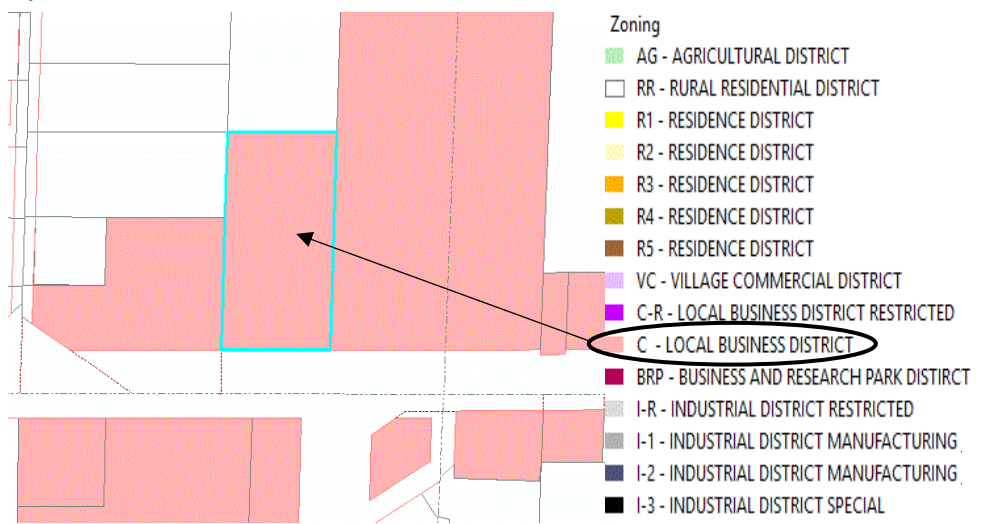
ANALYSIS:

When reviewing this Special Use request, there are two sets of criteria that need to be considered: the general Site Plan review criteria outlined in Section 64, and the general Special Use review criteria outlined in Section 65.30. Below is an analysis of the proposal against these two Sections. Overall, most of the requirements of Section 64 and Section 65.30 have been met.

Section 64: Site Plan Review

General Zoning Compliance:

Zoning: 8608 W Main Street is zoned C: Local Business District and is located within the northwest quadrant of the Township. The subject property abuts an undeveloped parcel to its north, two commercial land



uses to its east and south, along with a mixture of commercial and non-platted residential uses to its west. All uses above are zoned C: Local Business District except for the unplatted residential uses to the north and north west which are zoned RR: Rural Residential. The proposed retail sales use is a permitted use by right within the C: Local Business District. The proposed indoor recreational component of this proposal is a permitted Special Use within the mentioned zoning district. With this addition, the percentage of land covered by buildings will increase to 15.2%. 58.9% of the site will remain as open space

Access and Circulation

Access: The site under consideration already has an established access drive adjacent to W Main Street. The site is designed to accommodate two-way travel throughout the site. All circulation aisles on-site are 24 Ft in width. Other than the additional pavement to accommodate site circulation in the rear, all circulation aisles will remain unchanged. The Fire Marshal has reviewed the site plan and found it adequate to service emergency vehicle circulation.

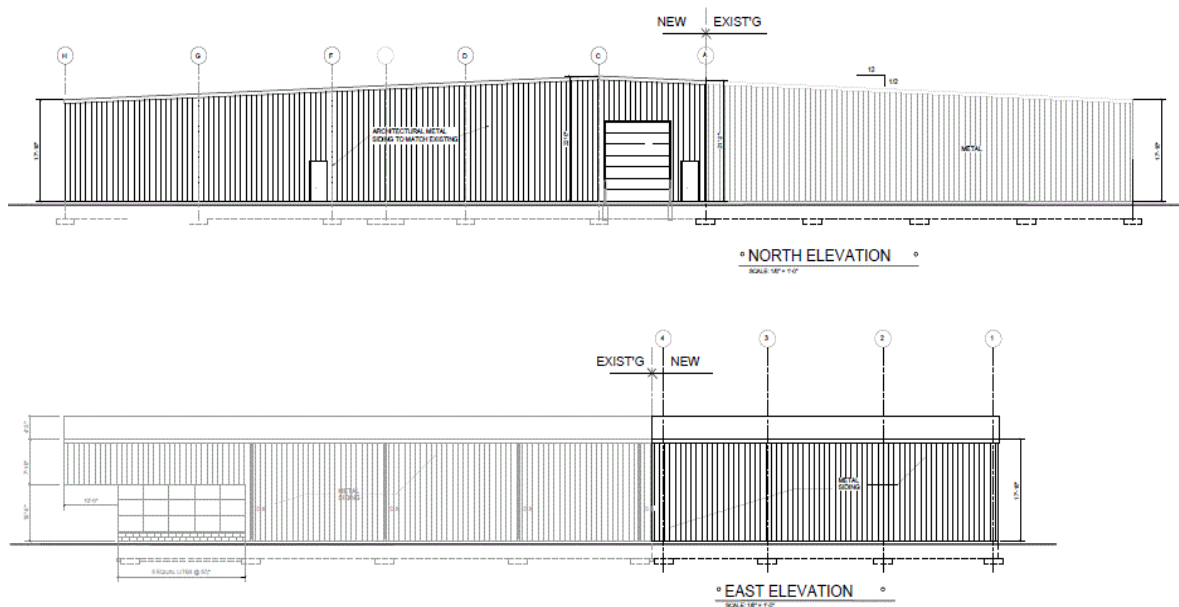
Parking: The site currently has 99 parking spaces in total, five of which are ADA accessible. All existing and proposed parking stalls are 10 Ft x 20 Ft. For the uses on-site, the proposed floor plan indicates that there will be a gross floor area of 33,000 SF. Since the parking calculations in the Zoning Ordinance require the net floor area for the proposed uses, a value that takes into account restrooms, mechanical rooms, hallways etc., per common practice, staff subtracted 10% of the gross floor area of each use to estimate the net floor area and more accurately identify the true parking counts. After calculating the parking needed for the various uses proposed to occupy the site, a total of 104 parking spaces would be required. The applicant was able to meet such parking requirements by proposing to add five additional parking spaces in the rear of the building.

Easements: No changes to the current easements on-site are proposed. This portion of the review is not applicable.

Shared Use Path: The Township’s Non-motorized Plan does identify a bike lane/paved shoulder adjacent to the subject site on the north side of W Main Street. This stretch of W Main Street currently offers 10 Ft wide bike lane/paved shoulder on the north and south side of the traveled way. With said non-motorized facility already having been installed, no further action on this item is needed.

Building Design

Building Information: The 25,200 SF, one-story building was originally constructed in 2001 and is approximately 17 Ft tall. The proposed 7,800 SF addition will be located in the northeast corner of the building. The exterior material proposed for the addition is a metal siding that is deep blue in color. The elevation sheet that was submitted with the site plan shows that the addition will match the existing façade and architectural features of the existing portion of the building. See image of the building’s east and north elevations below.



Lot Dimensions: The site under consideration is about 5 Acres (217,800 SF) and has approximately 330 Ft of road frontage adjacent to W Main Street. The parcel exceeds both the property area (50,000 SF minimum) and frontage (200 Ft minimum) requirements of the C: Local Business District. The site’s dimensions satisfy zoning ordinance requirements.

Setbacks: Properties located within Commercial districts are required to have a minimum front yard setback of 70 Ft. If properties are located along a designated highway within the Township, they are subject to additional setback requirements if greater than what is outlined for the underlying zoning district. The minimum setback requirement for properties adjacent to W Main Street, a designated highway, is 170 Ft from the center of the street right-of-way. The building is setback approximately 250 Ft from the front property line and 350 Ft from the center of the street

right-of-way. Properties zoned as Commercial are also subject to have a minimum side and rear yard setback of 20 Ft. The building is setback approximately 20 Ft from the eastern property line, 108 Ft from the western property line, and 228 Ft from the northern property line. The minimum setbacks for the front yard, side yard, and rear yard have all been met.

Waste Disposal Container: Code Section 53.90: Screening of Trash and Recycling Containers states that all outside trash and recycling disposal containers shall be screened on all sides with an opaque fence or wall and gate at least as high as the container, but no less than 6 Ft in height. The code also states that containers and enclosures shall be located away from public view insofar as possible, and enclosures shall be situated so that they do not cause excessive nuisance or offense to occupants of nearby buildings. The applicant is proposing to place a dumper in the rear of the building. The wood fencing and gates appear to look aesthetically pleasing. The enclosure is proposed to be 6 Ft in height.

Fencing: No changes to the current on-site fencing is proposed. This portion of the review is not applicable.

Lighting: No changes to current on-site lighting is proposed. This portion of the review is not applicable.

Signs: No changes to the current on-site signage is proposed. This portion of the review is not applicable.

Landscaping

Although a 7,800 SF building addition is being proposed, there remains to be a surplus of landscaping and open space on-site. All landscaping requirements within the Zoning Ordinance have been met.

Engineering

Prein & Newhof and the Oshtemo Public Works Department have reviewed the project site plan and are satisfied with the proposal.

Fire Department

The Fire Marshal has reviewed the site plan and is happy with the proposal. The Fire Marshal expressed that the on-site circulation for fire apparatus in the rear of the building is overwhelmingly improved with the proposal.

Section 65.30: Special Use Review Criteria

A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

The Township's Future Land Use Plan categorizes this area on the north side of W Main Street, immediately east of N 5th Street, as *Neighborhood Commercial*. This category is meant to support the rural way of life in which promotes low intensity commercial and retail establishments that accommodate a planned mixture of farm service business and other locally oriented service establishments. This property is presently zoned C: Local Business District. An establishment in which is primarily for retail sales of merchandise and other services is a permitted use by right within the C: Local Business District. Indoor recreational facilities are permissible with Special Use

approval from the Planning Commission within said district. Although the proposed uses do not completely meet the intent of the Township’s Master Plan documents for this area, it is a local business and complies with the Township’s Zoning Ordinance.

B. Site Plan Review: The Site Plan Review Criteria of Section 64

A site plan has been provided. See the above evaluation under [Section 64: Site Plan Review](#).

C. Impacts:

- 1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

The proposed indoor batting cage operation, a special exception use within the C: Local Business District, is compatible with the properties surrounding the site. The same indoor baseball operation was previously approved by the Planning Commission in August of 2001 and continues to be used as such. Immediately west of the subject property is Driven Automotive Services, which is zoned C: Local Business District. To the east of the subject property is Leader’s Marine along with D&R Sports, which are also zoned C: Local Business District. Both uses share a similar recreational component with the specific special use in question. To the south of the site, west of Alma Drive, is a Marathon Gas Station, a vacant parcel, and a grouping of buildings that appear to be vacant. All of these properties are zoned C: Local Business District as well. With the proposed indoor baseball activity being harmonious with the adjacent uses, and being in accordance with the Zoning Ordinance, staff has no concerns that the proposed use will negatively affect neighboring uses.

- 2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.**

Staff does not foresee a significant impact of the proposed use on neighboring properties. The proposed building addition will be located in the northeast corner of the building will be replacing impervious surfaces such as pavement, etc. The proposed addition will be filling in the existing gap on-site as the addition will not be extending past the existing overall footprint of the building. No portion of the building will be any closer to any property line than it already was. The minimum building setbacks have been met and adequate parking is being provided. Existing entrances on the site will not change and will continue to be used in a similar fashion.

- 3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.**

Staff anticipates that the proposed project will not generate such negative impacts on adjacent properties as uses allowed within the C: Local Business District zoning classification can be established on this site. An indoor recreational use for baseball activities has occupied the building on-site since the date of its construction in 2001. All major site work will be happening in the northeast corner of the building, which is adjacent to an undeveloped

portion of property to the north and a commercial user to the immediate east. Hydrants have been provided for fire safety and no new curb cuts onto West Main are proposed.

D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.

The proposed addition will not be extending past the existing overall footprint of the building. No portion of the physical building will be any closer to any property line than it already was nor will cover a greater surface area that was already impervious. The building addition and the expansion of pavement to accommodate site circulation will not impact any of the natural features that are indigenous to the site. All existing trees, shrubbery, and planned landscaping will be preserved as the overall character of the site will remain unchanged.

E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.

The building located at 8608 W Main Street is already adequately serviced by public water. With the site being a great distance from the sanitary sewer network, 8608 W Main Street relies upon an on-site septic system. With concerns that the existing septic system may not be able to adequately service the site with the new addition, the applicant was directed to make contact with the Kalamazoo County Environmental Health Department. Upon coordination, the Kalamazoo County Environmental Health Department provided a letter detailing that the existing septic system will be able to adequately service the addition as well. Additionally, the Township's Non-motorized Plan does identify a bike lane/paved shoulder adjacent to the subject site on the north side of W Main Street. This stretch of W Main Street currently offers 10 Ft wide bike lane/paved shoulder on the north and south side of the traveled way. With said facility already having been installed, no further action on this item is needed.

F. Specific Use Requirements: The Special Use development requirements of Article 49.

No specific use requirements exist for indoor recreational facilities and health clubs. Therefore, this section does not apply.

RECOMMENDATION:

Planning Department staff recommend the approval of the proposed Special Use and Site Plan for the multi-tenant building located at 8608 W Main Street with the following condition.

- 1) The applicant shall submit and obtain a Soil Erosion and Sedimentation Control (SESC) permit from the Kalamazoo County Drain Commissioner's Office prior to building permit issuance.

Attachments: Application, Letter of Intent, Site Plan, Elevations, Floor Plan, and Letter from County Env. Health



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS TSHIRT PRINTING PLUS ADDITION

PLANNING & ZONING APPLICATION

Applicant Name : SCOTT MUSSER
Company DELTA DESIGN SYSTEMS
Address 8240 STADIUM DR.
KALAMAZOO, MI
49009
E-mail scott@deltdesignsystems.com
269-793-7200 Fax -
Telephone -
Interest in Property PROJECT MGR.

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

Fee Amount _____
Escrow Amount _____

OWNER*:

Name GARY PESTHL
Address 8608 WEST MAIN
KALAMAZOO, MI 49009
Email gary@tshprintingplus.com
Phone & Fax 269-336660

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary):

1800 SF METAL BUILDING ADDITION

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

SEE SITE PLAN

PARCEL NUMBER: 3905- 16-180-042

ADDRESS OF PROPERTY: 8008 WEST MAIN

PRESENT USE OF THE PROPERTY: RETAIL + MFG.

PRESENT ZONING 0 SIZE OF PROPERTY 5 ACRES

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
GARY PESTL	8008 WEST MAIN

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.

Gary A Pestl
Owner's Signature (*If different from Applicant)

6/7/2021
Date

[Signature]
Applicant's Signature

6/7/2021
Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

T Shirt Printing Plus Building Expansion

Offering everything related to sports, specializing in screen printing and embroidery of sports teams and corporate apparel and sports equipment for every sport, T Shirt Printing has you covered!

Their sign department is growing as is their baseball equipment line of products.

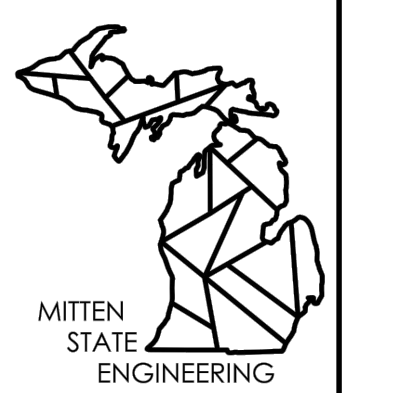
Additional space will allow for signage operations such as trailer wraps to be performed indoors.

This building addition will also allow for more area for baseball customers to try before you buy with new 5,000 square foot area for batting cages, a new 1,000 SF retail area, a 1,300 SF staging area for the signage business and 2 additional restrooms.

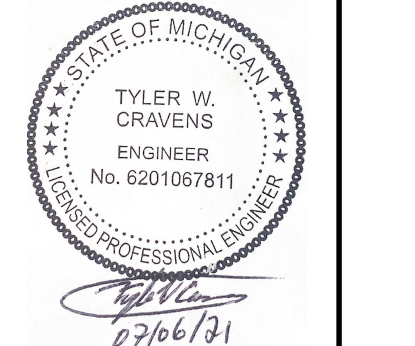
We currently have 99 parking spaces per the original site plan requirements which we rarely use even half of those spaces. We have shown that we have space for the additional 21 parking spaces required for this addition but would prefer to leave those areas as green space until such time that they are needed.

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DATE	
REVISIONS	
No.	



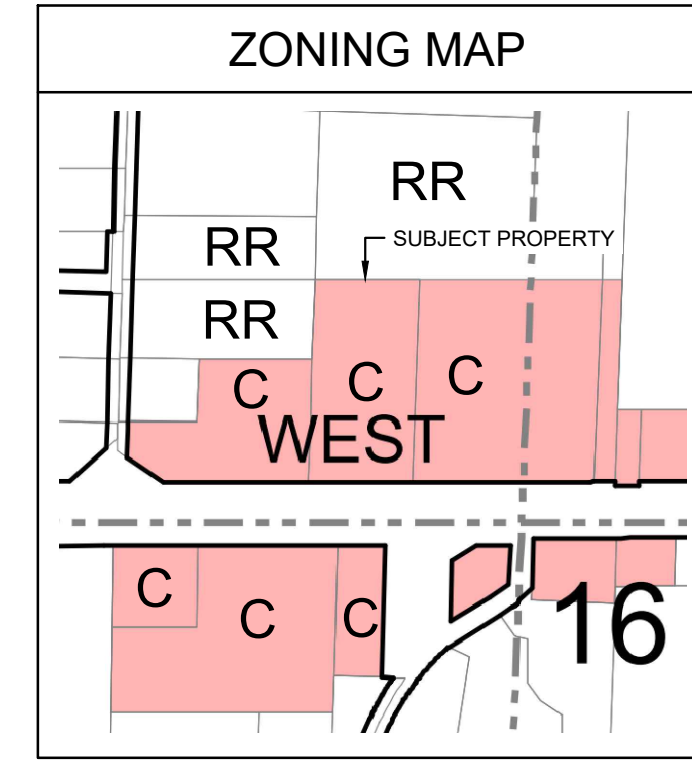
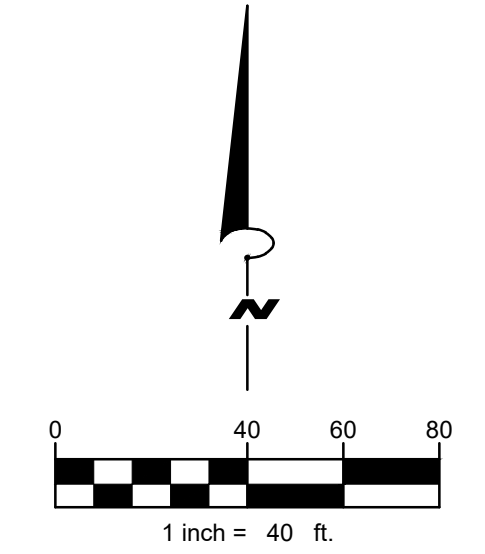
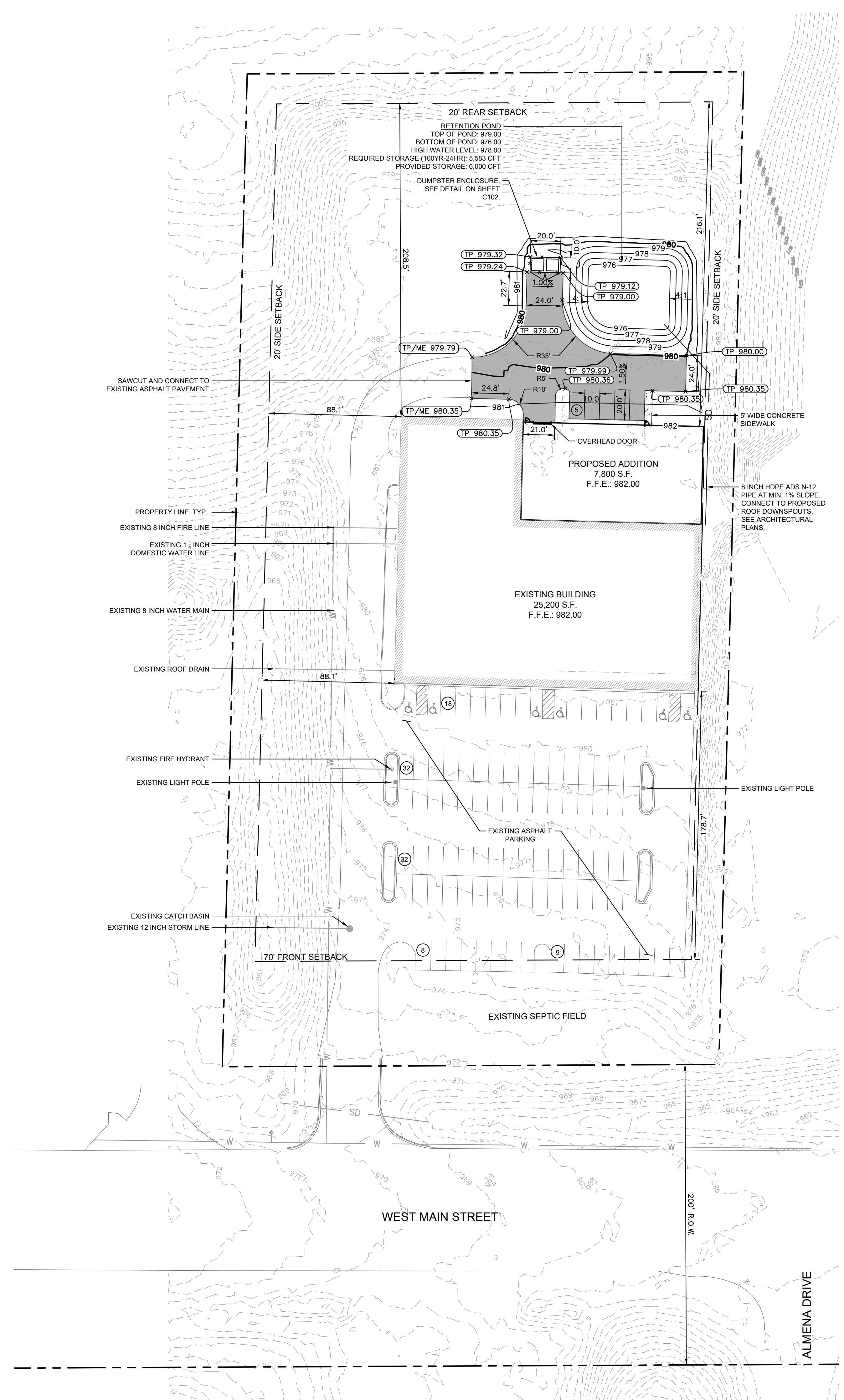
SCALE	AS NOTED
DESIGNED BY:	TWC
DRAWN BY:	TWC
CHECKED BY:	TWC



SITE, GRADING, AND UTILITY PLAN

T-SHIRT PRINTING FACILITY ADDITION
OSHTEMO, MI

ORIGINAL ISSUE:
7/07/2021
PROJECT NO.
21033
SHEET NUMBER
C101



SITE INFORMATION	
PLAN PREPARER INFORMATION: TYLER CRAVENS (MITTEN STATE ENGINEERING) 15 CARLYLE STREET BATTLE CREEK, MI 49017	
OWNER INFORMATION: GARY PESHLE 8608 WEST MAIN STREET KALAMAZOO, MI 49009	
ZONING:	C - LOCAL BUSINESS
PARCEL ID:	3905-16-180-042
SITE AREA:	5 ACRES (217,800 SF)
EXISTING BUILDING AREA:	25,200 SF (11.6%)
PROPOSED BUILDING AREA:	33,000 SF (15.2%)
NUMBER OF STORIES:	1
IMPERVIOUS COVERAGE:	89,623 SF (41.1%)
PROPOSED GREEN SPACE:	128,177 SF (58.9%)
BUILDING SETBACKS:	
FRONT:	70 FT
SIDE:	20 FT
REAR:	20 FT
OFF-STREET PARKING REQUIREMENTS:	
1 PARKING SPACE PER 400 SF OF UFA OF SHOWROOM SALES : 5,220 / 400 = 13	
1 PARKING SPACE PER 200 SF OF UFA OF INDOOR RECREATION: 13,500 / 200 + 12 = 80	
1 PARKING SPACE PER 1500 SF OF UFA OF WAREHOUSE: 4,680 / 1500 = 3 SPACES	
ASSEMBLY: 4,680 = 8 PARKING SPACES	
TOTAL SPACES REQUIRED: 13 + 80 + 3 + 8 = 104 SPACES	
TOTAL SPACES PROVIDED: 104 SPACES	
ADA PARKING SPACES REQUIRED: 5	
ADA PARKING SPACES PROVIDED: 6	

- SITE GENERAL NOTES**
- DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

PAVEMENT LEGEND

STANDARD DUTY PAVEMENT:	2" HMA (165#/SYD) 36A TOP COURSE
	2" HMA (165#/SYD) 13A LEVELING COURSE
	6" AGGREGATE BASE, Z2A
	12" SUBBASE, C1P

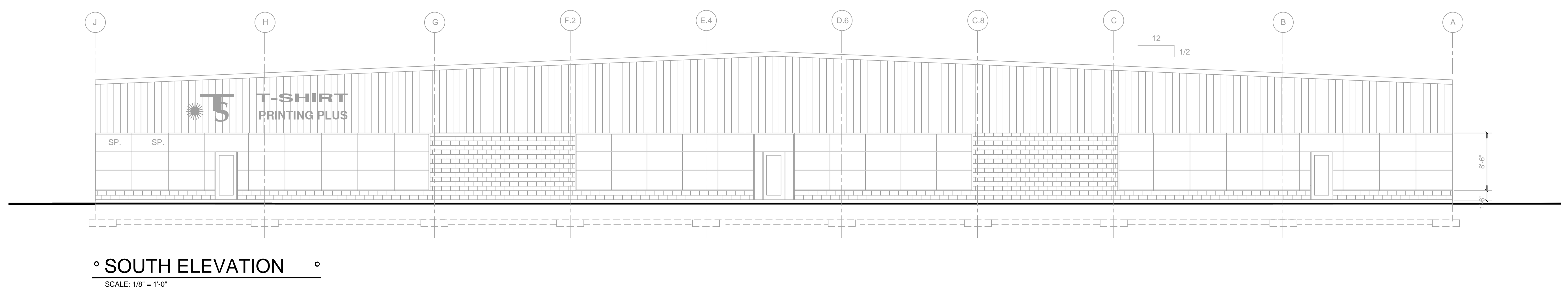
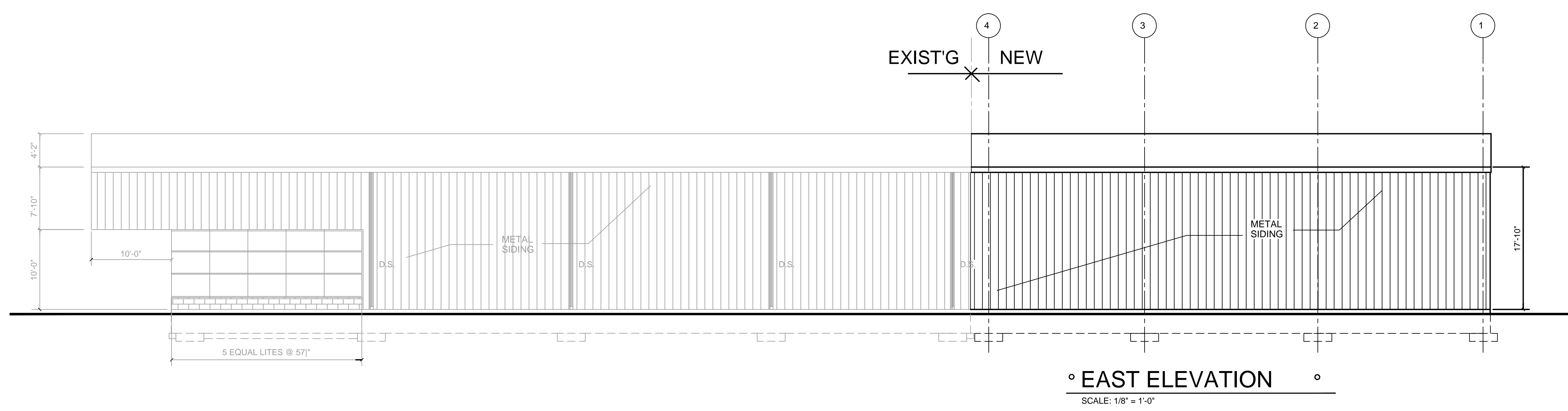
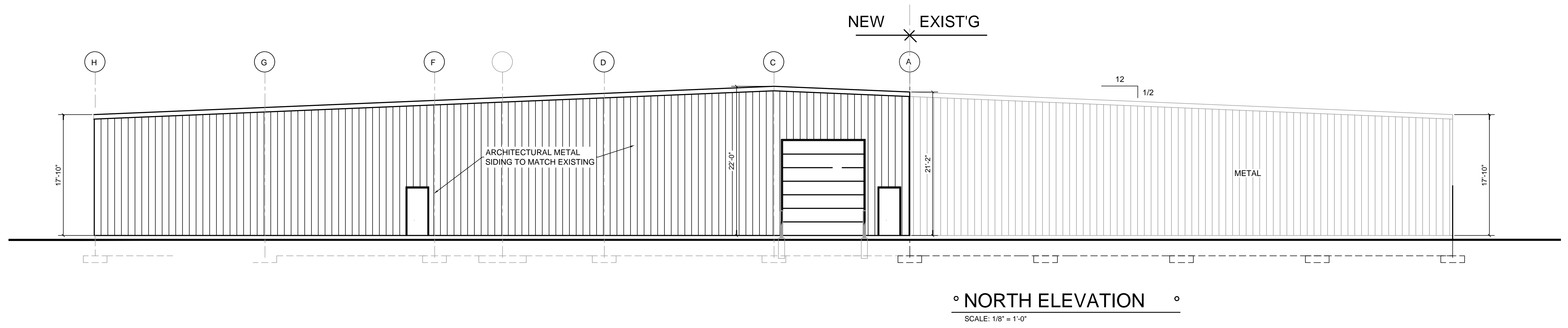
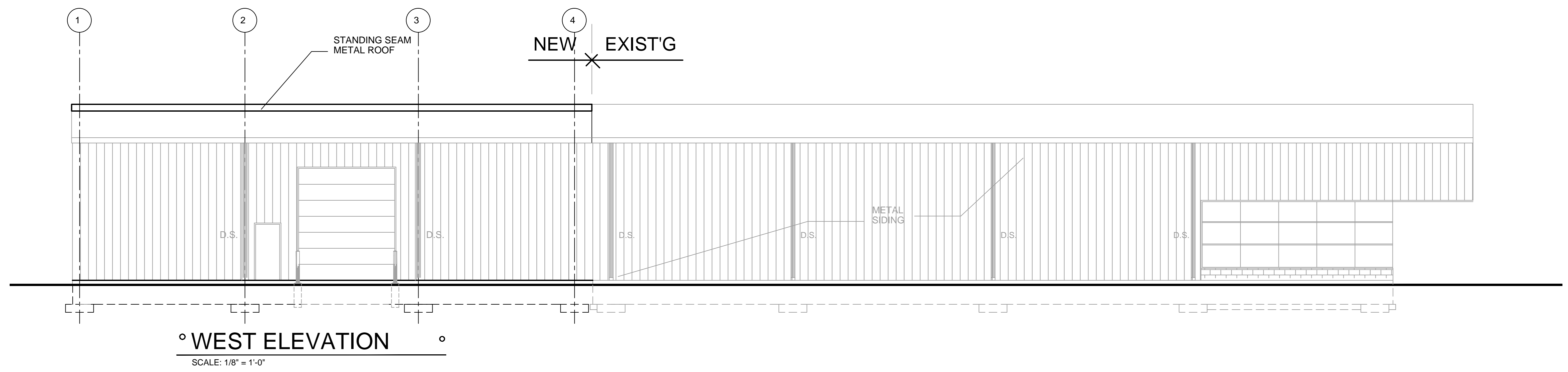
- GRADING NOTES**
- ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - ALL EXISTING TOPOGRAPHY SHOWN IS FROM PUBLICLY AVAILABLE LIDAR INFORMATION AND MAY DIFFER FROM FIELD CONDITIONS. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES SHOWN PRIOR TO CONSTRUCTION.
 - PROPERTY LINES SHOWN ARE FROM GIS INFORMATION AND ARE NOT TO BE RELIED UPON. CONTRACTOR SHALL FIELD LOCATE THE PROPERTY CORNERS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF PROPERTY LINE SHOWN ON PLANS DIFFERS FROM THE ACTUAL LOCATION.
 - ALL EARTHEN SLOPES SHALL BE LESS THAN 3:1 UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

GRADING LEGEND

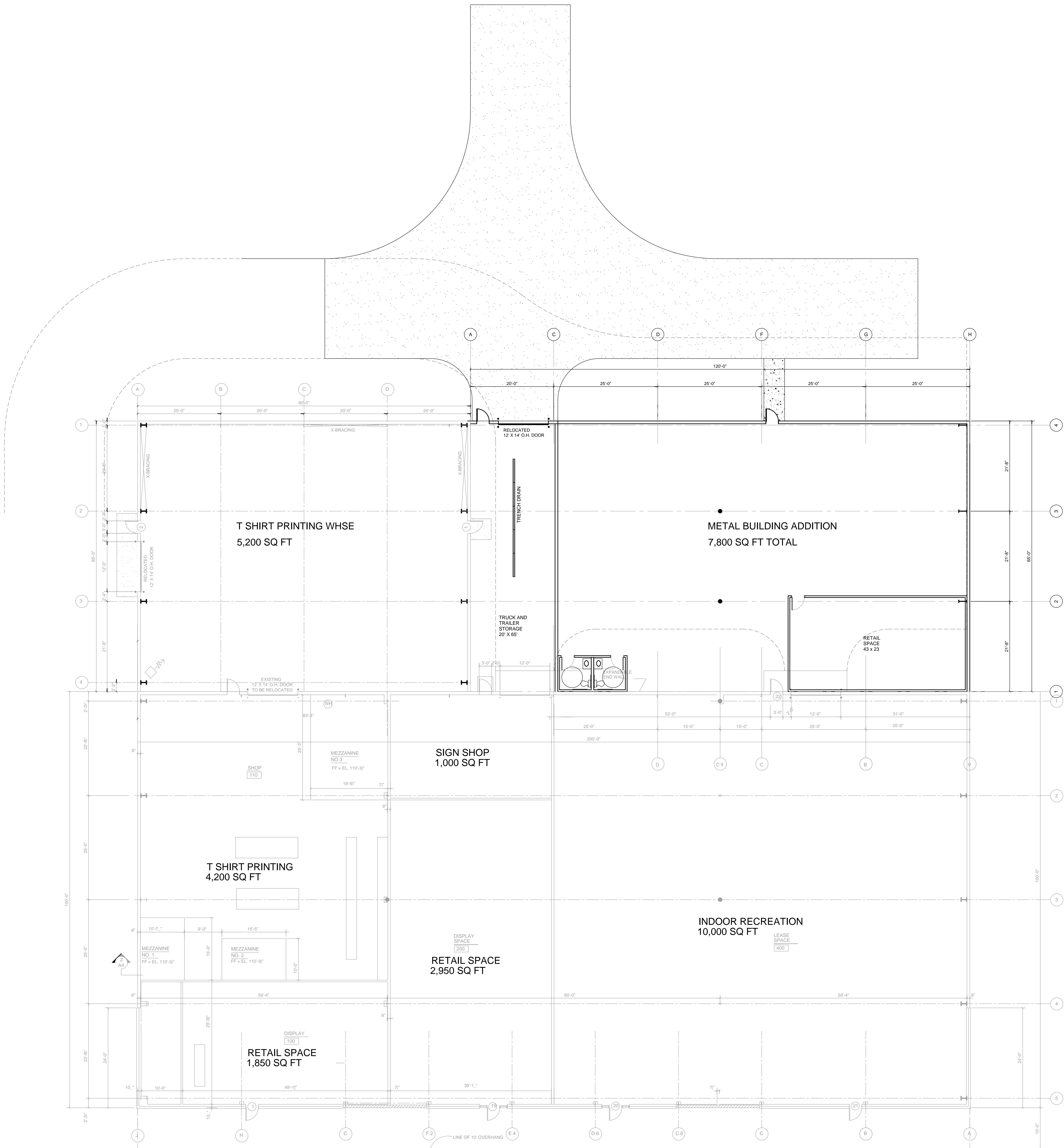
ME	= MATCH ELEVATION
TP	= TOP OF PAVEMENT
---	EXISTING CONTOUR
---	PROPOSED CONTOUR

LEGAL DESCRIPTION

COMMENCING AT THE WEST 1/4 POST OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 12 WEST OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN; THENCE EASTERLY ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION 1895.1 FEET TO THE EAST LINE OF THE WEST 608.3 FEET OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4; THENCE NORTH 0 DEGREES 45 MINUTES 29 SECONDS EAST PARALLEL WITH SAID EAST LINE 126.25 FEET TO THE NORTHERLY LINE OF WEST MAIN STREET FOR THE BEGINNING OF LAND HEREAFTER DESCRIBED; THENCE CONTINUING NORTH 0 DEGREES 46 MINUTES 29 SECONDS EAST 660 FEET; THENCE NORTH 89 DEGREES 4 MINUTES 34 SECONDS EAST PARALLEL WITH THE NORTHERLY LINE OF SAID STREET 330 FEET; THENCE SOUTH 0 DEGREES 46 MINUTES 29 SECONDS WEST 660 FEET TO SAID STREET LINE; THENCE SOUTH 89 DEGREES 4 MINUTES 34 SECONDS WEST 330 FEET TO THE PLACE OF BEGINNING.



SHEET NO.:	DATE:	REVISION:	<h2 style="margin: 0;">T-SHIRT PRINTING</h2> <p style="margin: 0;">8608 WEST MAIN STREET (M-43) OSHTEMO TOWNSHIP, MI</p>	NORTH 	<p style="margin: 0;">Delta Design Systems, Inc. design & build contractors steel building systems</p>	<ul style="list-style-type: none"> ● 8240 Stadium Drive ● Kalamazoo, Michigan 49009 ● phone: (616) 353-7800 	JOB NUMBER:
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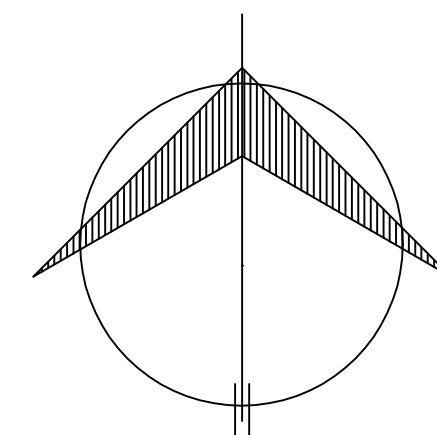
° FLOOR PLAN °
NO SCALE

SHEET NO.:	DATE:	REVISION:

T-SHIRT PRINTING

WEST MAIN STREET (M-43)
OSHTEMO TOWNSHIP, MI

NORTH



Delta Design Systems, Inc.
design & build contractors steel building systems

- 8240 Stadium Drive
- Kalamazoo, Michigan 49009
- phone: (616) 353-7800

JOB NUMBER:



KALAMAZOO COUNTY GOVERNMENT

In the Pursuit of Extraordinary Governance...

July 14, 2021

Scott Musser
8240 Stadium Drive
Kalamazoo, MI 49009

Re: Proposed Use of Existing Sewage Treatment System at 8608 West Main St., Oshtemo Township

Dear Mr. Musser,

An evaluation was completed for the existing sewage treatment system at 8608 West Main Street in Oshtemo Township. The proposed use of this facility is for a t-shirt printing business consisting of 32 employees and a batting cage area for a maximum of 6 customers per day. The original sewage treatment system was designed for 1,980 gallons per day (gpd) which included a t-shirt printing business (280 gpd), Puckmasters Hockey (800 gpd), and The Athletes Corner (900 gpd). The sewage treatment system was installed in 2002 and consists of two 1,000 gallon septic tanks and 2,000 square feet of trenches.

Based on the information provided to this office, the proposed business is not considered an increased use for this facility. Two parameters were reviewed to come to this decision. The first being the new numbers provided which consisted of 32 employees (estimated at 35 gallons per person per day) and 6 customers (estimated at 25 gallons per person per day). This information leads to an estimated wastewater flow of 1,270 gallons per day. The second parameter was based on water usage data. It was determined that over the past two years, the facility has utilized a maximum of 305 gallons per day (this includes a 25% overage).

Therefore, based on the information above, this office is allowing this facility to utilize the current sewage treatment system based on the proposed use of the building for a t-shirt printing business and batting cages at the provided information of 32 employees and 6 customers. Please note that this evaluation does not speculate on the condition of the existing system in its current state. Our office recommends that you have the septic tank pumped approximately every 3-5 years. Please contact me at 373-5172 with any questions that you may have.

Sincerely,

Lucas Pols, REHS
Environmental Health Supervisor

cc: Oshtemo Township
Scott Musser: scott@deltadesignsystems.com

HEALTH AND COMMUNITY SERVICES DEPARTMENT

Environmental Health Unit

311 East Alcott Street | Kalamazoo, MI 49001

Phone: 269.373.5210 | www.kalcounty.com/eh

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July 22, 2021



Mtg Date: July 29, 2021

To: Oshtemo Township Planning Commission

From: Colten Hutson, Zoning Administrator

Applicant: Michael Callaghan, The Four Leaf Companies

Owner: Huntington Run Partners LLC

Property: Unaddressed, Parcel Number 05-35-255-010 & 6255 Cranbrook Lane, Parcel numbers 05-35-230-012, 05-35-280-011, and 05-35-280-019.

Zoning: R-5: Residence District
Village Form Based Code Overlay Zone

Request: Site plan and special use approval to expand the Huntington Run Mobile Home Park by adding an additional 31 mobile home units.

Section(s): Section 49.150: Mobile Home Parks and Accessory Buildings and Uses
Section 64: Site Plan Review
Section 65: Special Uses

PROJECT SUMMARY:

Huntington Run Partners LLC is requesting site plan and special use approval to expand the Huntington Run Mobile Home Park onto a neighboring 8-acre parcel to the west. The proposed expansion would provide an additional 31 mobile home units to the park. The project area under consideration is outlined in light blue on the map to the right, with the expansion area identified by the yellow star. All four parcels are zoned R-5 Residence District.

Huntington Run Mobile Home Park currently spans over 38 acres and has 177



mobile home units. If the expansion is approved, the mobile home park will have 208 mobile home units on an area of approximately 46 acres. The existing portion of the mobile home park is located at 6255 Cranbrook Lane along Atlantic Avenue, with the expansion area adjacent to its immediate west. Mobile home parks are listed as a special use within the R-5 district. Site plans for special exception uses of this nature generally go through a formal review process that begins at an administrative level and then ultimately goes before the Township Board following approval from the Planning Commission.

It should be noted that the 8-acre parcel housing the proposed expansion is within the Village Form Based Code Overlay Zone. Permitted and special uses in the Village Form Based Code Overlay Zone are designated by the underlying zoning district. As noted above, the expansion area is zoned R-5 Residence District which allows for mobile home parks as a special use. The Overlay does not provide standards for mobile home parks and therefore is not applicable to this request.

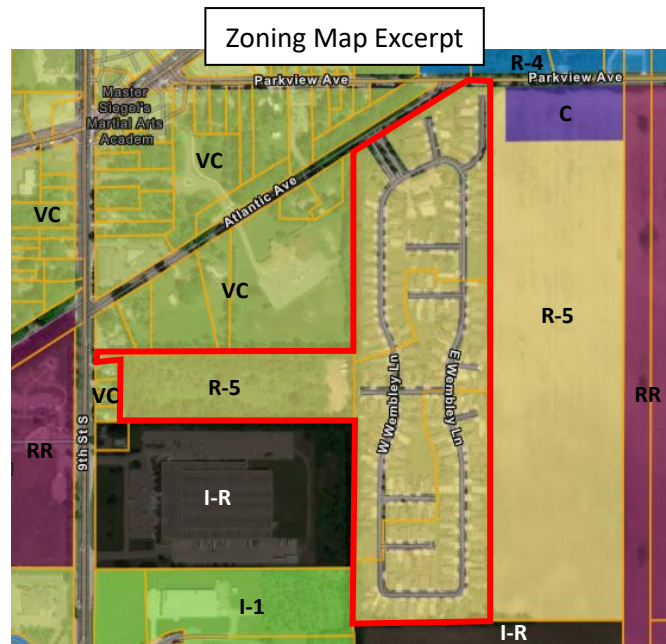
ANALYSIS:

When reviewing this Special Use request, there are three sets of criteria that need to be considered: 1) the general site plan review criteria outlined in Section 64, 2) the general special use review criteria outlined in Section 65.30, and 3) the specific requirements for special uses outlined in Section 49.150. Below is an analysis of the proposal against these three Sections. Overall, most of the requirements of Section 64, Section 65.30, and Section 49.150 have been met.

Section 64: Site Plan Review

General Zoning Compliance:

Zoning: Huntington Run Mobile Home Park and the proposed expansion area are zoned R-5: Residence District and situated in the southeast quadrant of the Township. Mobile home parks are permitted as a special use within the R-5 district. The property abuts farmland to its east and south, industrial uses to its southwest, along with a mixture of low and high density residential, offices and institutional uses to its west, northwest, and north. The adjacent zoning varies between R-5: Residence District, R-4: Residence District, I-R: Industrial District, Restricted, I-1: Industrial District, and VC: Village Commercial. See zoning map excerpt on the right. Approximately 2.41 acres of open space is proposed.



The existing portion of the mobile home park currently spans over three separate parcels. If the expansion is approved, the mobile home park would cover a total of four parcels. It should be noted for best planning practices, staff requested the applicant submit a land combination application to the Township to combine the subject four parcels into one. This application would be formally reviewed pending approval from the Planning Commission and Township Board.

Access and Circulation:

Access: Section 49.150(C) of the Zoning Ordinance requires that all mobile home parks have a minimum of two access streets connecting said park to public roadway. The existing portion of the mobile home park under consideration has road frontage along Parkview Avenue and Atlantic Avenue. The already established access drive adjacent to Atlantic Avenue is a boulevard entrance with 24' wide ingress lane, 24' wide island, and 24' wide egress lane. The expansion area would also acquire an additional 40' of road frontage adjacent to S 9th Street. Since a normal secondary access drive in this location with ingress/egress lanes would not meet the Road Commission of Kalamazoo County's safety standards and specifications, the applicant applied for a variance. The variance request was to reduce the total number of access drives for the mobile home park to one. On April 27, 2021, the Zoning Board of Appeals reviewed and granted the requested relief from Section 49.150(C) of the Zoning Ordinance. However, a condition of approval of the variance was that a 20' wide emergency access drive adjacent to S 9th Street be installed in conformance to the Fire Department's safety standards and specifications. The emergency access drive will be securely gated with a Knox Box for Fire Department access and will only be utilized for fire and safety purposes. **A permit by the Road Commission of Kalamazoo County authorizing the emergency access drive will be required as a condition of approval.**

The site is designed to accommodate two-way travel throughout the mobile home park. The circulation aisles on the submitted site plan are proposed to be 24' in width. The Fire Marshal has reviewed the site plan and found it adequate to service emergency vehicle circulation.

Parking: The proposed site plan demonstrates that each mobile home will have three 10' x 20' concrete parking stalls on their corresponding site. The three parking stalls will be designed in an "L-shape" type formation, allowing two parking stalls to abut the interior drive with an extra stall closer to the structure. On-street parking is prohibited as no on-street parking is being proposed.

Easements: A 16.5' wide Michigan Bell easement dedicated for telephone services spans along the expansion areas frontage on the east side of S 9th Street. An established 30' wide easement located on the north side of the expansion area that was designated for utilities was terminated in April of 1994. No changes to the current easements for the existing portion of the mobile home park are proposed.

Sidewalks: For projects undergoing formal site plan review, an internal sidewalk network shall be required along any public right-of-way or private street easement. The site plan under consideration proposes a sidewalk network along the circulation aisle's interior. The sidewalk being proposed will be 4' wide and made of concrete. Said facility is also proposed to extend to the existing portion of the mobile home park, spanning on the north side of the circulation aisle along with connecting to the proposed 6' wide shared use path adjacent to S 9th Street, extending on the south side of the emergency access drive.

Shared Use Path: Per Section 57.90: Sidewalks of the Zoning Ordinance, sidewalks indicated on the Township's Non-motorized Plan shall be installed by the developer when properties adjacent to planned non-motorized facilities receive site plan approval from the municipality. The Township's Non-motorized Plan does identify a 6' wide shared use path adjacent to the subject site on the east side of S 9th Street. Said plan also identifies 5' wide sidewalks adjacent to Parkview Avenue and Atlantic Avenue. The proposed site plan does include the mentioned non-motorized

facilities. It should be noted that the site plan will need to be revised so that it eliminates the annotation describing that an escrow account is to be established for future sidewalk installation. An updated site plan shall be required as such non-motorized facilities shall be installed by the developer as a condition of approval.

Building Design

Building Information: The proposed mobile home units will be approximately 1,568 SF in size. The area of the individual sites are proposed to be roughly 7,692 SF in size. These one-story buildings will be accompanied with two different floor plans. The Sherwood floor plan offers colors in graphite gray, pebble clay, harbor stone, and cypress while the Pulse floor plan offers colors in gray, clay, flint, and bayou blue. Both styles would consist of vinyl siding for the exterior materials. See images of the building's exterior to the right and below.



Lot Dimensions: The site under consideration is about 46 Acres and has approximately 40' of road frontage on S 9th Street, 574' of road frontage adjacent to Atlantic Avenue, and 176' of road frontage adjacent to Parkview Avenue (790' total). The mobile home park with the expansion area exceeds both the property area (15 acres minimum) and frontage (200' minimum) requirements of the R-5: Residence District. The site's dimensions satisfy zoning ordinance requirements.

Setbacks: Properties located within the R-5: Residence District are required to have a minimum front yard building setback of 30'. If properties are located along a designated highway within the Township, they are subject to additional setback requirements if greater than what is outlined for the underlying zoning district. The minimum setback requirement for properties adjacent to S 9th Street, a designated highway, is 70'. The mobile home units that are situated immediately east of the single-family homes adjacent to S 9th Street is setback 145' away from the S 9th Street public right-of-way line. Properties zoned R-5: Residence District are also subject to have a minimum side and rear yard setback of 10'. The mobile homes units are setback 30' from the southern property line and approximately 65' from the northern property line. **A revised site plan**

illustrating a minimum setback of 10’ or the height of the abutting side of the building at its highest point as measured from the grade of the property line, whichever is greater, between the eastern property line and mobile home units 178 and 179 as displayed on the site plan shall be submitted as a condition of approval.

Fencing: The applicant is proposing fencing to be installed on the western, northern, and southern property lines due to the various uses surrounding the property. Fencing for mobile home parks is not a requirement per ordinance but are allowed a maximum fence height of 8’ in the R-5: Residence District. However, there are inconsistencies regarding the height and type of fencing proposed in the site plan and landscaping plan. **Such inconsistencies with the fencing will need to be corrected and reviewed administratively as a condition of approval.**

Lighting: The applicant has expressed that they are experiencing difficulties of finding a service provider that can design a photometric plan for the project. **Since a great majority of the site plan is complete, staff is comfortable with the applicant submitting a photometric plan to be reviewed administratively as a condition of approval.**

Signs: No additional signage for the site is proposed. If the applicant wishes to add signage in the future, such signage will be required to be reviewed and approved by staff at time of their sign permit application submission.

Landscaping

The landscaping plan that was submitted is satisfactory as the applicant is proposing to preserve a number of trees in addition to planting several different tree species on-site. The proposed landscaping plan also illustrates that the mobile home units will possess at least one tree on each respective site. Such trees will be strategically placed in the front yard of each site to provide a form of streetscaping. Such trees are proposed to have a 2” caliper and will consist of different tree species such as red pointe maples, black gums, and red oaks.

Engineering

Prein & Newhof and the Oshtemo Public Works Department have reviewed the project site plan and are satisfied with the proposal.

Fire Department

The Fire Marshal has reviewed the site plan and is satisfied with the proposal. The control gate is placed in a desired location and will have a Knox Box attached for Fire Department access. Such gate will need to conform to the safety standards and specifications set by the Fire Department.

Section 65.30: Special Use Review Criteria

A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

The Township’s Future Land Use Plan categorizes this area on the east side of S 9th Street, just south of Atlantic Avenue, as *Transitional Office*. This category is intended to buffer low density residential areas from commercial zoning by allowing *limited* non-residential uses along relatively busy roadways that tend to be less desirable for residential development. Uses outlined within this designation include a combination of office uses such as professional service firms along with institutional uses such as churches, libraries, and public recreation. This property is zoned R-5:

Residence District. Mobile home parks are permissible through special exception use approval from the Planning Commission within the R-5: Residence District. Although the proposed use does not meet the intent of the Township's Master Plan documents for this area, it does indeed comply with the Township's current Zoning Ordinance and Zoning Map.

B. Site Plan Review: The Site Plan Review Criteria of Section 64

A site plan has been provided. See the above evaluation under [Section 64: Site Plan Review](#).

C. Impacts:

1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.

The proposed project area will be an extension of an existing mobile home park adjacent to the east. Mobile home parks are considered as a special exception use within the R-5: Residence District. The property to the immediate east of the existing portion of the mobile home park shares the same zoning designation of R-5: Residence District. The R-5: Residence District allows for a mixture of use types. Such uses include adult foster care facilities, group day care homes, mobile home sales, mobile home subdivisions and condominium projects, communication towers, etc. Additional higher density residential exists just north of the mobile home park on the north side of Parkview Avenue. An extension of the mobile home park on the neighboring 8-acre parcel would be harmonious with the other existing uses surrounding the site and would follow best planning practices. It is typical to see a concentrated area of higher intensity development to be incrementally surrounded by lower intensity development. An example of this would be a commercial area followed by higher density residential which is then followed by lower density residential. With the existing higher intensity development to the south, in which transitions to lower density further north, the proposed use on this site would follow the pattern that is described. With the proposed mobile home park being compatible with the allowable use within this zoning district, and being in accordance with the Zoning Ordinance, staff has no concerns that the proposed use will negatively affect neighboring uses.

2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.

The expansion area currently remains as a vacant, unimproved parcel. The proposed site plan suggests that the mobile home park will be well buffered from adjacent properties through natural wooded areas and intentional tree plantings on-site. The site plan is also providing screening in the form of fencing along the northern, western, and eastern property lines. Additionally, the proposed access drive adjacent to S 9th Street will be used in a limited fashion for emergency purposes only, as this will be a locked and gated entrance. All vehicular movements will circulate through the existing portion of the mobile home park and filter out through the existing boulevard entrance drive adjacent to Atlantic Avenue. The minimum building setbacks have been met. See sections on Access and Landscaping under Section 64: Site Plan Review of this report. With this expansion, Township staff foresee no detriment or injury to adjacent properties or the general public.

3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.

Uses within the R-5: Residence District zoning classification are allowed to be developed on this site. In 2005, the Planning Commission approved the same project. Although the special exception use permit expired, this demonstrates that this type of land use was deemed appropriate in the proposed location. It should be noted that Oshtemo Township's engineering consultant, Prein and Newhof, did evaluate the existing and future development of Huntington Run and the driveway connected to Atlantic Avenue from a traffic engineering standpoint. The data from traffic counts in 2017 indicated that the traffic on Atlantic Avenue is moderately low. Prein and Newhof believes that the additional traffic generated by the proposed development expansion alone would not enough to trigger the need for a secondary full point of ingress/egress. Additionally, although there may be an increase in noise throughout the construction phases of the project, staff anticipates that the completed stage of the project will not generate such negative impacts on adjacent properties.

D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.

The proposed project will be developed on property that is presently undeveloped. The subject expansion area is approximately 8 acres and is heavily wooded. Many trees central to the project area will need to be eliminated in order to accommodate key infrastructure and the mobile home units themselves. However, the applicant is proposing to install new tree plantings and shrubbery throughout the site in addition to conserving many of the existing trees along the perimeter of the property. Through low impact development practices, a decent amount of open space will remain prevalent.

E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.

The existing portion of the mobile home park is already adequately serviced by municipal water and sanitary sewer. If approved, such utilities would be extended to the expansion area from the east and be connected to the existing infrastructure. The Township's Non-motorized Transportation Plan does identify a 6' wide shared use path adjacent to the subject site on the east side of S 9th Street. Said plan also identifies 5' wide sidewalks adjacent to Parkview Avenue and Atlantic Avenue. The site plan does include the mentioned non-motorized facilities. Such facilities will be installed as a condition of approval.

F. Specific Use Requirements: The Special Use development requirements of Article 49.
See evaluation under Section 49.150.

A. Shall include residences for the mobile home park owner and family.

Although no units will be assigned for the mobile home park owner, the presence of a community office on the premises meets the intention of the Zoning Ordinance. A community office has already been established in the existing portion of the mobile home park at 6255 Cranbrook Lane. Requirement satisfied.

B. All mobile home parks shall comply with the requirements imposed by Michigan Public Act 419 of 1976 and any and all amendments thereto and with any and all regulations promulgated thereunder by the Michigan Mobile Home Commission and the Michigan Department of Public Health, except as said Act and regulations may be modified by the provisions herein.

The applicant has acknowledged that the development will follow the requirements set forth in the Michigan Public Act 419 of 1976 and the provisions of the Zoning Ordinance.

C. Mobile home parks shall have no less than 200 feet of frontage on a dedicated public road. Every mobile home park must have a minimum of two access streets connecting said park to a public highway or highways unless the Zoning Board of Appeals grants a variance from such requirements where, in the opinion of said Board, the additional access or accesses would not improve traffic safety because of the peculiar characteristics of the proposed development.

Requirement satisfied. With the mobile home park expansion, the site will have roughly 790' of frontage adjacent to public roadway. The applicant sought and was granted a variance from the Zoning Board of Appeals in which allowed the required number of access streets connecting the park to public roadway to be reduced to one. Please see language on Access under Section 64: Site Plan Review of this report for details.

D. Mobile home parks shall not be less than 15 acres in size.

Requirement satisfied as the overall mobile home park including the expansion area provides a total of 46 acres.

E. Landscaping in accordance with Article 53 - Landscaping shall be provided.

Requirement satisfied. Please see attached Landscaping Plan and language on Landscaping under Section 64: Site Plan Review of this report for details.

F. All two-way interior drives within a mobile home park shall be paved with asphalt or a similar hard surface so as to have a paved driving surface with a minimum width of 21 feet exclusive of any area used for parking. All one-way interior drives within a mobile home park shall also be paved with asphalt or a similar hard surface so as to have a paved driving surface with a minimum width of 13 feet exclusive of any area used for parking. When an interior drive would serve as a connecting link between different land ownerships or different public roads, either currently or within the foreseeable future, it shall, regardless of whether it is a public or private road, be constructed in accordance with the public road specifications of the

Kalamazoo County Road Commission and be located upon a reserved right-of-way of not less than 66 feet in width.

Requirement satisfied as the proposed circulation aisle will be 24' in width and will be designed to allow for two-way travel. A variance was granted in which allowed the mobile home park to operate with one access drive. Since the proposed access drive adjacent to S 9th Street will be used for emergency purposes only, and with it being a locked and gated entrance, it is not considered a connecting link between public roads, therefore, waiving the road right-of-way width requirements of 66'. Please see language on Access under Section 64: Site Plan Review of this report for further details.

- G. Two paved off-street (or drive) parking spaces for each mobile home site shall be provided; in addition, regional paved off-street (or drive) parking spaces shall be provided sufficient for the parking of one vehicle for every three mobile home sites. On-street (or drive) parking shall be prohibited. Notwithstanding the foregoing, the within provisions shall not be deemed to prohibit paved parking bays contiguous to interior drives, so long as said paved parking bays do not intrude upon the minimum interior drive, driving surface widths prescribed above and meet the relevant standards for parking bays promulgated by the Michigan Mobile Home Commission pursuant to Michigan Public Act 419 of 1976, as amended.**

Requirement satisfied as each of the 31 mobile home units will be provided three off-street parking stalls. No off-street parking is proposed nor is allowed.

- H. Each mobile home site shall be well-drained and be provided with a permanent foundation providing adequate footing such as concrete piers, concrete ribbons (at least 24 inches in width) or a concrete slab base.**

Requirement satisfied.

- I. All utilities, including Cable TV, installed in the mobile home park must be installed underground.**

Requirement satisfied as noted on site plan.

- J. Fire hydrants must be installed and the placement and size thereof shall be determined by the developer subject to the approval of the Township Fire Department.**

The Fire Marshal has reviewed the site plan and approves of the placement and size of the fire hydrants being proposed. Requirement satisfied.

- K. Each mobile home park shall be developed with sites of not less than 5,500 square feet per mobile home unit. These 5,500 square feet for any one site may be reduced up to 20 percent provided that the minimum individual site is not less than 4,400 square feet. For each square foot of land gained through the reduction of a site below 5,500 square feet, at least 75 percent of the land saved shall be dedicated as open space, but in no case shall the open**

space requirement be less than that required under Rule 125.1946 of the Michigan Administrative Code.

Requirement satisfied as each mobile home site is proposed to be 7,692 SF in size. It should be noted that the Township has been made aware that the site lines within the existing portion of the mobile home park have been altered. **To ensure that the mobile home sites meet the above standards an updated site plan shall be provided showing the site configurations and square footages for all sites within the mobile home park.**

- L. Every mobile home park must be connected to a municipal sanitary sewer system and a municipal public water system under such arrangements and contracts as can be agreed upon between the developer and the Township Board prior to the approval of the mobile home park plans by the Planning Commission.**

Requirement satisfied. The Public Works Department provided the applicant an estimated utility fee total for municipal water and sanitary sewer connection and confirmed that such arrangement is satisfactory and meets the intent of this section of the Zoning Ordinance.

- M. Only one single-family mobile home shall be allowed per mobile home site.**

Requirement satisfied as noted on site plan.

- N. Every mobile home park must provide at least a 12-foot wide deceleration lane into every entrance to the mobile home park abutting a public road. The Planning Commission shall have authority to grant a deviation from this requirement when it determines in its sole discretion that, because of factors such as the low level and/or rate of speed of traffic on the abutting public road, the deceleration lane would serve no useful practical purpose in protecting the safety of persons entering the mobile home park or traveling upon the public road abutting the mobile home park entrance.**

A small bump out currently exists near the ingress lane of the existing access drive adjacent to Atlantic Avenue. The code requires a 12-wide deceleration lane leading up to the existing entrance point. Atlantic Avenue is a 45mph roadway. With the expansion of 31 mobile home units, there will be an increase in traffic volume traveling in and out the mobile home park. The applicant has noted on the site plan that the existing deceleration lane will need to conform to the standards and specifications imposed by the Road Commission of Kalamazoo County. **A permit by the Road Commission of Kalamazoo County authorizing the deceleration lane will be required as a condition of approval.**

- O. Preliminary Plan.**

- 1. Preliminary plans for all new mobile home parks or expansion of existing mobile home parks must be submitted to and approved by the Planning Commission as being in compliance with the terms of this Ordinance and all applicable state statutes and regulations promulgated thereunder before construction may commence. Application for preliminary plan approval shall be made by (1) filing seven copies of the preliminary plan with the Township Clerk, and (2) paying a preliminary plan review fee as determined by resolution of the Township Board**

based upon the cost of processing the review and as shall be on file with the Township Clerk for public information.

Requirement satisfied.

2. The preliminary plan must consist of, but shall not be limited to, the following:

a. The name and address of the applicant.

Requirement satisfied.

b. The legal description of the subject parcel of land.

Requirement satisfied.

c. The area of the subject parcel of land.

Requirement satisfied.

d. The present zoning classification of the subject parcel.

Requirement satisfied.

e. A plan drawn to scale indicating all of the following:

i. The number and size of individual mobile home sites and the location of streets.

Requirement satisfied.

ii. The location and method of sewage treatment and disposal and appropriate support data necessary to show the adequacy of same.

Requirement satisfied.

iii. The source and location of the water supply and fire hydrants.

Requirement satisfied.

iv. The location of access to public roads.

Requirement satisfied.

v. The drainage provisions.

Requirement satisfied.

vi. Site features including all structures, outdoor recreational facilities, walkways, parking and street frontage.

Requirement satisfied.

vii. The location, size and design of all signs to be placed upon the site.

Requirement satisfied.

viii. The location and general description of all screening and landscaping to be retained or established on the site.

Requirement satisfied.

- 3. Property which is the subject of preliminary plan approval must be developed in strict compliance with the approved preliminary plan and any amendments thereto which have received the approval of the Planning Commission.**

The site shall develop in accordance with the approved site plan and any conditions imposed by the Planning Commission.

- 4. A proposed amendment, modification or alteration to a previously approved preliminary plan shall be submitted to the Planning Commission for review in the same manner as the original application was submitted and reviewed.**

This portion of review is not applicable at this time.

- 5. The Township Planning Commission shall have the right and authority to require the applicant to file with the Township Building Department at the time of Township approval of a preliminary plan for a new mobile home park or for expansion of an existing mobile home park, a performance surety bond, bank letter of credit or cash bond in such amounts as may be determined by said Board necessary to insure the development of the site in accordance with the approved preliminary plans therefor. Such bond or bank letter of credit, if required, shall continue for the duration of the construction and development of the site and until all conditions are complied with and shall be in a face amount which is a reasonable percentage of the estimated total costs of the particular construction and site development. If a performance bond is required, the amount of the performance bond shall be set at a minimum of 100 percent of the cost of the unfinished work. The bond shall be for the purpose of securing the health, safety and welfare of the residents of the Township and adjacent residents and property owners. Said Board shall provide for the rebate of any cash bond filed in this connection in reasonable proportion to the ratio of the work completed on the improvements for which the bond was required provided the amount remaining on deposit still provides reasonable security for the completion of the unfinished improvements germane to the deposit.**

The Planning Commission will need to evaluate whether a performance surety bond, bank letter of credit, or cash bond should be required for the proposed development. Such bond or bank letter of credit shall be set at a minimum of 100 percent of the uncompleted work and shall be intended to be collected to secure the health, safety, and welfare of the public and adjacent property owners.

- P. Mobile Home Parks - electronic copies of plans. Following final approval by the Planning Commission and before a Certificate of Occupancy may be issued, the applicant shall furnish the Township hard copies on both paper and Mylar and a digital copy of the final approved Site Plan and as-built drawings of public water and sewer mains, prepared to scale. Digital copies shall be provided in AutoCAD (.dwg) or (.dxf) format. Digital copies may be submitted on 3 ½" disk or CD.**

Each digital file shall include a minimum of two ties to Government Section Corners. Additionally, the following should be included and provided as their own unique layers in the electronic file: lot/unit numbers; dimensions; lot lines; boundaries; rights-of-way; street names; easements; section lines and section corners; utility lines; adjacent plat corners; and, other information deemed appropriate to the subject project.

Applicant will be required to produce the mentioned documents and materials prior to issuing a Certificate of Occupancy.

RECOMMENDATION:

Planning Department staff recommend the approval of the proposed Special Use and Site Plan for the mobile home park expansion with the following conditions.

- 1) A permit by the Road Commission of Kalamazoo County authorizing the emergency access drive will be required prior to building permit issuance.
- 2) A permit by the Road Commission of Kalamazoo County authorizing the deceleration lane will be required prior to building permit issuance.
- 3) A photometric plan shall be submitted to the Township for review and approval prior to building permit issuance.
- 4) A revised site plan and landscaping plan shall be submitted and approved by Township staff showing consistency in fencing prior to building permit issuance.
- 5) A revised site plan shall be submitted and approved by Township staff showing the correct minimum setbacks for all front, side, or rear yards prior to building permit issuance.
- 6) A revised site plan shall be submitted and approved by Township staff in which eliminates the annotation describing that an escrow account is to be established for future sidewalk installation prior to building permit issuance.
- 7) All non-motorized facilities on the approved site plan shall be installed prior to issuing a certificate of occupancy.
- 8) A revised site plan shall be submitted showing the configurations and square footages of the individual sites within the entire mobile home park; expansion and existing prior to building permit issuance.
- 9) An updated planning and zoning application be submitted with the signatures of the applicant and owner prior to building permit issuance.
- 10) A Soil Erosion and Sedimentation Control (SESC) permit is obtained from the Kalamazoo County Drain Commissioner's Office prior to building permit issuance.
- 11) Applicant will be required to produce the mentioned documents and materials outlined in Section 49.150(P) of Oshtemo Township's Zoning Ordinance prior to issuing a certificate of occupancy.
- 12) The subject mobile home park shall comply with the requirements imposed by Michigan Public Act 419 of 1976 and any and all amendments thereto and with any and all regulations promulgated thereunder by the Michigan Mobile Home Commission and the Michigan Department of Public Health, except as said Act and regulations may be modified by the provisions in Section 49.150: Mobile Home Parks and Accessory Buildings, and Uses.

Attachments: Application, Site Plan, Landscaping Plan, Exterior Elevations, and Minutes from April 27, 2021 ZBA meeting

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7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS HUNTINGTON RUN EXPANSION

PLANNING & ZONING APPLICATION

Applicant Name : MICHAEL CALLAGHAN

Company THE FOUR LEAF COMPANIES

Address 600 W. 22ND STREET
SUITE 101

OAK BROOK, IL 60523

E-mail MCALLAGHAN@FOURLEAFPROP.COM

Telephone (773) 230-5611 Fax _____

Interest in Property OWNER

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

OWNER*:

Name HUNTINGTON RUN PARTNERS, LLC

Name THE FOUR LEAF COMPANIES

Address 600 W. 22ND STREET, SUITE 101

OAK BROOK, IL 60523

Email MCALLAGHAN@FOURLEAFPROP.COM

Phone & Fax (773) 230-5611 _____

Fee Amount _____

Escrow Amount _____

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|--|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input checked="" type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

OBTAIN TOWNSHIP APPROVAL FOR THE SAME PROJECT
THE TOWNSHIP APPROVED MARCH 24, 2005.

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

SEE ATTACHED.

PARCEL NUMBER: 3905- 35-255-010

ADDRESS OF PROPERTY: S 9TH STREET, KALAMAZOO, MI 49009

PRESENT USE OF THE PROPERTY: VACANT

PRESENT ZONING R5-VILLAGE FRINGE SIZE OF PROPERTY 8.9 ACRES

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.

Owner's Signature (* If different from Applicant)

Date

Richard P. Casper

11/9/20

Applicant's Signature

Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

Legal Description:

Commencing at the North 1/4 post of Section 35, T. 2 S., R. 12 W.; thence along the North and South 1/4 line of said Section 35 South 00°-32'-09" West a distance of 1351.50 feet to a point called for in Liber 1057 Page 1368, Kalamazoo County Records; thence North 89°-57'-00" East a distance of 50.00 feet to the Easterly line of 9th Street and the place of beginning of this description; thence along said Easterly line of 9th Street, North 00°-32'-09" East a distance of 40.49 feet to the North 1/8 line of said Section 35; thence along said North 1/8 line, North 89°-57'-00" East a distance of 1267.21 feet to the East 1/8 line of said Section 35; thence along said East 1/8 line, South 00°-31'-12" West a distance of 328.74 feet to the South line of the North 1/2 of the North 1/2 of the Southwest 1/4 of the Northeast 1/4 of said Section 35; thence along said South line, South 89°-59'-34" West a distance of 1152.30 feet to a point 165 feet Easterly of said North and South 1/4 line; thence parallel with said North and South 1/4 line, North 00°-32'-09" East a distance of 287.39 feet; thence South 89°-57'-00" West a distance of 115.00 feet to said Easterly line of 9th Street and the place of beginning of this description.

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HUNTINGTON RUN

EXPANSION

MFG. HOUSING COMMUNITY CONSTRUCTION PLANS

6255 CRANBROOK LANE, OSHTEMO TOWNSHIP
KALAMAZOO COUNTY, MICHIGAN 49009

DEVELOPER:

FOUR LEAF COMPANIES
(773) 230-5611
600 W. 22ND STREET, SUITE 101
OAK BROOK, IL 60523

ENGINEER:

EXXEL ENGINEERING, INC
(616) 531-3660
5252 CLYDE PARK AVE SW
WYOMING, MI 49509

2005 CONTACTS:

DEVELOPER:
HUNTINGTON RUN L.L.C.
(269) 381-5566
555 WEST CROSSTOWN PARKWAY - STE 202
KALAMAZOO, MI 49008

ENGINEER:
RIPSTRA & SCHEPPELMAN INC.
(517) 789-9898
2535 SPRING ARBOR ROAD, JACKSON, MI 49203

LANDSCAPE ARCHITECT:
DONALD C. WESTPHAL ASSOCIATES, L.L.C.
LANDSCAPE ARCHITECTURE AND SITE PLANNING
(248) 651-5518
71 N. LIVERNOIS, SUITE A, ROCHESTER HILLS, MI. 48307

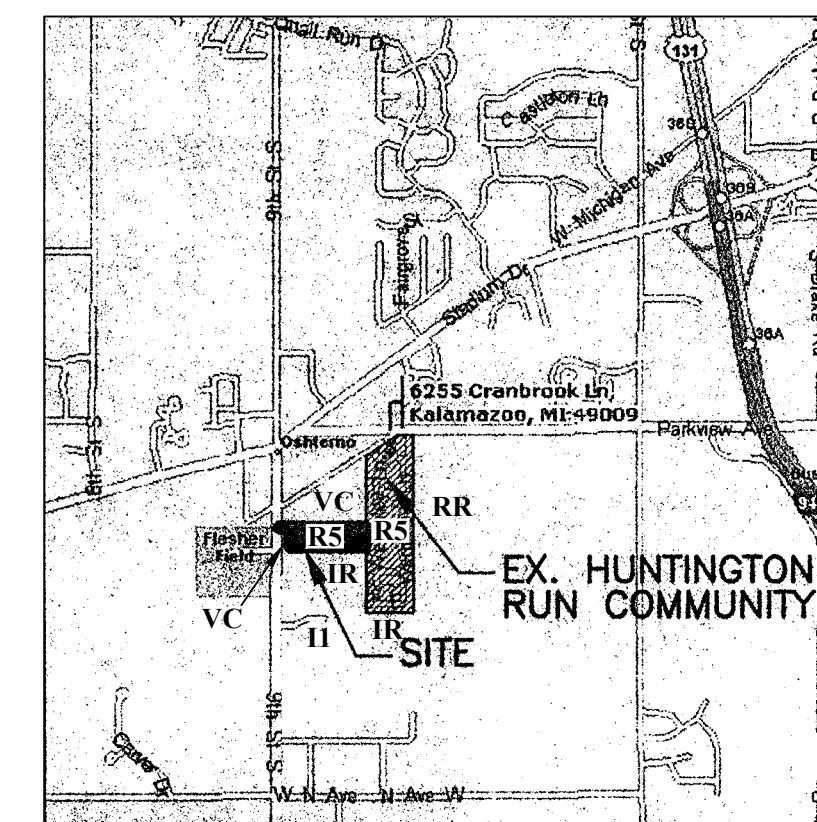
SHEET INDEX:

- 1 OF 8 COVER SHEET
- 2 OF 8 OVERALL SITE PLAN
- 3 OF 8 GRADING, PAVING, & TOPOGRAPHY
- 4 OF 8 STORM SEWER PLAN
- 5 OF 8 SANITARY SEWER & WATER MAIN
PLAN & PROFILES
- 6 OF 8 UTILITIES DETAILS SHEET
- 7 OF 8 STANDARD DETAILS & NOTES
- 8 OF 8 PROPOSED 8" WATER SERVICE

LEGAL DESCRIPTION:

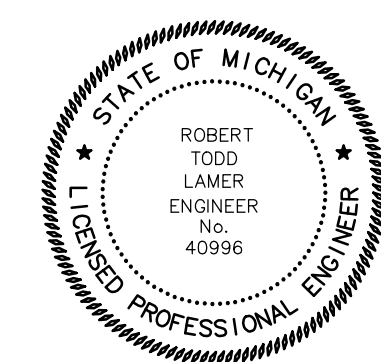
Commencing at the North 1/4 post of Section 35, T. 2 S., R. 12 W.; thence along the North and South 1/4 line of said Section 35 South 00°-32'-09" West a distance of 1351.50 feet to a point called for in Liber 1057 Page 1368, Kalamazoo County Records; thence North 89°-57'-00" East a distance of 50.00 feet to the Easterly line of 9th Street and the place of beginning of this description; thence along said Easterly line of 9th Street, North 00°-32'-09" East a distance of 40.49 feet to the North 1/8 line of said Section 35; thence along said North 1/8 line, North 89°-57'-00" East a distance of 1267.21 feet to the East 1/8 line of said Section 35; thence along said East 1/8 line, South 00°-31'-12" West a distance of 328.74 feet to the South line of the North 1/2 of the North 1/2 of the Southwest 1/4 of the Northeast 1/4 of said Section 35; thence along said South line, South 89°-59'-34" West a distance of 1152.30 feet to a point 165 feet Easterly of said North and South 1/4 line; thence parallel with said North and South 1/4 line, North 00°-32'-09" East a distance of 287.39 feet; thence South 89°-57'-00" West a distance of 115.00 feet to said Easterly line of 9th Street and the place of beginning of this description.

LEGEND	
PROP. SANITARY SEWER	
PROP. SANITARY SEWER LEAD	
PROP. WATER MAIN	
PROP. WATER LEAD	
PROP. STORM SEWER	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
EX. CONTOUR LINE	
PROP. CONTOUR LINE	
EX. SPOT ELEVATION	
PROP. SPOT ELEVATION	
VALVE & BOX	
STREET LIGHT	
STREET & STOP SIGN	
EX. VEGETATION	



LOCATION MAP

NOT TO SCALE



Know what's below.
Call before you dig.

COVER SHEET

HUNTINGTON RUN MHP

FOR: FOUR LEAF COMPANIES
ATTN: MICHAEL CALLAGHAN
600 W. 22ND STREET, SUITE 101
OAK BROOK, IL 60523

PART OF THE NW 1/4, SECTION 35, T2S, R12W, OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN

5252 Clyde Park, S.W. • Grand Rapids, MI 49509 Phone: (616) 531-3660 www.exxelengineering.com	

DATE	REVISION	REV. PER	OSHTEMO TWP COMMENTS	JOB	APPROVED BY:	JOB	PROJ. SURV.:	PROJ. ENG.:	RTL	SHEET
6/30/2021		REV. PER	OSHTEMO TWP COMMENTS	JOB	APPROVED BY:	JOB	PROJ. SURV.:	PROJ. ENG.:	RTL	1 of 8
6/1/2021		REV. PER	OSHTEMO TWP COMMENTS	JOB	APPROVED BY:	JOB	PROJ. SURV.:	PROJ. ENG.:	RTL	
		DATE	REVISION	BY	FILE NO.:	DATE:	11/09/2020			

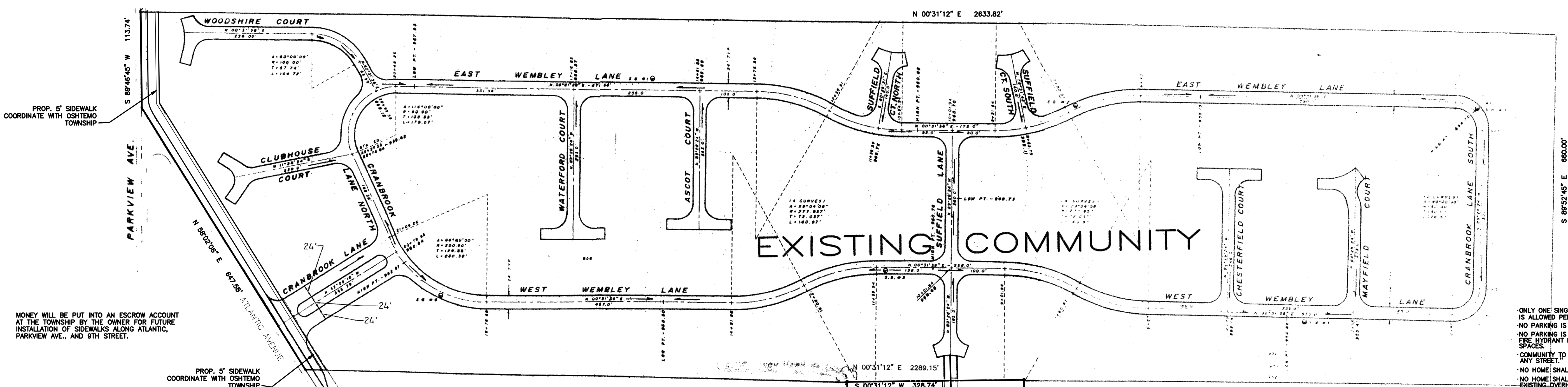
DATE	REVISION
11/09/2020	REV. PER OSHTEMO TWP. COMMENTS
07/22/2021	REV. PER OSHTEMO TWP. COMMENTS
06/03/2021	REV. PER OSHTEMO TWP. COMMENTS
06/03/2021	REV. PER OSHTEMO TWP. COMMENTS

DRAWN BY: JJB
 APPROVED BY: RPL
 PROJ. ENG.: RPL
 PROJ. SURV.:
 DATE: 11/09/2020

excelengineering, inc.
 planners - engineers - surveyors
 Phone: (616) 831-8860
 www.excelengineering.com

OVERALL PLAN

HUNTINGTON RUN
 EXHIBIT 10
 6255 Cranbrook Lane, Kalamazoo, Michigan 49009



EXISTING COMMUNITY

GENERAL NOTES

- SITE WORK:**
 SITE WORK SHALL INCLUDE ALL NECESSARY CLEARING OF BRUSH AND TREES, STRIPPING AND STOCKPILING OF TOPSOIL, AND ALL EXCAVATION AND GRADING TO BRING EXISTING GROUND SURFACES TO FINISH ELEVATIONS AND GRADES AS SHOWN ON THE PLANS. IN STREET AREAS WHERE FILL IS REQUIRED ALL TOPSOIL AND UNSERVABLE MATERIAL WILL BE REMOVED AND SUITABLE MATERIALS PLACED AT THE ENGINEERS DIRECTION TO 90% DENSITY. ALL EXCESS EXCAVATION FROM STREET CONSTRUCTION SHALL BE USED FOR FILL ON THE SITE. NO EXCAVATION SHALL BE REQUIRED TO BE HAULED FROM THE SITE. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL BRUSH, TREES, STUMPS, AND OTHER DEBRIS IN ACCORDANCE WITH LOCAL REGULATIONS AND AT THE DIRECTION OF THE ENGINEERS.
- BACKFILL:**
 ALL WATER MAINS, SANITARY SEWERS (AND 4" LEADS), AND STORM SEWERS UNDER PROPOSED AND EXISTING PAVEMENT OR WITHIN 3 FT. OF PAVEMENT TO BE SAND BACKFILLED AND COMPACTED TO 95% OPTIMUM DENSITY (PROCTOR). ALL UTILITY CROSSINGS TO BE SAND BACKFILLED, SAND BACKFILL TO BE INCIDENTAL TO CONTRACT.
- CONSTRUCTION SEQUENCE:**
 1. INSTALL SILT FENCE PER SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
 2. SITE GRADING.
 3. CONSTRUCT DETENTION BASINS, SEED AND MULCH SLOPE AREAS.
 4. INSTALL SANITARY SEWER, WATER MAIN, AND STORM SEWER, UNDERGROUND CONTRACTOR RESPONSIBLE FOR INITIAL INSTALLATION OF GRAVEL INLET FILTERS.
 5. INSTALL SITE IMPROVEMENTS AND PAVING, PAVING CONTRACTOR RESPONSIBLE FOR REPLACING GRAVEL INLET FILTERS AFTER PAVING OPERATIONS.
 6. ESTABLISH VEGETATION ON REMAINDER OF SITE PER SOIL EROSION NOTES.
 7. ANTICIPATED CONSTRUCTION START: JUNE 2021
- SOIL EROSION NOTES:**
 1. INSTALL UTILITIES AS SHOWN ON PLAN AND PROFILE.
 2. MINIMIZE AREA DISTURBED BY CONSTRUCTION AS MUCH AS POSSIBLE.
 3. INSTALL CATCH BASIN INLET FILTERS ON ALL CATCH BASINS, UTILITIES, AND INLETS AS REQUIRED.
 4. AFTER FINAL GRADING, SEED AND MULCH 20 FT. EITHER SIDE OF PAVING WHERE DRIVEWAYS INTERFERE WITH SEED AND MULCH - EXTEND SEED AND MULCH TO 10 FT. PAST THE EDGE OF THE CONCRETE DRIVEWAYS.
- REFUSE AND GARBAGE DISPOSAL:**
 WEEKLY CURBSIDE PICKUP OF REFUSE AND GARBAGE SHALL BE PROVIDED FOR EACH SITE BY THE DEVELOPMENT OWNER.
- CONSTRUCTION SCHEDULE:**
 EROSION CONTROL MEASURES: JUNE 2021
 CLEARING AND LAND BALANCING: JUNE 2021
 WATER, SANITARY SEWER, STORM SEWER: JULY 2021
 NAT. GAS, ELEC., PHONE, CATV: AUGUST 2021
 ROAD (BASE AND 1ST COAT OF ASPHALT): SEPT 2021
 STREETLIGHTS & SIGNS: SEPT 2021
 PIERS, DRIVEWAYS, FINAL SITE CONC. AND LAWNS: AS SITES ARE LEASED
 WEARING COURSE ASPHALT: SUMMER 2022

- ONLY ONE SINGLE FAMILY MOBILE HOME IS ALLOWED PER MOBILE HOME SITE.
- NO PARKING IS ALLOWED ON THE STREET.
- NO PARKING IS ALLOWED WITHIN 10 FEET OF A FIRE HYDRANT IN A VISITOR BAY OF 3 OR MORE SPACES.
- COMMUNITY TO BE SIGNED "NO PARKING ON ANY STREET."
- NO HOME SHALL BE PLACED OVER A GAS LINE.
- NO HOME SHALL BE PLACED UNDER EXISTING OVERHEAD WIRES.
- ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP LIKE MANNER.
- PROPOSED EASEMENTS ARE FOR PUBLIC UTILITIES AND ARE GENERALLY LOCATED IN REAR OF LOTS. EASEMENTS WILL NOT BE DETERMINED UNTIL UTILITY DESIGN IS COMPLETE AND UTILITIES INSTALLED.
- COMMUNITY OPEN SPACE:
 THE M.H.C. REQUIRES 2% OR 25,000 S.F. MINIMUM. THE EXISTING COMMUNITY IS 38 ACRES WITH 2.41 ACRES OF OPEN SPACE. THE PROPOSED EXPANSION AREA IS 8.79 ACRES. 38 + 8.79 = 46.79 ACRES. 46.79 X .02 = 0.94 ACRES REQUIRED. 2.41 ACRES OF OPEN SPACE IS PROVIDED.
 OF THE 8.79 ACRES OR PROPOSED EXPANSION, 13.7% IS COVERED BY BUILDINGS.
- ONE GUEST PARKING SPACE IS REQUIRED FOR EVERY THREE LOTS. THERE ARE A TOTAL OF 31 LOTS PROPOSED. EACH LOT HAS 3 PARKING SPACES. THEREFORE NO GUEST PARKING IS DESIGNATED.
- NUMBER OF EXISTING UNITS ON EXISTING SITE: 177
 NUMBER OF PROPOSED UNITS: 31
 NUMBER OF TOTAL UNITS: 208
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.

- SETBACKS:**
 - OFF-DOOR SIDE YARD SETBACK SHALL BE 5' TYPICALLY UNLESS OTHERWISE NOTED ON THE PLAN.
 - ALL HOMES SHALL BE 20' MIN. FROM ANY PART OF AN ATTACHED OR DETACHED STRUCTURE OF AN ADJACENT HOME WHICH IS USED FOR LIVING PURPOSES, EXCEPT HOMES PLACED PARALLEL TO THE ROAD SHALL HAVE A MINIMUM 15' SEPARATION FROM EACH OTHER.
 - FRONT SETBACK SHALL BE TYPICALLY A MIN. 10' FROM BACK OF WALK UNLESS OTHERWISE NOTED ON THE PLAN.
 - NO HOME SHALL BE CLOSER THAN 10' FROM THE PARKING SPACE OF AN ADJACENT HOME.
 - ALL ATTACHED OR DETACHED STRUCTURES OR ACCESSORIES WHICH ARE NOT USED FOR LIVING PURPOSES SHALL BE A MIN. OF 10' FROM A HOME ON AN ADJACENT LOT.
 - ON-SITE DETACHED STORAGE SHEDS SHALL BE A MINIMUM OF 3 UNOBSTRUCTED FEET FROM THE HOME IT SERVES, UNLESS THE WALL ADJACENT TO THE HOME IS LINED WITH CLASS "A" FIRE-RESISTANT MATERIAL.
 - ALL HOMES AND THEIR ACCESSORIES MUST BE 7' MINIMUM FROM AN OFF-SITE PARKING BAY.
 - NO HOME SHALL BE LOCATED WITHIN 50' OF A PERMANENT BUILDING OR WITHIN 100' OF A BASEBALL OR SOFTBALL FIELD.
 - NO HOME SHALL BE LOCATED WITHIN 25' OF A FENCE OF A SWIMMING POOL.
 - ALL HOMES AND THEIR ACCESSORIES MUST BE 25' MINIMUM FROM A MAN-MADE LAKE, OBJECT OR WATERWAY.
 - ALL HOMES AND THEIR ACCESSORIES MUST BE 10' MINIMUM FROM THE EDGE OF AN INTERNAL ROAD.
 - ALL HOMES, BUILDINGS, FACILITIES, AND OTHER STRUCTURES MUST BE 10' MINIMUM FROM PROPERTY BOUNDARY LINE, AND 50' MINIMUM FROM PUBLIC R.O.W. LINE.

LEGAL DESCRIPTION FOR A 30' WIDE UTILITY EASEMENT - L. 1660, P. 0094 (TERMINATED AND RELEASED - SEE L. 1723 P. 0419)

COMMENCING AT THE NORTHEAST CORNER OF SECTION 35, TOWN 2 SOUTH, RANGE 12 WEST, OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN; THENCE ALONG THE NORTH LINE OF SAID SECTION SOUTH 89°48'28" EAST A DISTANCE OF 833.37 FEET; THENCE SOUTH 58°02'18" WEST ALONG THE CENTERLINE OF ATLANTIC AVENUE A DISTANCE OF 573.52 FEET; THENCE SOUTH 00°34'01" WEST A DISTANCE OF 1013.95 FEET; THENCE SOUTH 00°12'14" EAST A DISTANCE OF 15.00 FEET TO THE PLACE OF BEGINNING FOR THE CENTERLINE OF A 30.00 FOOT WIDE UTILITY EASEMENT. THENCE SOUTH 89°58'51" WEST A DISTANCE OF 1283.15 FEET TO THE EASTERLY RIGHT-OF-WAY OF 9TH STREET AND THE PLACE OF ENDING.

LEGAL DESCRIPTION FOR A 16.5' WIDE MICHIGAN BELL EASEMENT - L. 854, P. 217

A RIGHT OF WAY EASEMENT, ONE (1) ROD IN WIDTH, PARALLEL AND ADJACENT TO THE HIGHWAY KNOWN AS 9TH STREET; CENTERLINE OF SAID EASEMENT IS 41.25 FEET EAST OF CENTERLINE OF 9TH STREET.

EXPANSION AREA LEGAL DESCRIPTION:

Commencing at the North 1/4 post of Section 35, T. 2 S., R. 12 W.; thence along the North and South 1/4 line of said Section 35 South 00°-32'-09" West a distance of 1351.50 feet to a point called for in Liber 1057 Page 1368, Kalamazoo County Records; thence North 89°-57'-00" East a distance of 50.00 feet to the Easterly line of 9th Street and the place of beginning of this description; thence along said Easterly line of 9th Street, North 00°-32'-09" East a distance of 40.49 feet to the North 1/8 line of said Section 35; thence along said North 1/8 line, North 89°-57'-00" East a distance of 1267.21 feet to the East 1/8 line of said Section 35; thence along said East 1/8 line, South 00°-31'-12" West a distance of 328.74 feet to the South line of the North 1/2 of the North 1/2 of the Southwest 1/4 of the Northeast 1/4 of said Section 35; thence along said South line, South 89°-59'-34" West a distance of 1152.30 feet to a point 165 feet Easterly of said North and South 1/4 line; thence parallel with said North and South 1/4 line, North 00°-32'-09" East a distance of 287.39 feet; thence South 89°-57'-00" West a distance of 115.00 feet to said Easterly line of 9th Street and the place of beginning of this description.

MONEY WILL BE PUT INTO AN ESCROW ACCOUNT AT THE TOWNSHIP BY THE OWNER FOR FUTURE INSTALLATION OF SIDEWALKS ALONG ATLANTIC, PARKVIEW AVE., AND 9TH STREET.

PROP. 5' SIDEWALK COORDINATE WITH OSHTEMO TOWNSHIP

EXISTING DECEL LANE TO BE CONSTRUCTED TO CONFORM TO RCKC STANDARDS AS NECESSARY.

PROP. 6' MULTUSE PATH - CURB CUTS ONLY COORDINATE WITH OSHTEMO TOWNSHIP

30' WIDE UTILITY EASEMENT - L. 1660, P. 0094 (TERMINATED AND RELEASED - SEE L. 1723 P. 0419)

FOURTH REFORMED CHURCH

ZONED VILLAGE COMMERCIAL

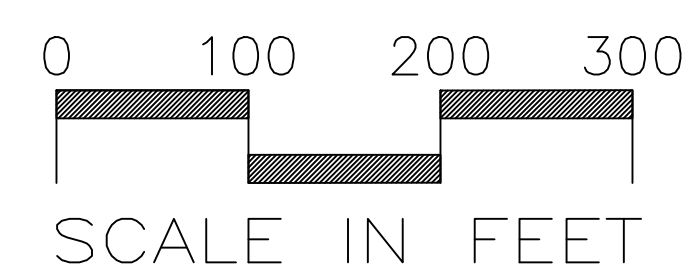
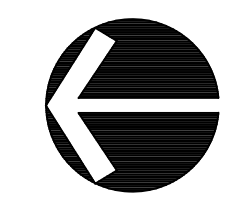
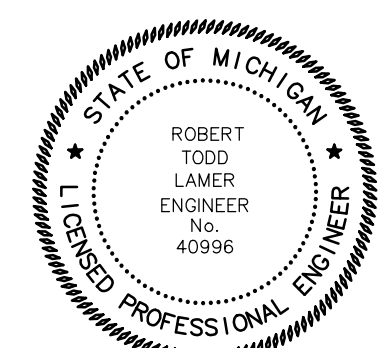
U.S. POSTAL SERVICE

ZONED INDUSTRIAL

20' WIDE EMERGENCY ACCESS

30' GREENSPACE BUFFER ADJ TO RESIDENTIAL USE

PROP. 6' MULTUSE PATH - CURB CUTS ONLY COORDINATE WITH OSHTEMO TOWNSHIP



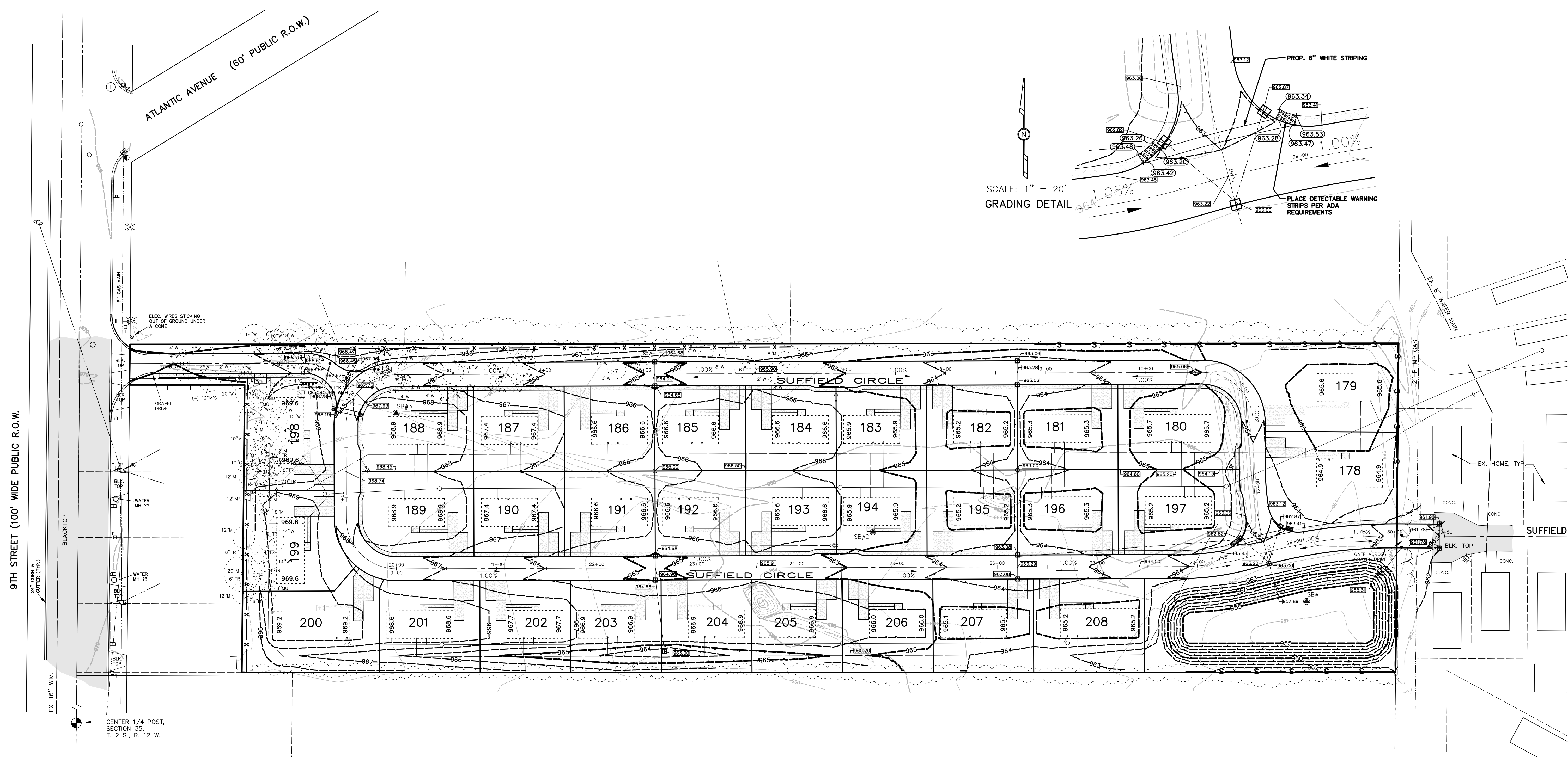
DATE	11/09/2020
BY	REV. PER OSHEA W.P. COMMENTS
DATE	07/17/2021
BY	REV. PER OSHEA W.P. COMMENTS
DATE	03/05/2021
BY	REV. PER OSHEA W.P. COMMENTS
DATE	03/05/2021
BY	REV. PER OSHEA W.P. COMMENTS
DATE	03/05/2021
BY	REV. PER OSHEA W.P. COMMENTS

DRAWN BY: JJB
 APPROVED BY: R.P. RUTZ
 PROJ. ENG.: RPL
 DATE: 11/09/2020

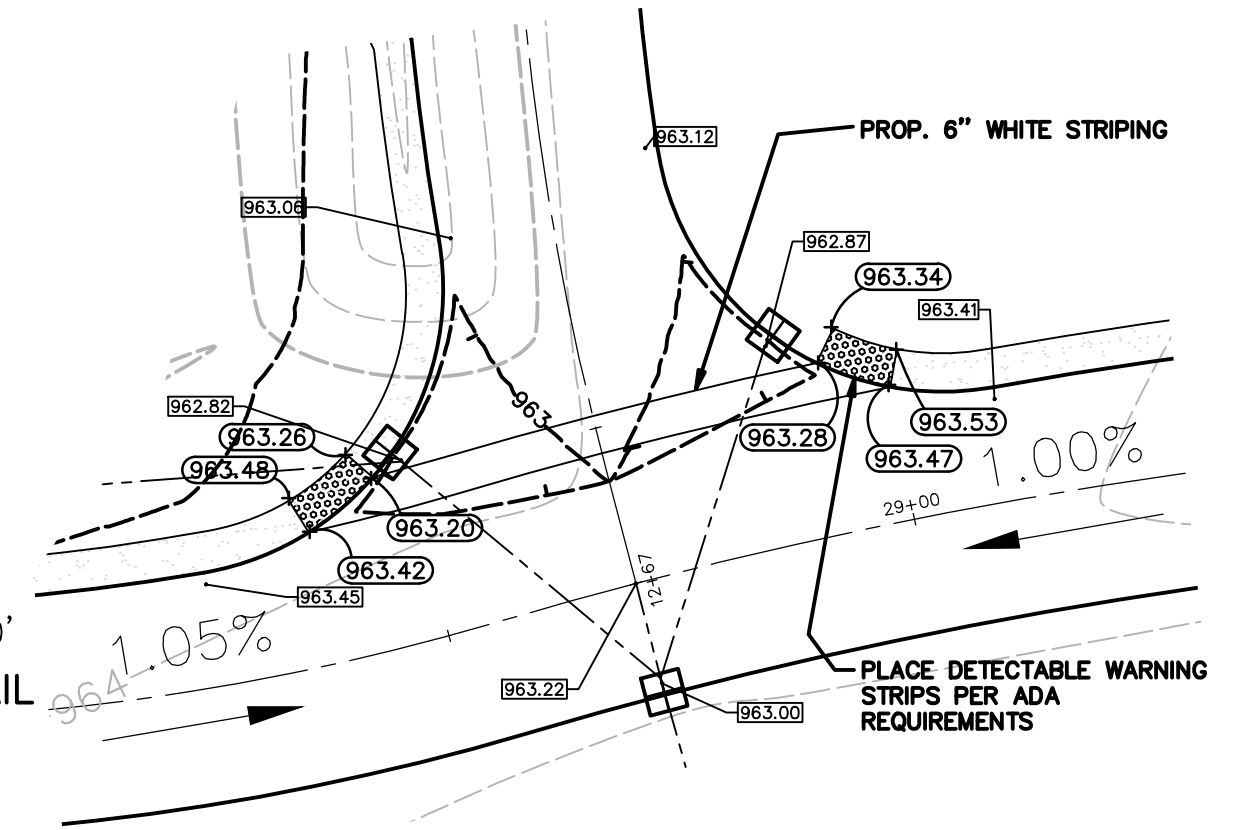
excelengineering, inc.
 planners - engineers - surveyors
 Phone: (616) 531-3860 www.excelengineering.com

**GRADING, PAVING,
& TOPOGRAPHY**

HUNTINGTON RUN
 EX-PAN-210-N
 6255 Cranbrook Lane, Kalamazoo, Michigan 49009



SCALE: 1" = 20'
 GRADING DETAIL



9TH STREET (100' WIDE PUBLIC R.O.W.)

ATLANTIC AVENUE (60' PUBLIC R.O.W.)

SUFFIELD CIRCLE

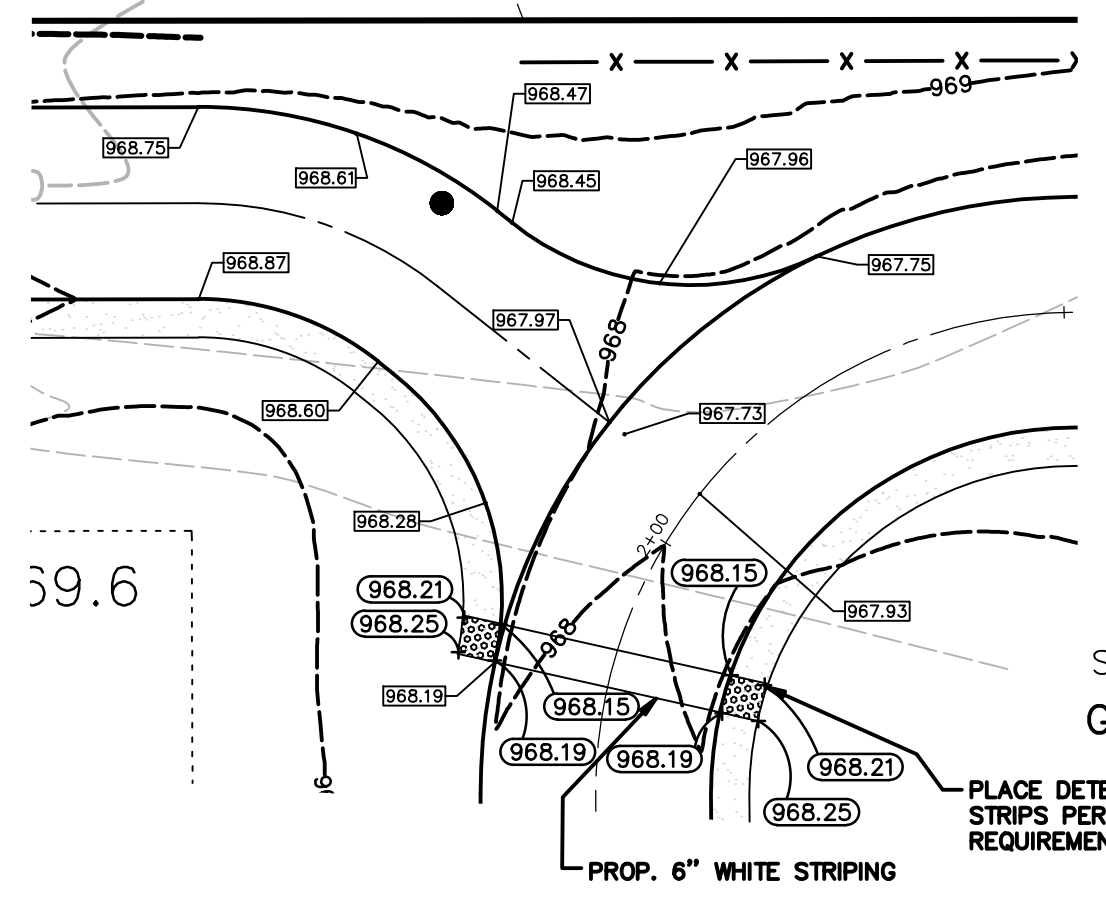
SUFFIELD CIRCLE

SUFFIELD

NOTE:
 THE DESIGN ENGINEER OR AN APPROVED QUALIFIED SOILS PROFESSIONAL SHALL BE PRESENT AT THE TIME OF POND EXCAVATION TO VERIFY SOILS ARE SUITABLE. IF NEEDED, PORTIONS OF THE POND BOTTOM MAY BE OVER EXCAVATED TO THE SAND LAYER BELOW AND BACKFILLED WITH APPROPRIATE COARSE MATERIAL TO PROMOTE BETTER DRAINAGE.

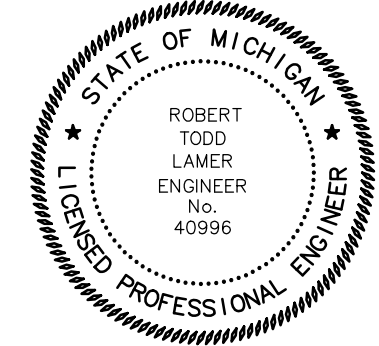
RETENTION POND CAPACITY

EL 961	18,006 S.F.	17,155 C.F.
EL 960	16,305 S.F.	15,483 C.F.
EL 959	14,661 S.F.	13,867 C.F.
EL 958	13,073 S.F.	12,307 C.F.
EL 957	11,542 S.F.	10,804 C.F.
EL 956	10,067 S.F.	9,602 C.F.
EL 955	9,538 S.F.	9,602 C.F.
TOTAL STORAGE PROVIDED	=	79,418 C.F.

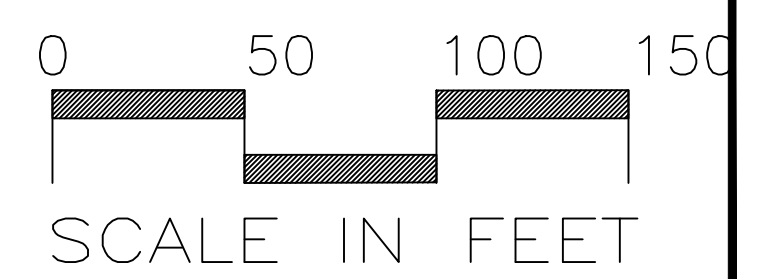
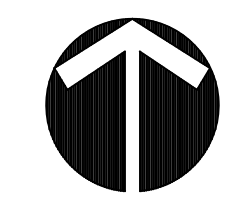


SCALE: 1" = 20'
 GRADING DETAIL

PLACE DETECTABLE WARNING STRIPS PER ADA REQUIREMENTS



Know what's below.
 Call before you dig.



NORTH

SCALE IN FEET

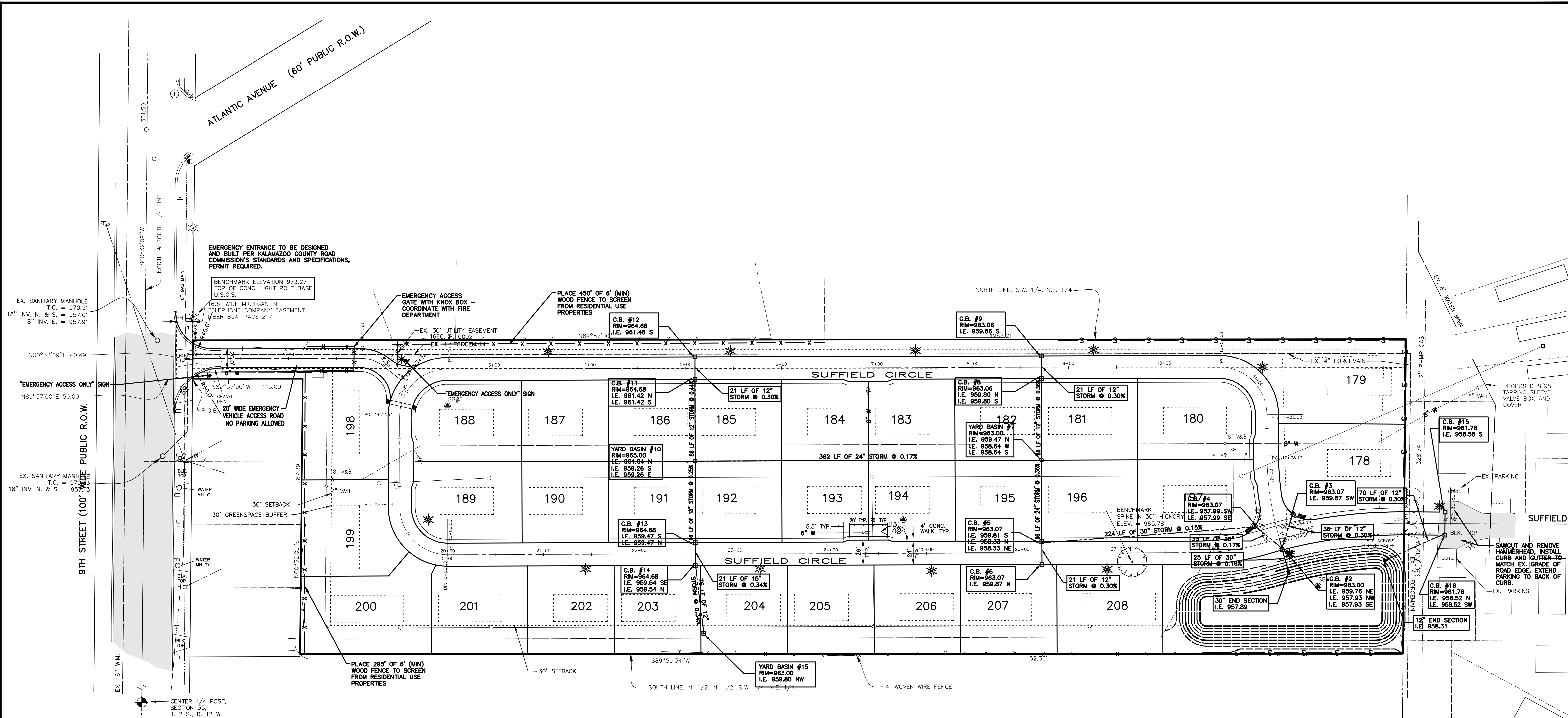
DATE	REVISION
8/15/2021	REV. PER OSTENHO TWP COMMENTS
8/17/2021	REV. PER OSTENHO TWP COMMENTS
11/09/2020	DATE

DRAWN BY: JJB
 APPROVED BY: R.L. RUTLAND
 PROJ. ENG.: R.L. RUTLAND
 DATE: 11/09/2020

exelengineering, inc.
 planners - engineers - surveyors
 Phone: (616) 531-3860 www.exelengineering.com

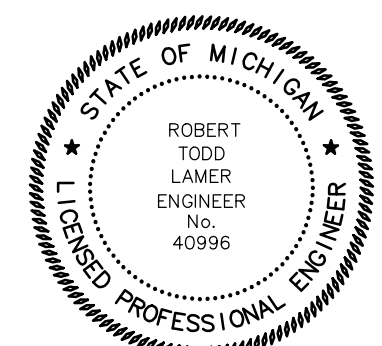
STORM SEWER PLAN

HUNTINGTON RUN
 EX-PAN-1510-N
 6255 Cranbrook Lane, Kalamazoo, Michigan 49009

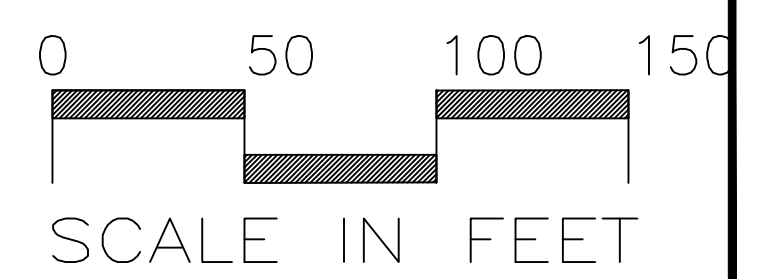


LEGEND

PROP. SANITARY SEWER	
PROP. SANITARY SEWER LEAD	
PROP. WATER MAIN	
PROP. WATER LEAD	
PROP. STORM SEWER	
CATCH BASIN	
MANHOLE	
FIRE HYDRANT	
EX. CONTOUR LINE	
PROP. CONTOUR LINE	
EX. SPOT ELEVATION	
PROP. SPOT ELEVATION	
VALVE & BOX	
STREET LIGHT	
STREET & STOP SIGN	
GUEST PARKING SPACE	
BARRIER FREE PARKING SPACE	
SWALE	
EX. VEGETATION	



Know what's below.
 Call before you dig.



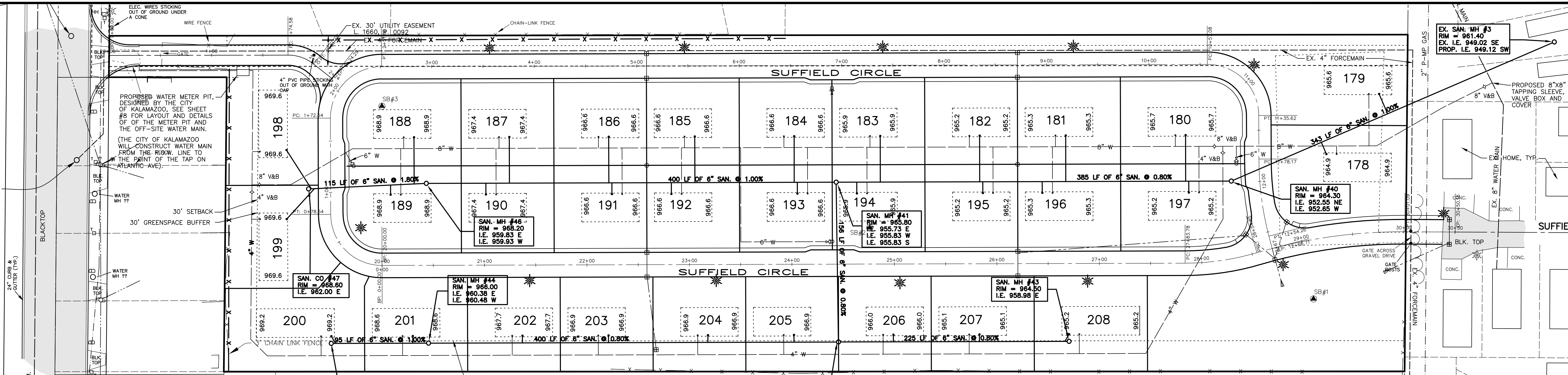
P:\Projects\2020\011923\Drawings\201923.dwg, S:\6/30/2021 2:04:41 PM, jbrink

18" INV. N. & S. = 957.01
8" INV. E. = 957.91

EX. SANITARY MANHOLE T.C. = 970.00
18" INV. N. & S. = 957.01
8" INV. E. = 957.91

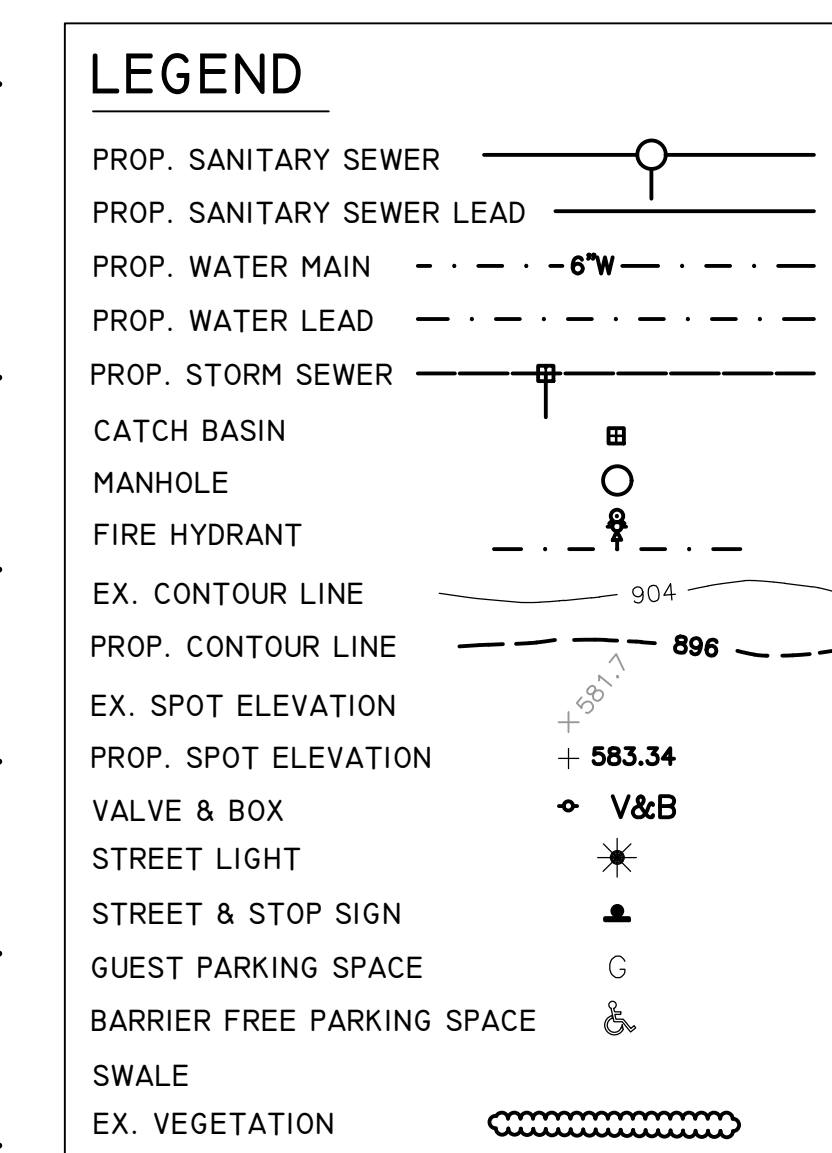
EX. 16" W.M.
BLACKTOP
30" SETBACK
30" GREENSPACE BUFFER

970
965
960
955
950
945
940
935
930
925
920
915
910
905
900
950
955
960
965
970
975



NOTE: THE EXISTING SANITARY SEWER LIFT STATION SHALL BE UPGRADED AS PART OF THE EXPANSION AS FOLLOWS: REMOVE THE 3.75 HORSEPOWER PUMPS, CIRCUIT BREAKERS, AND STARTER-OVERLOADS FROM THE EXISTING SANITARY SEWER LIFT STATION. INSTALL NEW 4.8 HORSEPOWER PUMPS, CIRCUIT BREAKERS AND STARTER-OVERLOADS CAPABLE OF DISCHARGING 114.4 GALLONS PER MINUTE AGAINST A TOTAL DYNAMIC HEAD OF 49.8 FEET.

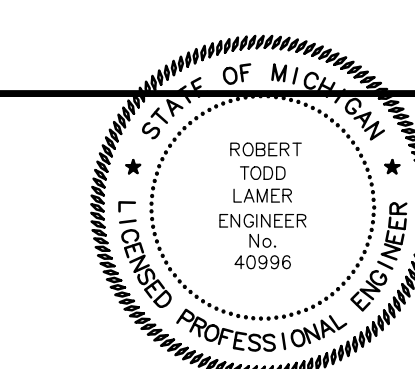
NOTES:
ALL STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE, WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR, MEETING THE REQUIREMENTS OF AASHTO M294, WITH SILT TIGHT JOINTS.
ALL WATER MAINS, SANITARY SEWERS (AND 4" LEADS) AND STORM SEWERS UNDER PROPOSED AND EXISTING PAVEMENT OR WITHIN 3 FEET OF PAVEMENT ARE TO BE SAND BACK FILLED AND COMPACTED TO 95% OPTIMUM DENSITY (PROCTOR). ALL UTILITY CROSSINGS TO BE SAND BACK FILLED. SAND BACK FILL TO BE INCIDENTAL TO CONTRACT.



SANITARY SEWER PROFILES
 SCALE: VERT. 1" = 5'
 HOR. 1" = 50'



Know what's below.
Call before you dig.



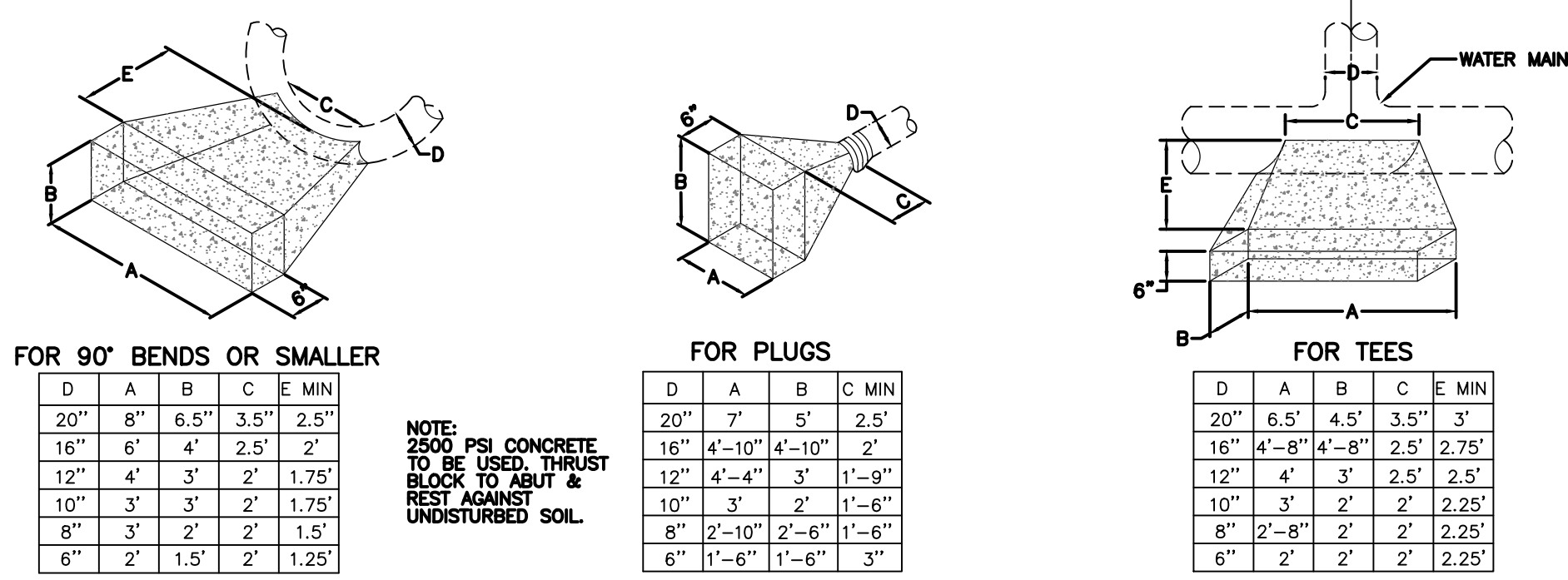
Sheet No. 5 of 8

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Phone: (616) 531-3860 www.exxelengineering.com

HUNTINGTONRUN EXPAANSION
6255 Cranbrook Lane, Kalamazoo, Michigan 49009

SANITARY SEWER & WATER MAIN PLAN & PROFILES

DATE: 11/09/2020
 DRAWN BY: JJB
 APPROVED BY: RPL/RS/E
 PROJ. ENG.: RPL
 PROJ. SURV.:
 DATE: 11/09/2020



FOR 90° BENDS OR SMALLER

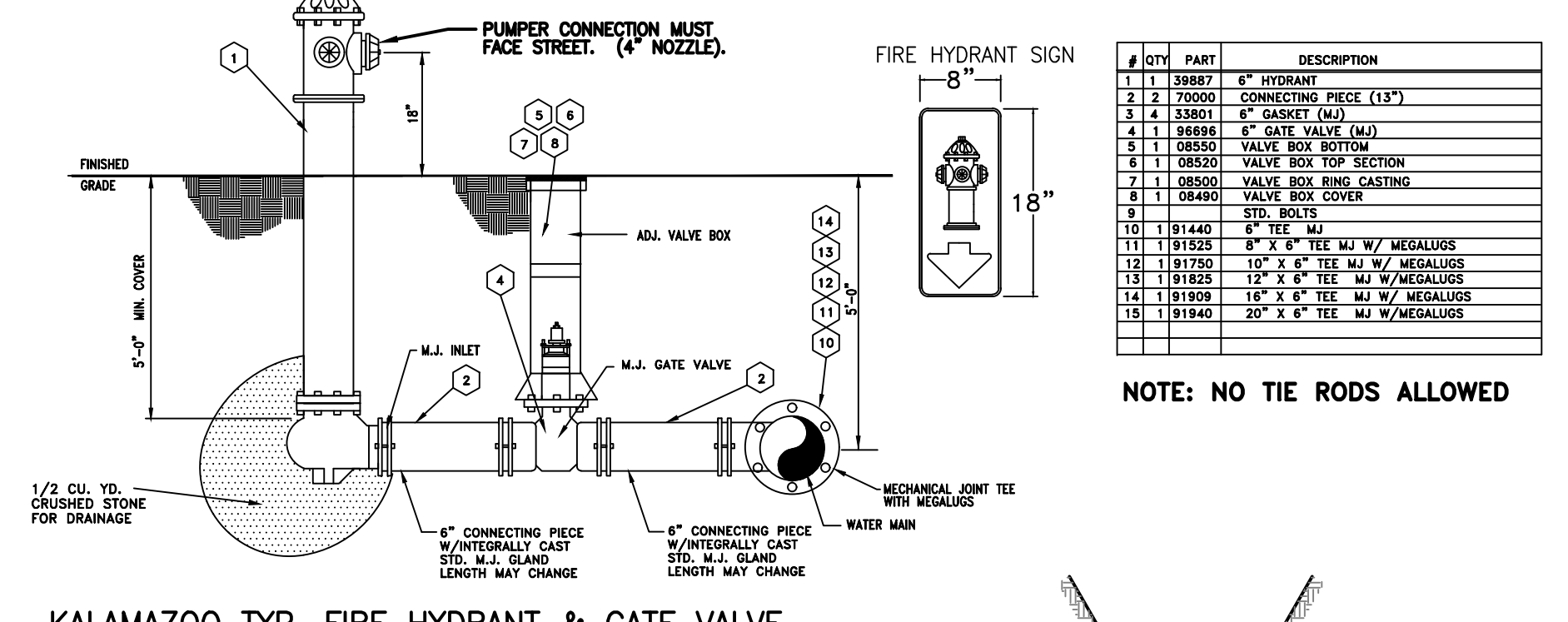
D	A	B	C	E MIN
20"	8"	6.5"	3.5"	2.5"
16"	6"	4"	2.5"	2"
12"	4"	3"	2"	1.75"
10"	3"	2"	1.75"	1.5"
8"	3"	2"	2"	1.5"
6"	2"	1.5"	2"	1.25"

FOR TEES

D	A	B	C	E MIN
20"	6.5"	4.5"	3.5"	3"
16"	4"-8"	4"-8"	2.5"	2.75"
12"	4"	3"	2.5"	2.5"
10"	3"	2"	2"	2.25"
8"	2"-8"	2"	2"	2.25"
6"	2"	2"	2"	2.25"

FOR PLUGS

D	A	B	C	MIN
20"	7"	5"	5"	3"
16"	4"-10"	4"-10"	2"	
12"	4"-4"	3"	1"-9"	
10"	3"	2"	1"-6"	
8"	2"-10"	1"-6"	1"-6"	
6"	1"-6"	1"-6"	3"	



WATER MAIN NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING. AT A TIME AND PLACE AS ARRANGED BY THE OWNER, IN WHICH VARIOUS UTILITY COMPANIES AND GOVERNMENTAL AGENCY REPRESENTATIVES WILL BE PRESENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST HAVE IN HIS POSSESSION A COPY OF A PERMIT FROM THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY AND/OR THE DEPARTMENT OF COMMERCE.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (1-800-482-7171) FOR THE LOCATION OF UNDERGROUND FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF ANY OTHER FACILITIES, LOCATED IN THE VICINITY OF THE WORK, WHICH MAY NOT BE HANDLED BY MISS DIG.
- ALL WATER SUPPLY SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY.
- UNLESS OTHERWISE INDICATED IN A WATER MAIN PROFILE, WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5 1/2 FEET AS MEASURED FROM THE PERMANENT FINISH CENTERLINE (OR EXISTING ROAD ELEVATION IF THE PERMANENT FINISH ELEVATION IS NOT KNOWN) TO THE BOTTOM OF THE WATER MAIN. WHEREVER RESULTS IN A LOWER ELEVATION, WHERE THE WATER MAIN CROSSES SEWERS (ABOVE OR BELOW) OR DITCHES A MINIMUM CLEARANCE OF 18\"/>
- PLACE CONCRETE THRUST BLOCKS FOR ALL BENDS, CAPS, PLUGS OR TEES ACCORDING TO THE STANDARD DETAILS. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- UNLESS OTHERWISE INDICATED ON THE PLANS, ALL WATER MAIN BEDDING SHALL BE A STANDARD BEDDING.
- UNLESS OTHERWISE INDICATED ON THE PLANS, ALL VALVE BOX TOPS SHALL BE SET TO THE ELEVATION PROPOSED AS FINISH GROUND ELEVATION ON PLANS.
- UNLESS OTHERWISE NOTED, HYDRANTS SHALL BE "T" TYPE AND SHALL BE SET TO THE ELEVATION PROPOSED ON PLANS.
- STERILIZATION OF WATER MAINS SHALL BE ACCORDING TO MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS AND ANMA SPEC. C601.
- AFTER THE WATER MAIN HAS BEEN LAID AND BACKFILLED, THE MAIN SHALL BE HYDROSTATICALLY TESTED FOR LEAKAGE AT A PRESSURE OF 150 P.S.I., THE FULL PRESSURE SHALL BE MAINTAINED BY PUMPING WATER INTO THE PIPE FOR A PERIOD OF AT LEAST 2 HOURS. THE MAXIMUM PERMISSIBLE LEAKAGE UNDER TEST PRESSURE SHALL NOT EXCEED A RATE OF 11.65 GALLONS PER INCH DIAMETER OF MAIN PER MILE OF PIPE, IN 24 HOURS.
- WATER SERVICE JACKETS SHALL BE AS DETAIL.
- MATERIALS FOR WATER MAINS SHALL BE AS FOLLOWS: 2" DIA. TO 8" DIA. WATER MAINS SHALL BE PVC PLASTIC PIPE SIMILAR AND EQUAL TO "BELITTLE" AS MANUFACTURED BY CLOW CORPORATION. ALL PIPE SHALL MEET THE REQUIREMENTS OF ASTM D-1784 AND ASTM D-2241-85 AND SHALL BE 160# N.S.F. APPROVED FOR POTABLE WATER SUPPLY.
- 3/4" DIAMETER WATER SERVICE RISERS AND LEADS SHALL BE 3/4" PVC 160# N.S.F. APPROVED FOR POTABLE WATER SUPPLY.
- ALL VALVES SHALL BE SIMILAR AND EQUAL TO CLOW ANNA (F-5085 P.V.C.) GATE VALVES, NON-RISING STEM WITH "O" RING SEAL OR EQUAL. ALL VALVES SHALL OPEN COUNTER-CLOCKWISE. THEY SHALL BE PROVIDED WITH APPROVED COMPATIBLE THREE (3) PIECE ADJUSTABLE CAST IRON VALVE BOX WITH COVER.
- HYDRANTS SHALL BE AMERICAN DARLING B-62-B TRAFFIC MODEL HYDRANTS OR EAST JORDAN IRON WORKS SBR, OR US PIPE METROPOLITAN 250 TRAFFIC MODEL HYDRANT WITH 5' OR 5' BURY (AS REQUESTED) FOR SMALLER THAN 12" WATER MAIN. 6' BURY FOR 12" AND LARGER WATER MAIN. OPEN RIGHT. 5 1/4" VALVE OPENING.
- CONCRETE THRUST BLOCKS SHALL BE PLACED AT ALL BENDS IN THE PIPE LINE AND AT ALL TEE AND BRANCH CONNECTIONS.
- HOME SERVICE CONNECTIONS SHALL BE CONSTRUCTED AS SHOWN ON THE TYPICAL UTILITY PLAN LAYOUT DETAIL. WATER SERVICES SHALL BE CAPPED WHEN NOT IN USE. WATER MAINS SHALL BE STERILIZED BY APPLYING CHLORINE IN SUCH A MANNER AS TO RESULT IN A RESIDUAL OF 80 P.P.M. THROUGHOUT THE ENTIRE SYSTEM. AFTER THE MAINS HAVE BEEN FILLED WITH CHLORINATED WATER, A CONTACT PERIOD OF AT LEAST SIX HOURS SHALL BE ALLOWED. BEFORE THE WATER SYSTEM IS PUT INTO SERVICE, THE MAINS SHALL BE FLUSHED UNTIL THE CHLORINE RESIDUAL IS REDUCED TO 0.5 P.P.M. FOLLOWING FLUSHING, TWO CONSECUTIVE SAFE BACTERIOLOGICAL WATER SAMPLES, TAKEN AT LEAST 8 HOURS APART AND SUBMITTED TO THE LOCAL HEALTH OFFICER FOR TESTING, MUST BE COLLECTED BEFORE PLACING ANY NEW WATER MAIN IN USE.
- ALL PVC WATER MAINS SHALL BE SDR 26 RATED AT 180 PSI WITH APPROVED "O" RING JOINTS. A MINIMUM 11"-14" VERTICAL CLEARANCE AND A MINIMUM OF 10"-0" HORIZONTAL CLEARANCE SHALL BE REQUIRED BETWEEN WATER AND SEWER PIPE.
- FIRE HYDRANTS SHALL BE STANDARD HYDRANTS WITH TWO 2 1/2" (NCH) AND ONE 4" (NCH) PUMPER NOZZLED (KALAMAZOO STANDARD AS MANUFACTURED BY MUELLER, OR EQUAL) BREAKAWAY TYPE.
- SEE SHEET #6 FOR OFF-SITE WATER MAIN AND METER PIT PLANS, DETAILS, & SPECIFICATIONS.

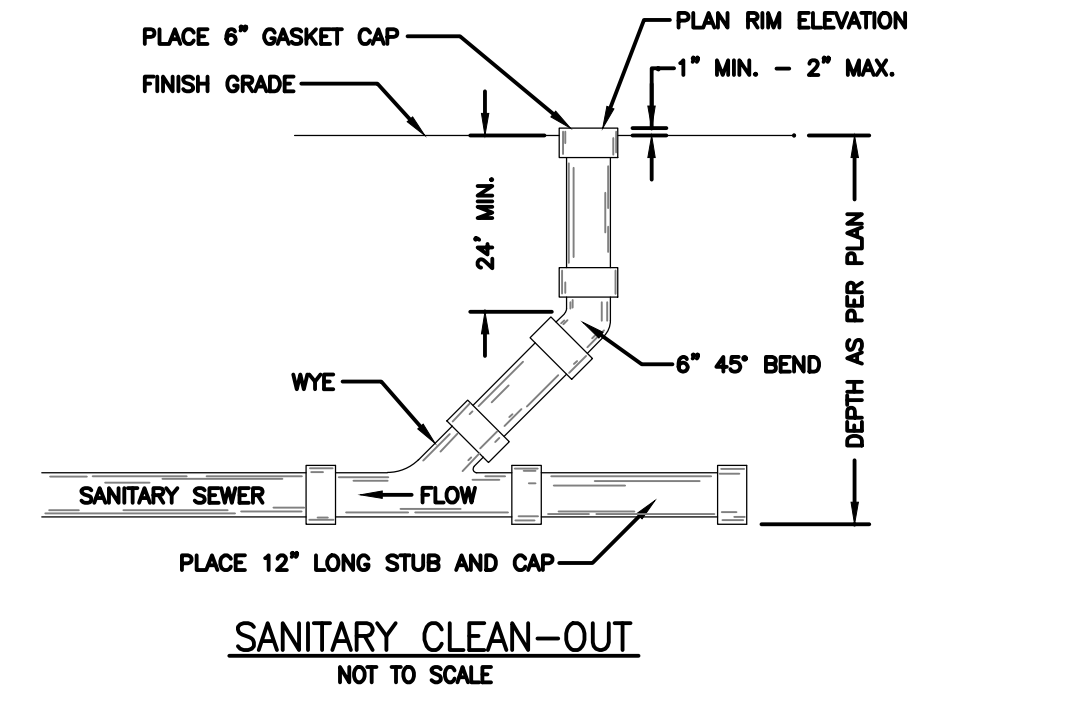
WATER MAIN DETAILS & NOTES

NOTES AND SPECIFICATIONS:

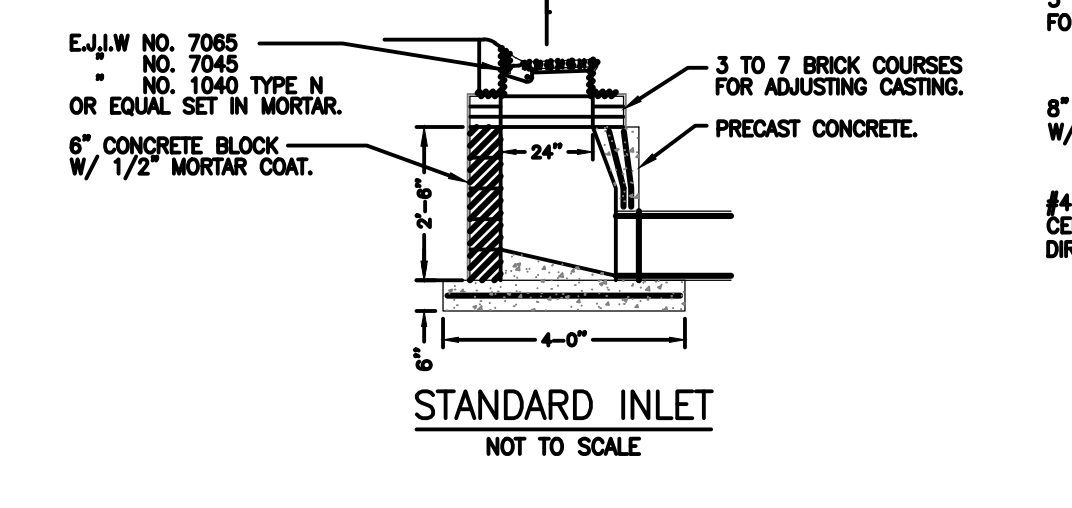
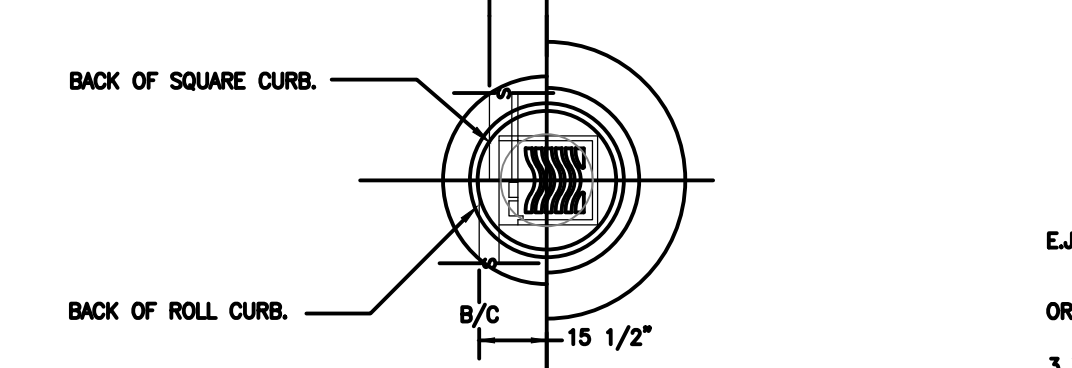
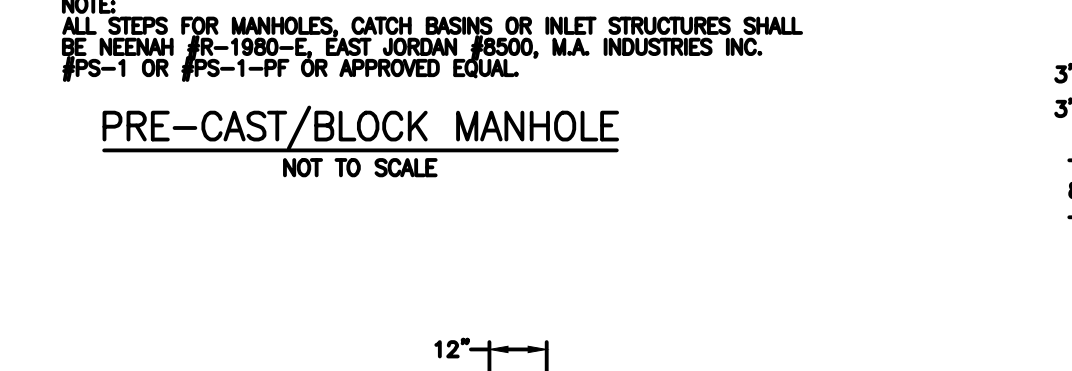
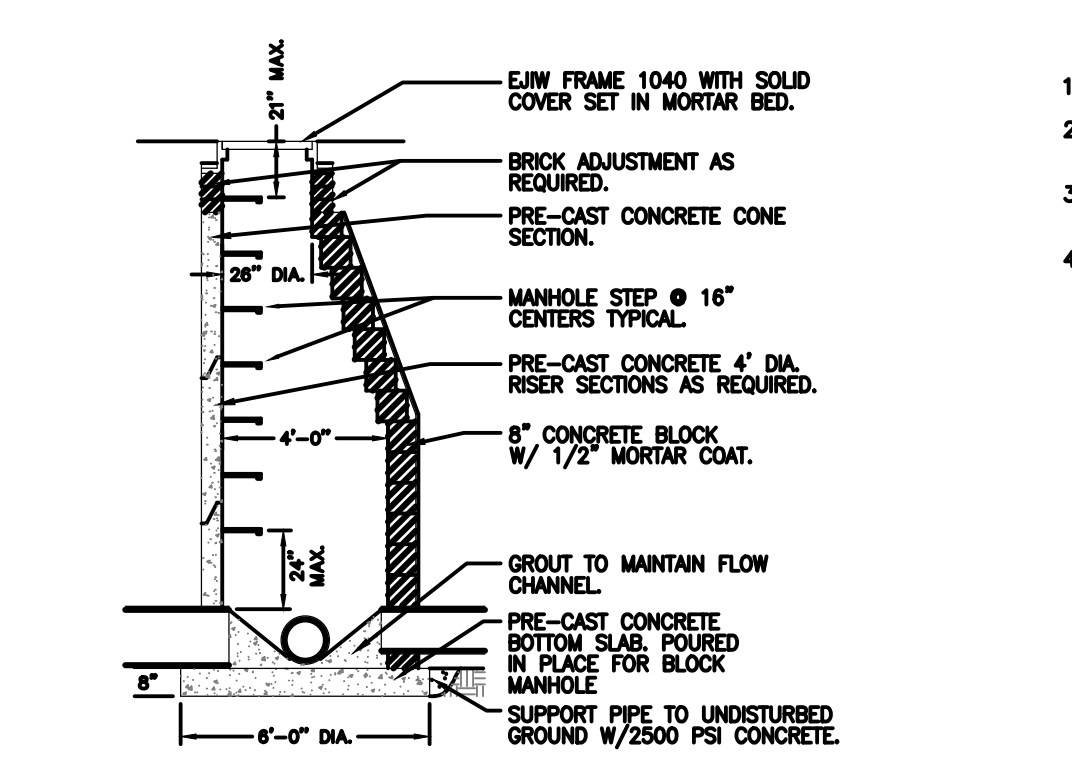
- INSPECTION:**
- ON PROJECTS WHERE CONTRACT DOCUMENTS ARE ISSUED AND SIGNED BY CITY OFFICIALS, THE CITY ENGINEER WILL BE THE PROJECT ADMINISTRATOR AND INSPECTOR.
 - ON ALL OTHER PROJECTS THE "OWNER" WILL BE RESPONSIBLE FOR DAY TO DAY ONSITE INSPECTION OF THE CONSTRUCTION AND SHALL PROVIDE THE CITY WITH AN AFFIDAVIT SIGNED BY A PROFESSIONAL ENGINEER CERTIFYING THAT ALL CONSTRUCTION AND MATERIAL IS IN CONFORMANCE WITH PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE CITY WITH A WRITTEN GUARANTEE OF ALL MATERIALS AND WORKMANSHIP INCLUDING SURFACE RESTORATION FOR A PERIOD OF TWO YEARS AFTER FINAL ACCEPTANCE.
 - ALL SEWERS SHALL BE TELEVIEWED, WITH VHS TAPE RECORD OF THE TELEVIEWING AND A WRITTEN REPORT SIGNED BY THE INSPECTING COMPANY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL AND PERMANENT RECORD.
 - THE CITY RESERVES THE RIGHT TO REQUIRE "GO - NO GO" TESTING OF ANY SECTION OF PIPE. MAXIMUM ALLOWABLE DEFLECTION - 5%.

- INSTALLATION:**
- UNLESS OTHERWISE SPECIFIED ON THE PLANS OR PROJECT SPECIFICATIONS, ALL PVC PIPE AND FITTINGS SHALL BE INSTALLED IN COMPLETE ACCORDANCE WITH UNIFORM-BELL PVC PIPE ASSOCIATION RECOMMENDED STANDARD PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE USING MDOT CLASS II GRANULAR MATERIAL FOR EMBEDMENT TO A POINT 12 INCHES ABOVE THE CROWN OF THE PIPE (SEE CLASS B BEDDING DETAIL THIS SHEET).
- RESTRICTIONS:**
- ROOF DRAINS, FOUNDATION DRAINS OR OTHER "CLEAN" WATER CONNECTIONS ARE PROHIBITED.
 - WHERE SEWER LINES DO NOT MAINTAIN SEPARATIONS OF 10 FEET HORIZONTALLY AND/OR 18 INCHES VERTICALLY, THE SANITARY SEWER SHALL BE CONSTRUCTED OF (OR ENCASED IN) WATER MAIN TYPE MATERIALS CAPABLE OF WITHSTANDING AN INTERNAL PRESSURE OF 50 P.S.I. FOR A DISTANCE OF TEN FEET ON BOTH SIDES OF THE WATER MAIN.

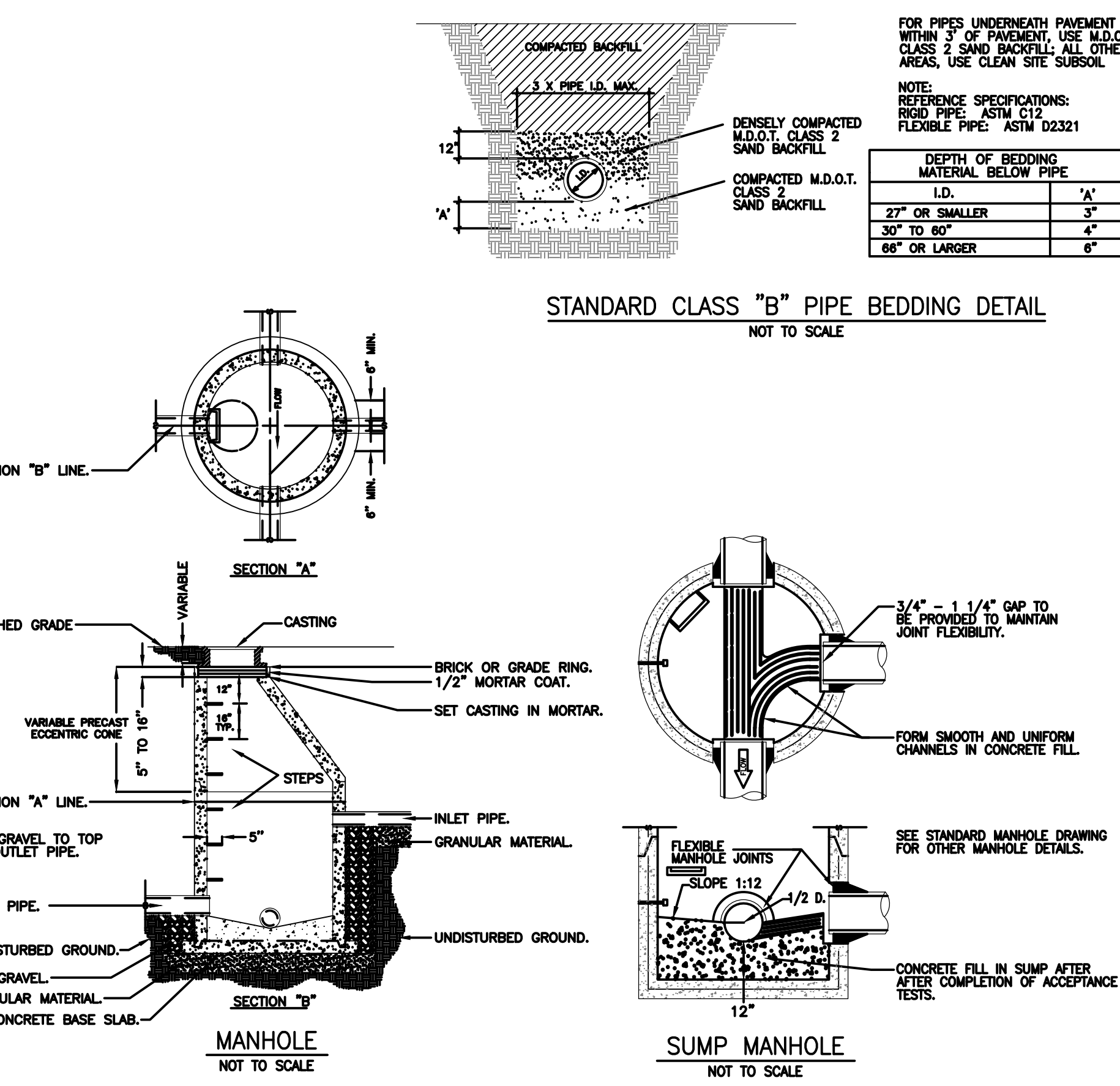
- SOIL EROSION:**
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES DEEMED NECESSARY BY THE AGENCY DESIGNATED IN ACCORDANCE WITH, AND HAVING JURISDICTION AND RESPONSIBILITY FOR THE ENFORCEMENT OF THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT OF 1972, ACT 347 PA 1972 (MICH.) SHALL BE MAINTAINED ON ALL CONSTRUCTION SITES FOR THE PERIOD OF TIME DEEMED NECESSARY BY THE AGENCY.
- SURFACE RESTORATION:**
- UNLESS OTHERWISE INDICATED ON THE PLANS, ALL DISTURBED SURFACES SHALL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THE ORIGINAL CONDITIONS ENCOUNTERED.



STANDARD BEDDING FOR WATER PIPE



STORM SEWER DETAILS & NOTES



SANITARY SEWER DETAILS & NOTES

GENERAL NOTES:

- TYPE AND CLASS OF PIPE SHALL BE AS SPECIFIED ON PLANS.
- CLASS "B" BEDDING SHALL BE USED THROUGHOUT, UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- ALL END SECTIONS 18" AND LARGER SHALL BE PROVIDED WITH A GALVANIZED BAR SCREEN.
- PVC PIPE REQUIREMENTS - ALL STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR, MEETING THE REQUIREMENTS OF AASHTO M284, WITH SILENT JOINTS.

UTILITIES DETAILS SHEET

SANITARY SEWER NOTES:

- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING AT A TIME AND PLACE AS ARRANGED BY THE OWNER IN WHICH VARIOUS UTILITY COMPANIES AND REQUIRED GOVERNMENTAL AGENCY REPRESENTATIVES WILL BE PRESENT.
- PRIOR TO CONSTRUCTION OF ANY SANITARY SEWERS THE CONTRACTOR MUST HAVE IN HIS POSSESSION A COPY OF A PERMIT FROM THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY AND/OR THE DEPARTMENT OF COMMERCE.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY.
- ALL MANHOLES SHALL BE PRECAST CONCRETE AND SHALL CONFORM TO ASTM SPEC. C-478 OR FIBERGLASS REINFORCED PLASTIC CONFORMING TO ASTM D-3753-79.
- ALL SANITARY SEWER BEDDING SHALL BE STANDARD BEDDING UNLESS OTHERWISE SHOWN ON THE PLANS.
- MATERIALS FOR SANITARY SEWERS SHALL BE AS FOLLOWS: 4", 6" AND 8" DIAMETER SEWER SHALL BE TYPE SDR35 SEWER PIPE, MEETING REQUIREMENTS OF ASTM D-3034 (UNI-B-4) WITH ELASTOMERIC GASKET (ASTM F-477) JOINTS IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATION AND THE ENGINEER'S APPROVAL. ALL OTHER MATERIALS MUST BE APPROVED BY BOTH THE ENGINEER AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY.
- TRAPS AND RISERS FOR SANITARY SEWERS SHALL BE APPROVED SCHEDULE 40 PVC OR STANDARD STRENGTH CAST IRON SOIL PIPE, EQUIPPED WITH APPROVED TRANSITION TO SANITARY SEWER PIPE MATERIAL. MATERIALS SHALL BE FURNISHED WITH A REMOVABLE GAS TIGHT SEWER PLUG TO BE IN PLACE WHEN SEWER RISER IS NOT IN SERVICE. RISERS SHALL BE CONSTRUCTED AS SHOWN ON THE PLAN DETAIL.
- MANHOLES SHALL BE CONSTRUCTED AS SHOWN ON THE PLAN DETAIL. PRECAST MATERIALS SHALL MEET THE REQUIREMENTS OF ASTM C-76-11 FOR CONCRETE PIPE.
- CLEANOUTS FOR SANITARY SEWER SHALL BE CONSTRUCTED AS SHOWN ON PLAN DETAIL.
- SANITARY SEWERS SHALL BE LAID IN A CAREFULLY PREPARED TRENCH BOTTOM WHICH CONFORMS TO THE CONTOUR OF THE LOWER 1/3 OF THE PIPE BARREL. PIPE SHALL NOT BE LAID ON UNDISTURBED SOIL. IF THE SUB GRADE IS DISTURBED, TAMPERED FILL SHALL BE USED TO PROVIDE A FIRM FOUNDATION ON WHICH TO LAY THE PIPE.
- BACKFILL MATERIAL SHALL BE SELECTED, GRANULAR EXCAVATED MATERIAL, TAMPED TO A LEVEL OF ONE (1) FOOT ABOVE THE TOP OF THE PIPE. THE REMAINDER OF THE BACK FILLING SHALL BE DONE WITH AVAILABLE EXCAVATED MATERIAL, EXCEPT FOR THE PORTIONS OF TRENCH WHICH WILL BE COVERED BY MOBILE HOME PADS, SIDEWALKS, CONCRETE STREETS OR PATIOS WHICH SHALL BE BACKFILLED WITH SELECTED GRANULAR EXCAVATED MATERIAL COMPACTED IN 6" LAYERS FOR THEIR ENTIRE DEPTH.
- NO GROUND WATER, STORM WATER, CONSTRUCTION WATER, DOWN SPOUT DRAINAGE, WEED TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- NO SEWER INSTALLATION OR PORTION THEREOF SHALL HAVE AN INFILTRATION EXPLORATION EXCEEDING 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER TWENTY FOUR (24) HOUR PERIOD.
- AT ALL CONNECTIONS TO AN EXISTING SANITARY SEWER, OR EXTENSION THEREOF, A TEMPORARY WATER TIGHT BULKHEAD WITH A CAPPED ONE (1) INCH DIAMETER PIPE TO PERMIT MEASURING INFILTRATION SHALL BE PROVIDED. A TEMPORARY 12 INCH DEEP MANHOLE SUMP SHALL BE PROVIDED IN THE FIRST MANHOLE ABOVE THE CONNECTION OR AT A LOCATION AS INDICATED ON THE PLANS, WHICH WILL BE FILLED IN TO FORM SMOOTH AND UNIFORM CONCRETE FLOW CHANNELS AFTER THE SUCCESSFUL COMPLETION OF ANY INFILTRATION-EXPLORATION TESTS, AT WHICH TIME THE TEMPORARY WATER TIGHT BULKHEAD SHALL BE REMOVED. (MANHOLE #2)
- WHEREVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES AT A 4" CENTER TO CENTER AROUND THE PERIPHERY OF THE OPENINGS, TO CREATE A PLANE OF WEAKNESS JOINT, BEFORE BREAKING OUT SECTIONS. NON-SHRINKING GROUT SHALL BE USED TO SEAL THE OPENING AND A CONCRETE COLLAR 12" THICK SHALL BE POURED AROUND THE PIPE AND SHALL BE EXTENDED TO THE FIRST JOINT.



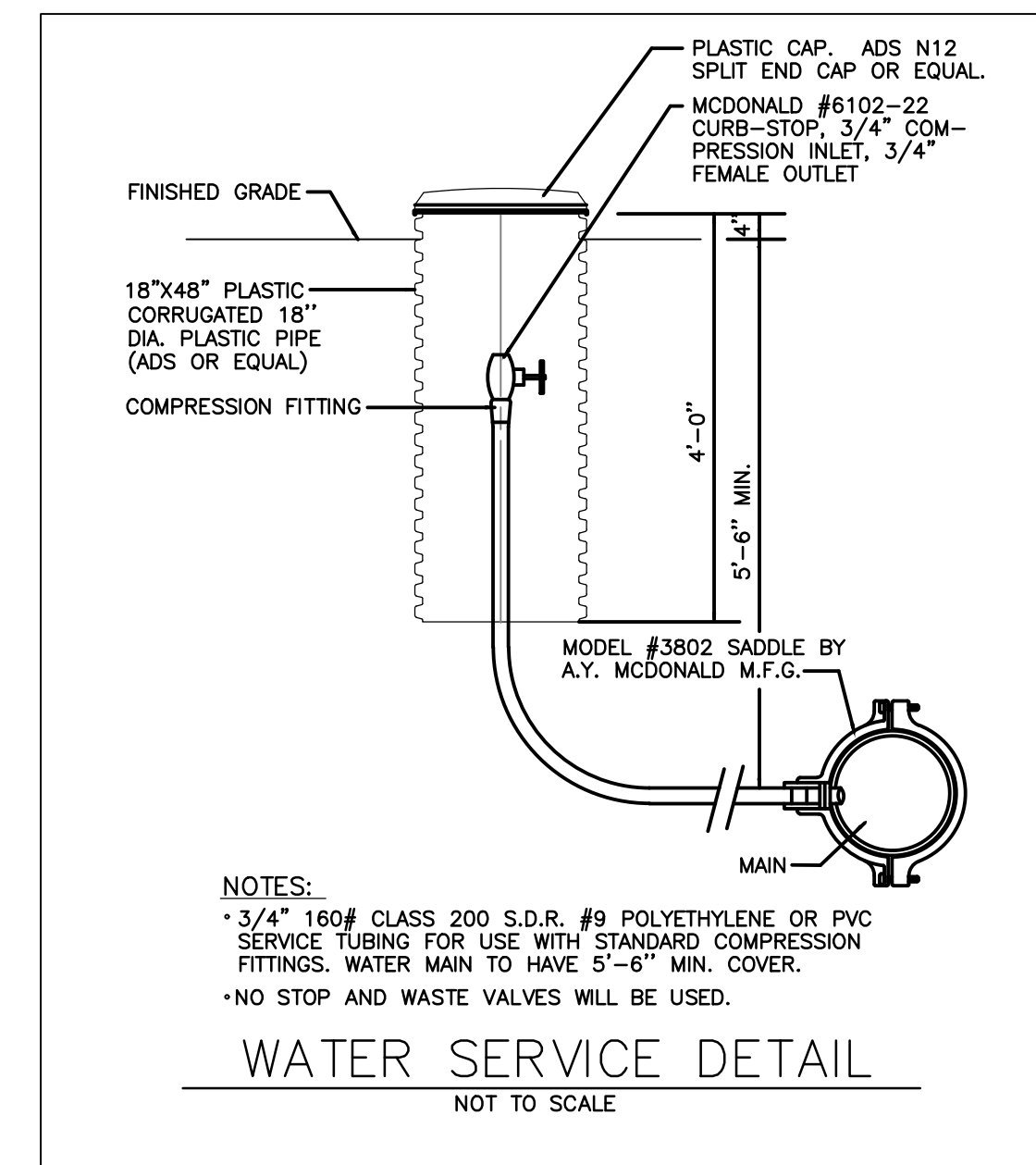
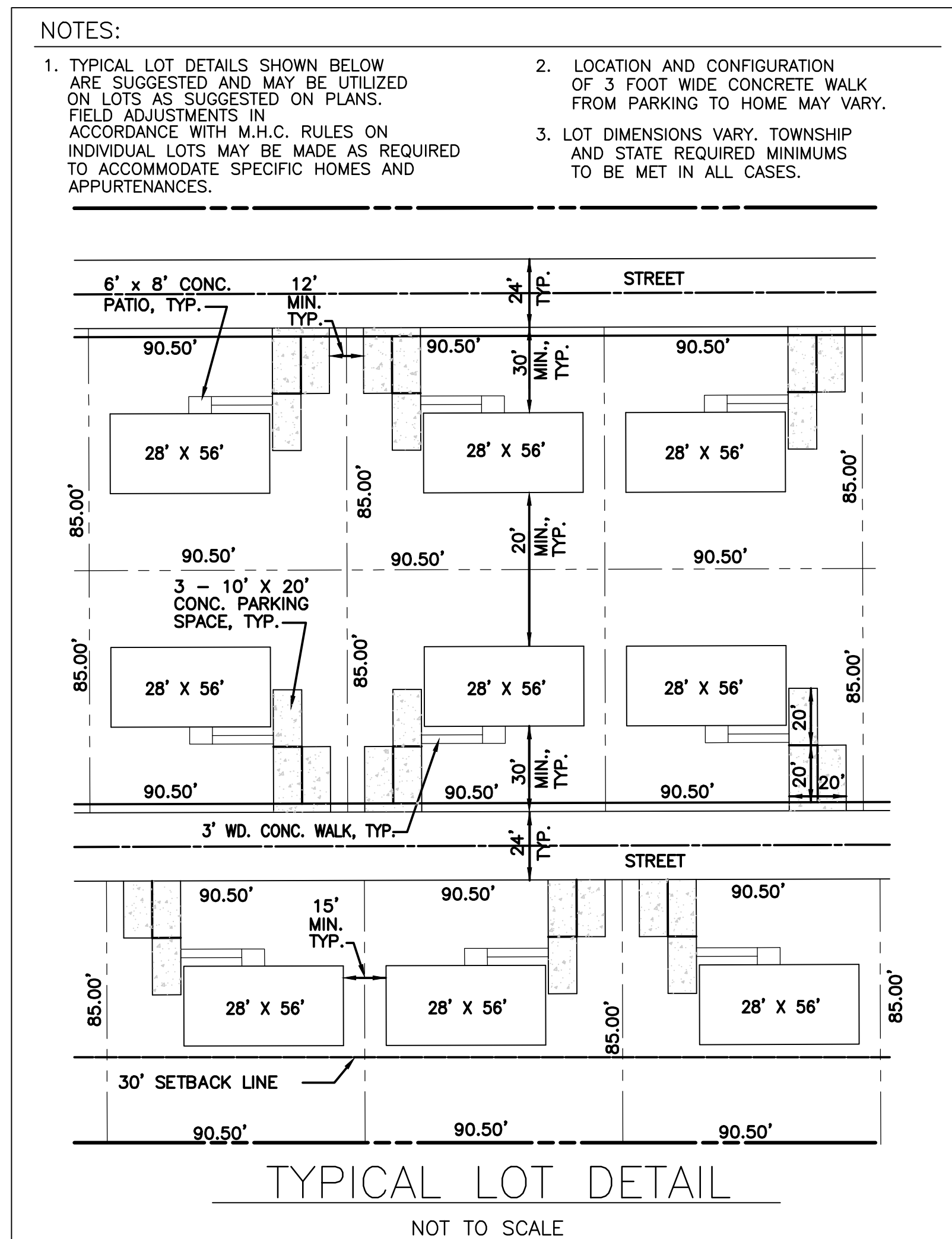
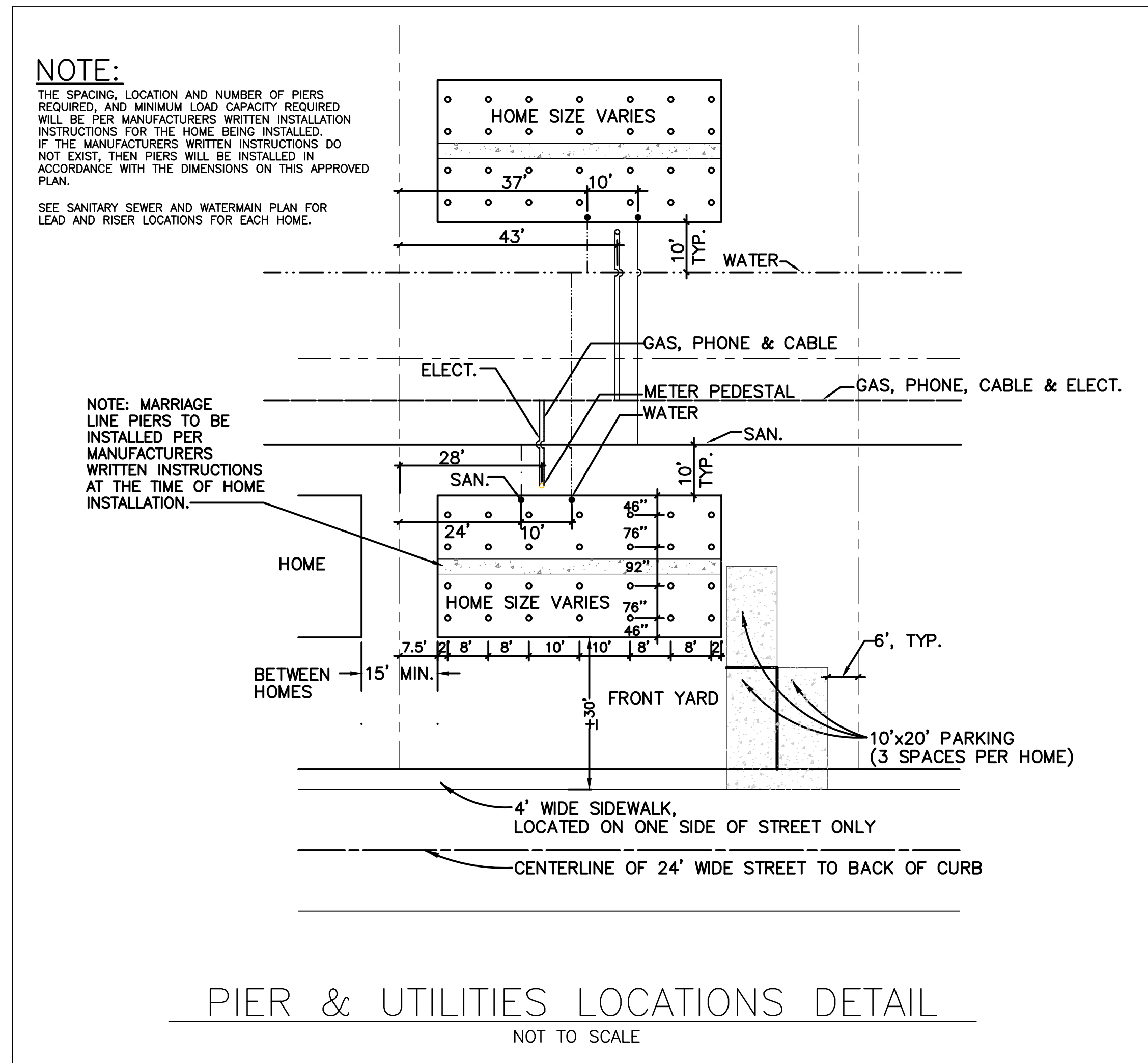
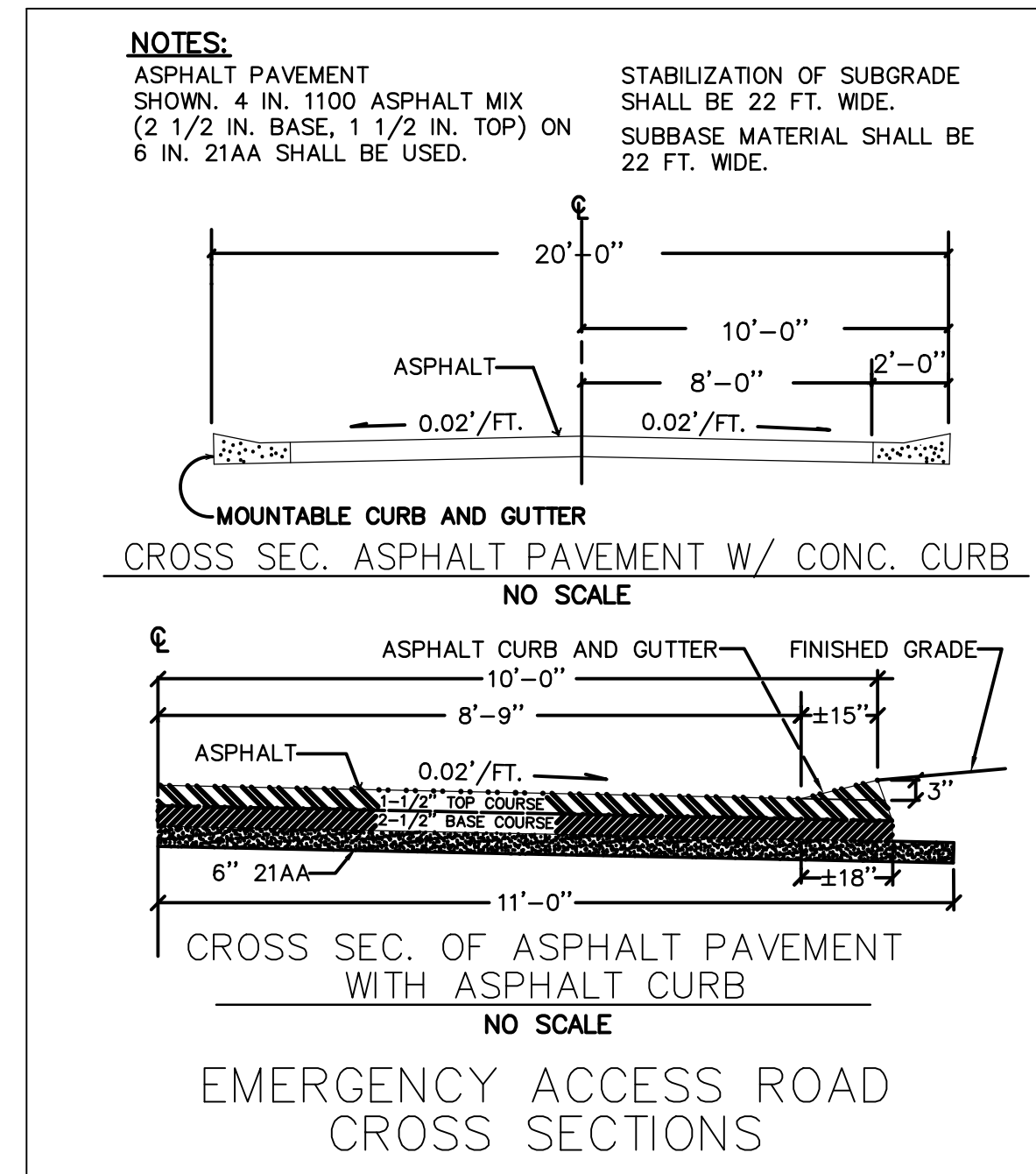
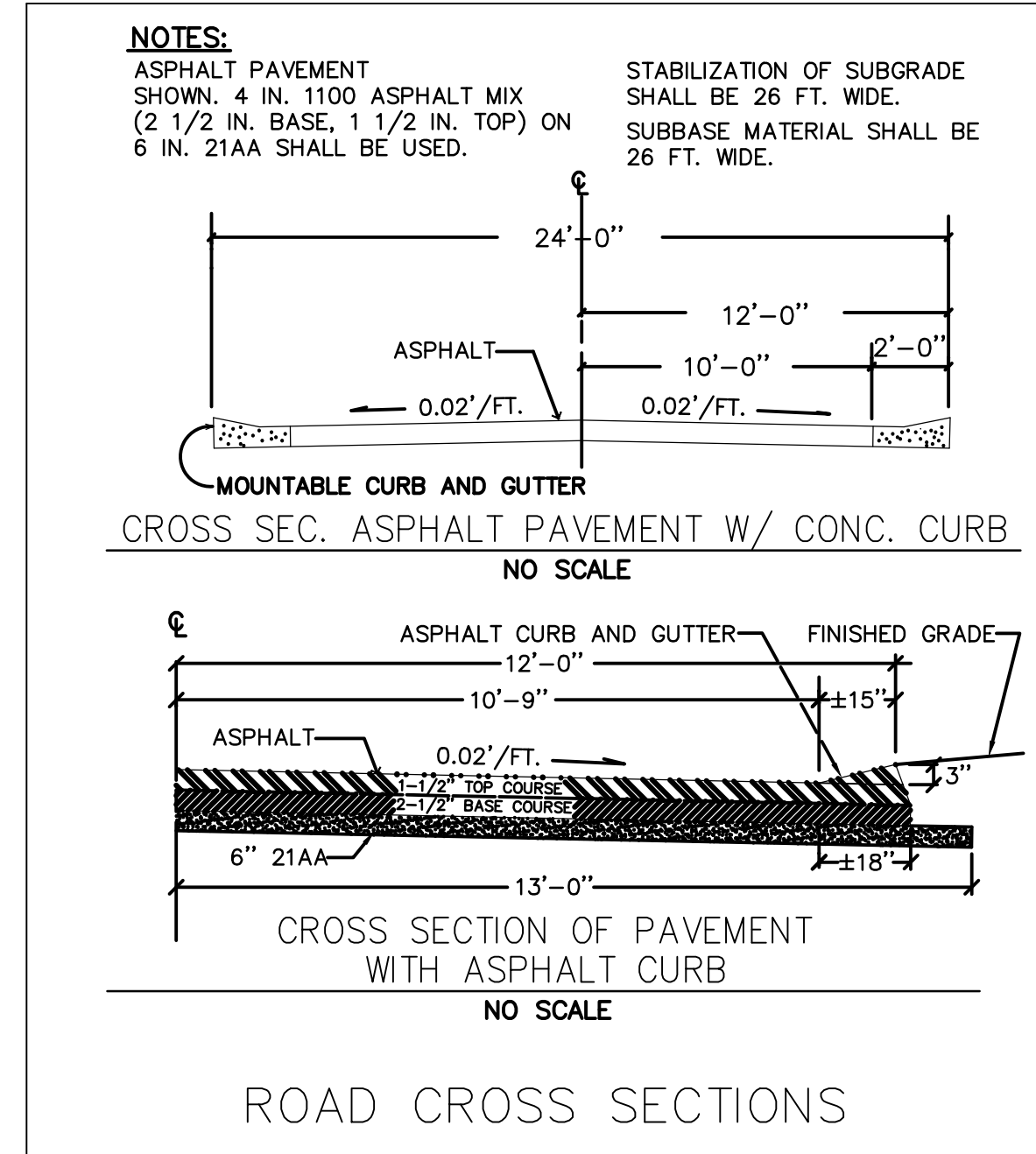
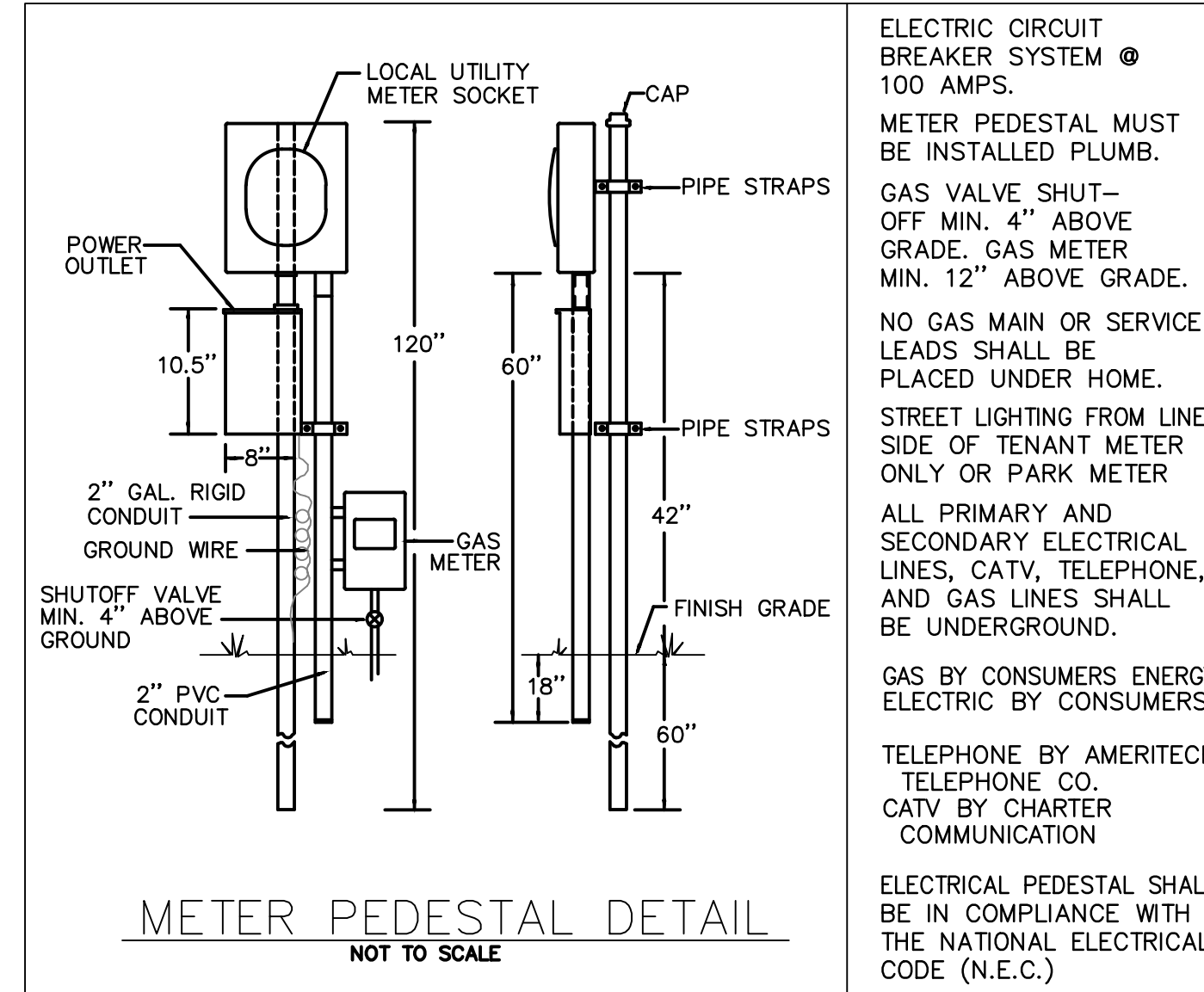
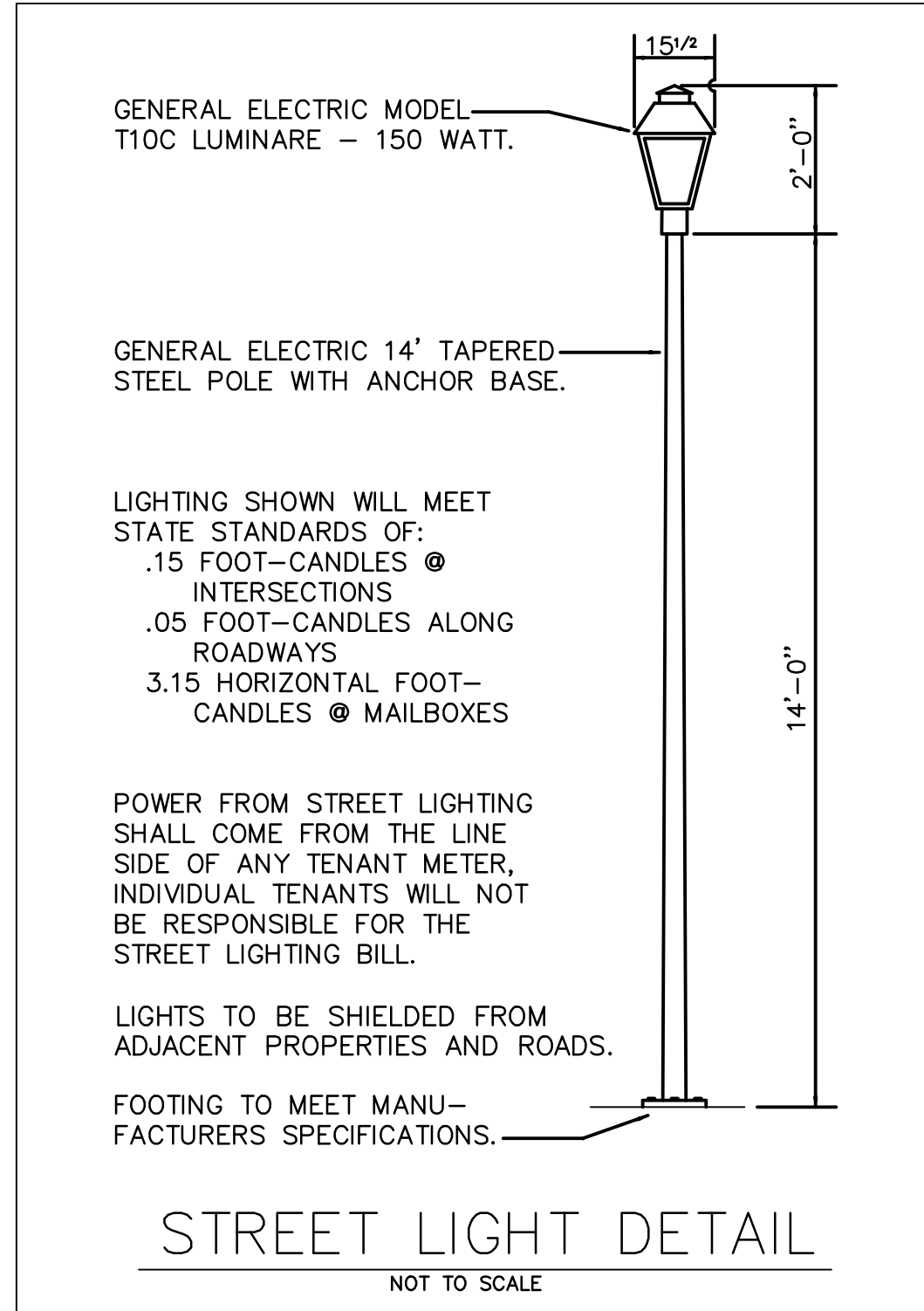
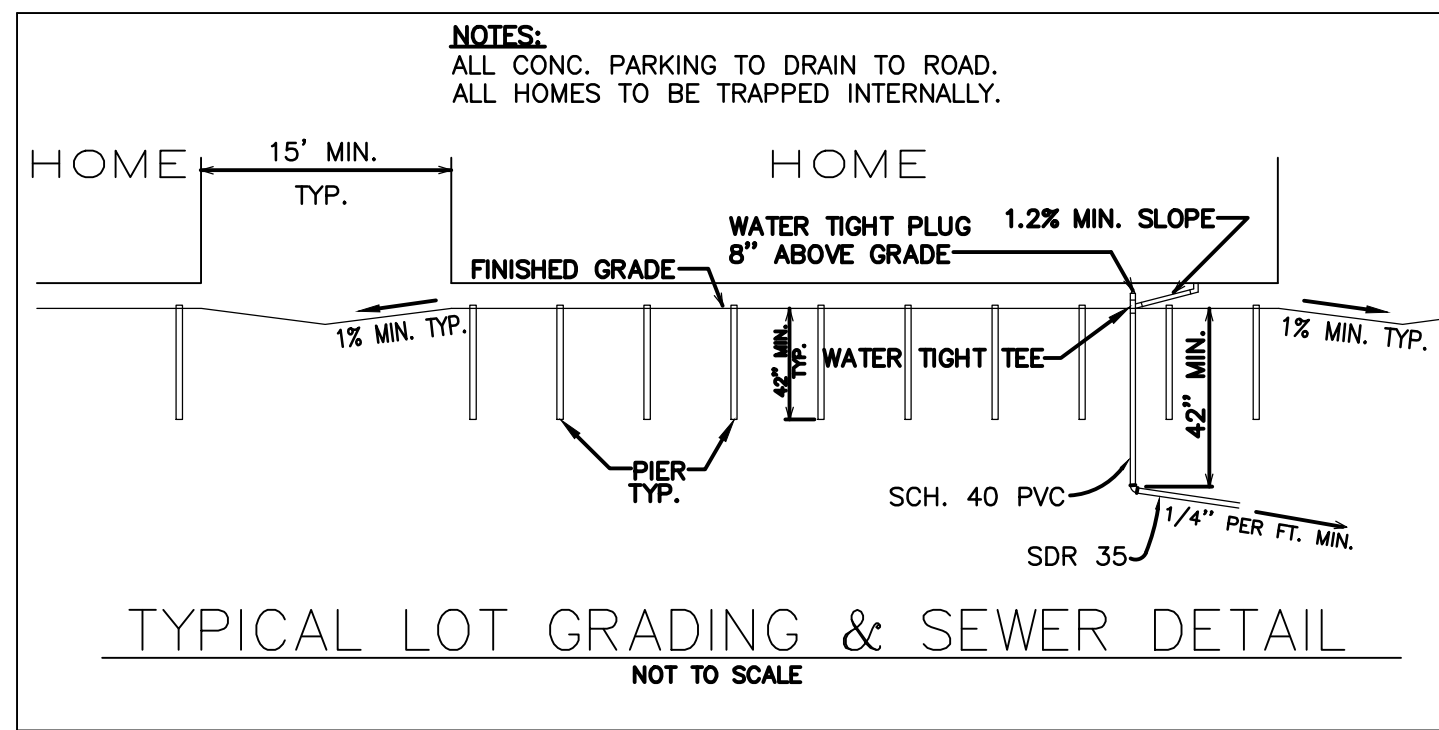
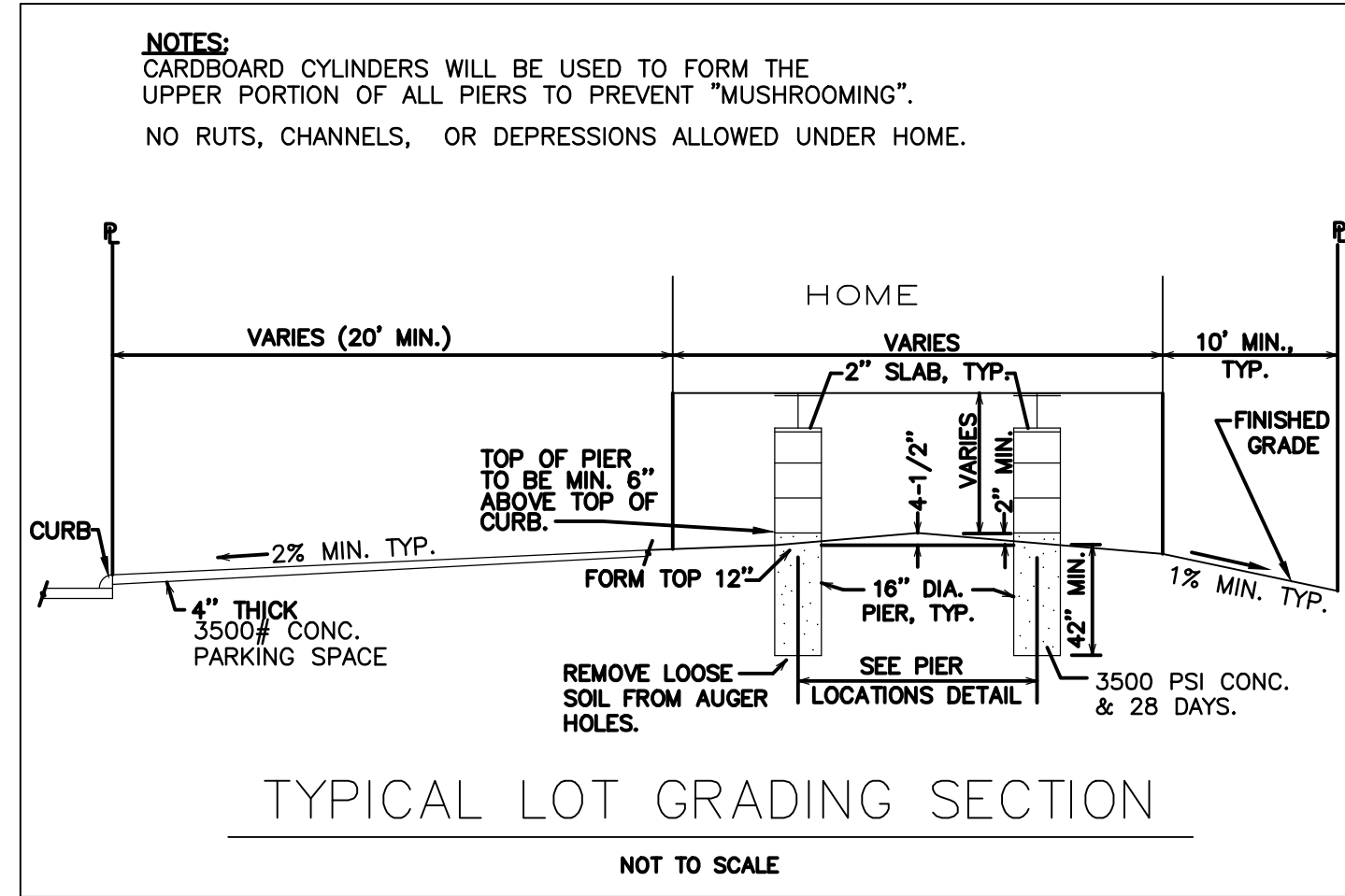
Sheet No. **6 of 8**

DRAWN BY: JCB
APPROVED BY: RPL/DB/SJ/E
PROJ. ENG.: RPL
PROJ. SURV.: JCB
REV. 05/02/01 REV. PER: OSB/TEAM/ MFC COMMENTS: JCB
REV. 07/20/01 REV. PER: OSB/TEAM/ MFC COMMENTS: JCB
DATE: 11/09/2020

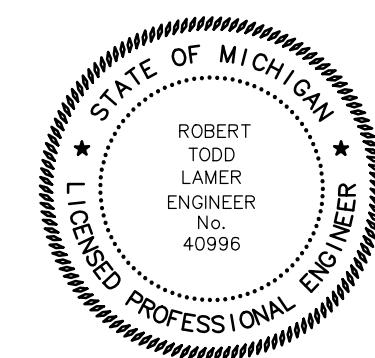
excelengineering, inc.
planners - engineers - surveyors
www.excelengineering.com
Phone: (616) 831-3660

UTILITY DETAILS SHEET

HUNTINGTONRUN
E-PA/N/A/N/S/I/O/N
6255 Cranbrook Lane, Kalamazoo, Michigan 49009



NOTES:
 CONCRETE CONSTRUCTION MATERIALS FOR INTERNAL ROADS SHALL BE IN COMPLIANCE WITH AASHTO AND M.D.O.T. STANDARDS.
 SITE CONCRETE SHALL BE INSTALLED FOLLOWING HOME PLACEMENT.
 ALL CONCRETE WALKS, PATIOS, AND DRIVES SHALL BE PLACED ON VIRGIN OR 95% COMPACTED SOIL.
 ALL PARKING AND DRIVES SHALL BE 3500 P.S.I. CONC. @ 28 DAYS, 4" THICK
 CONC. SIDEWALKS SHALL BE 4" THICK AT 3000PSI @ 28 DAYS.
 ALL PARKING BAYS SHALL HAVE A MINIMUM SLOPE OF 2.00% FROM THE FRONT OF THE HOME DOWN TO THE STREET.
 NO FOUNDATION IS REQUIRED UNDER SHEDS.
 ALL WALKS SHALL MEET MINIMUM BARRIER FREE REQUIREMENTS AND SHALL HAVE A BROOM FINISH OR OTHER APPROVED NON-SLIP SURFACE TREATMENT.
 SURFACES OF ALL WALKS, PATIOS, AND PARKING SHALL FINISH FLUSH WITH EACH OTHER.
 TOP OF ALL PIERS SHALL BE LEVEL.
 TOP OF PIER TO BE A MINIMUM OF 2" ABOVE GRADE. CONC. PIERS TO BE 3500 PSI @ 28 DAYS.
 DEVELOPER SHALL PROVIDE A MINIMUM OF 66 LINEAL FEET OF FOUNDATION FOOTING FOR A SINGLE SECTION HOME AND A MINIMUM OF 56 LINEAL FEET OF FOUNDATION FOOTING FOR A MULTIPLE SECTION HOME.
 UTILITIES
 - COMMUNITY ELECTRICAL SYSTEM SHALL BE IN COMPLIANCE WITH RULE 932 OF THE MOBILE HOME COMMISSION ACT: P.A. 96 OF 1987; AND MANUFACTURED HOUSING COMMISSION GENERAL RULES.
 ELECTRICAL SERVICE SHALL BE PLACED UNDERGROUND.
 COMMUNITY NATURAL GAS SYSTEM SHALL BE IN COMPLIANCE WITH RULE 934 OF THE MOBILE HOME COMMISSION ACT: P.A. 96 OF 1987; AND MANUFACTURED HOUSING COMMISSION GENERAL RULES.

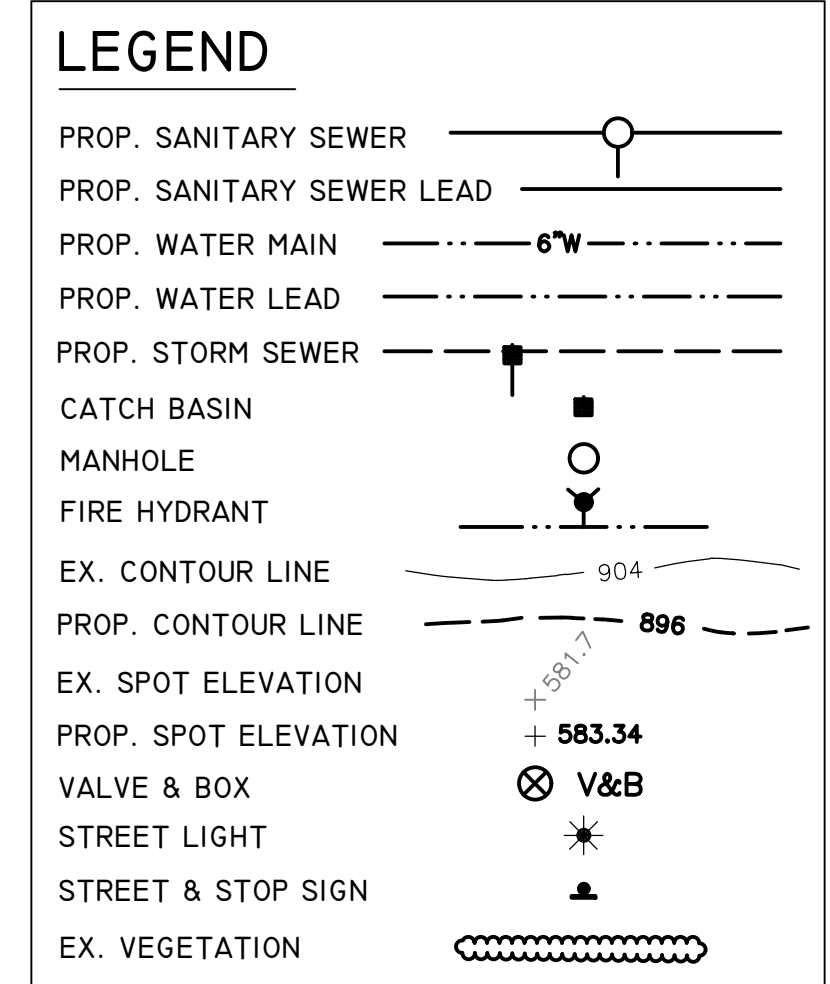


Know what's below.
 Call before you dig.

excelengineering, inc.
 planners - engineers - surveyors
 JCB
 APPROVED BY: RTO/932E
 PROJ. ENG.: RTL
 DATE: 11/09/2020

STANDARD DETAILS & NOTES

HUNTINGTON RUN EXPLORATION
 6255 Cranbrook Lane, Kalamazoo, Michigan 49009



BILL OF MATERIAL

WATERMAIN SPECIFICATIONS

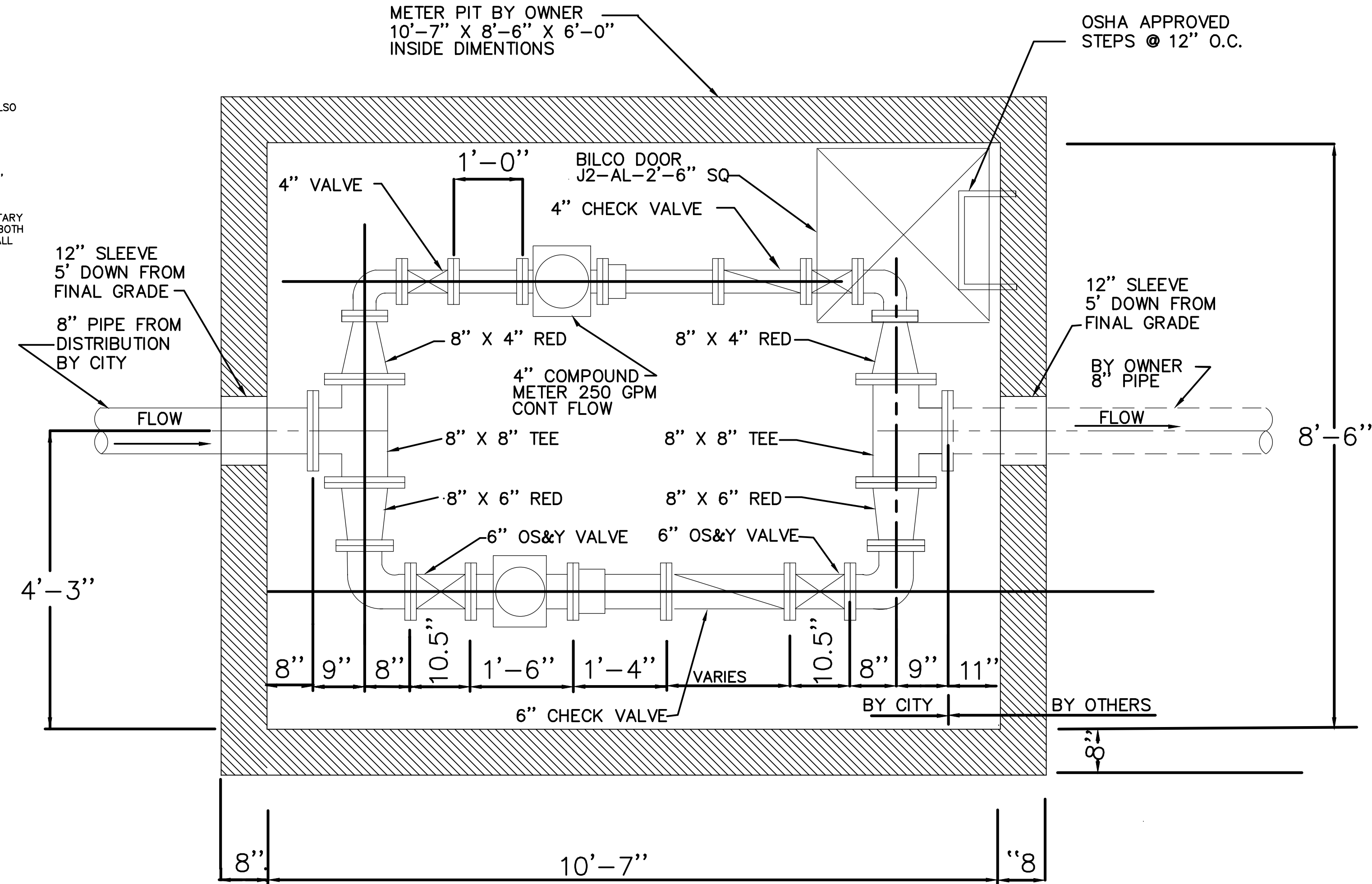
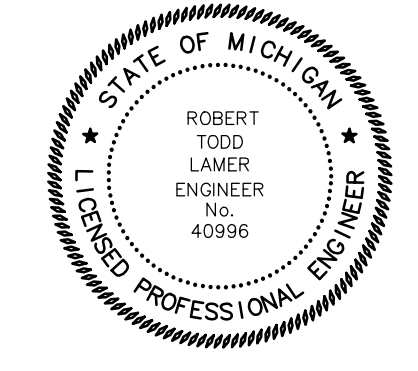
1. WATERMAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF KALAMAZOO STANDARDS.
2. ALL TEES FOR HYDRANTS SHALL BE MECH. JOINT
3. NO TIE RODS SHALL BE USED FOR FIRE HYDRANTS
4. USE CITY OF KALAMAZOO HYDRANT STANDARD
5. ALL FITTINGS SHALL BE MECH. JT. WITH MEGALUGS
6. PIPE JOINTS NEAR FITTINGS AND LAST JOINTS AT DEAD ENDS SHALL HAVE FIELD-LOK GASKETS
7. ALL TAPS TO EXISTING WATER MAIN MUST BE INSTALLED BY CITY OF KALAMAZOO. ALSO WATER CONNECTION FROM WATER MAIN TO BUILDING TO BE INSTALLED BY CITY OF KALAMAZOO.
8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATERLINES.
9. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
10. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
11. IN THE EVENT OF A VERTICAL CROSSING LESS THAN 18" BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, IN THE CASE OF WATER LINE AND SANITARY THE CROSSING SHALL THEN BE ENCASED IN CONCRETE.
12. FINAL GRADE OR STAKES INDICATING FINAL GRADE SHALL BE INSTALLING BEFORE INSTALLATION CAN BEGIN

NOTES:
 SEE SHEET #5 FOR ON-SITE WATERMAIN LAYOUT.
 SEE SHEET #6 FOR ON-SITE WATERMAIN DETAILS & SPECIFICATIONS.

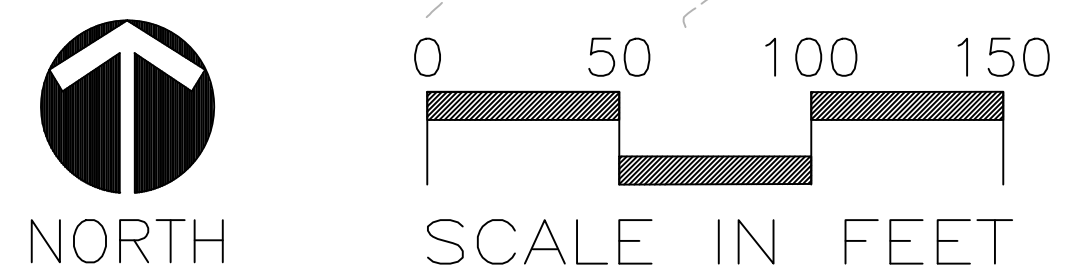
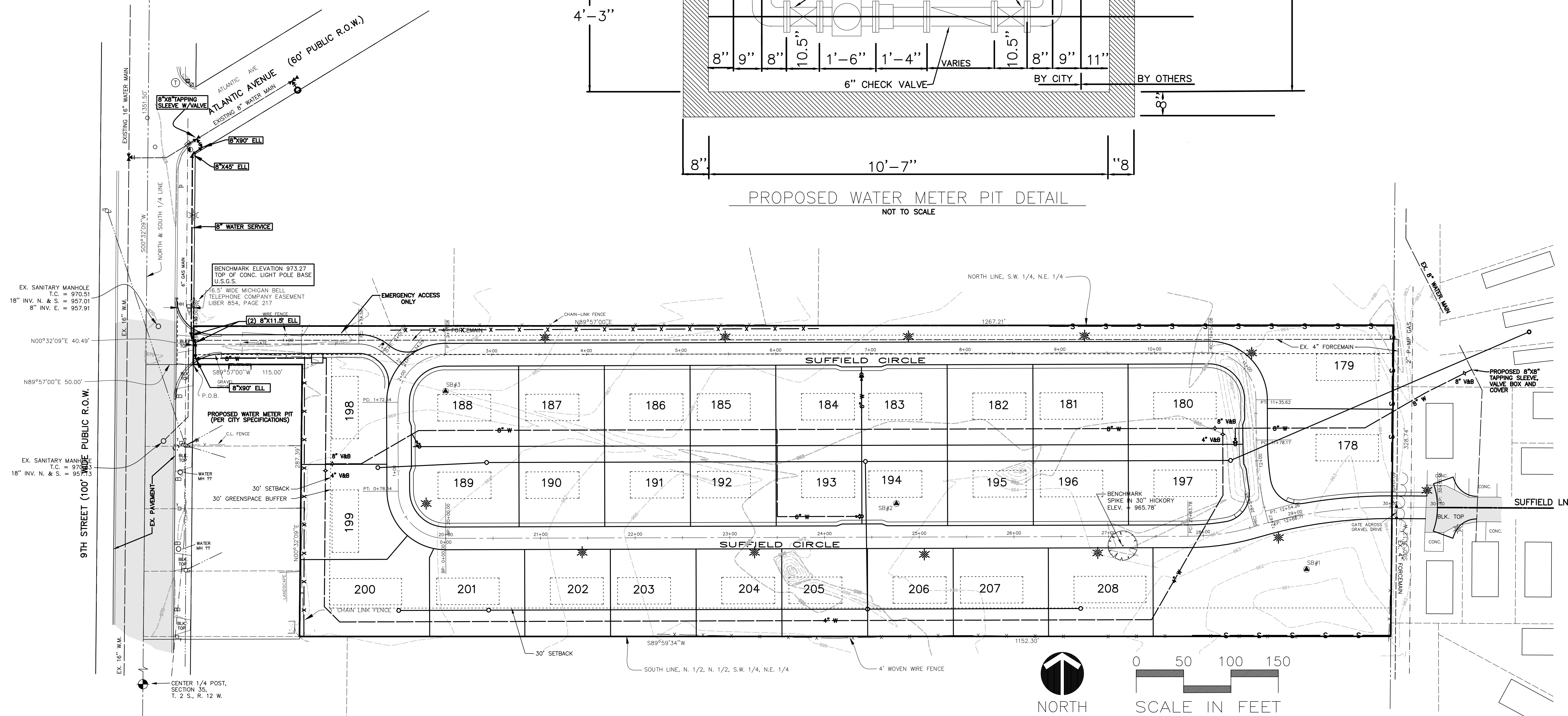
WATER MAIN DRAWING REVIEW FOR CONSTRUCTION

CITY OF KALAMAZOO
 DEPARTMENT OF PUBLIC SERVICES
 ENGINEERING DIVISION
 415 S. STOKBRIDGE AVENUE
 KALAMAZOO, MICHIGAN

APPROVED AS NOTED
 RETURNED FOR CORRECTIONS
 USE THESE DRAWINGS FOR CONSTRUCTION



PROPOSED WATER METER PIT DETAIL
 NOT TO SCALE



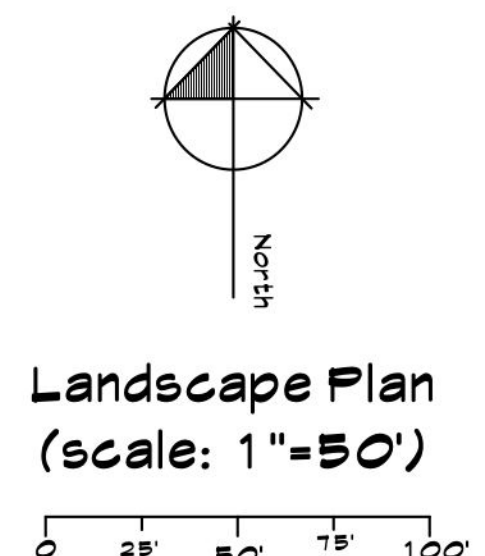
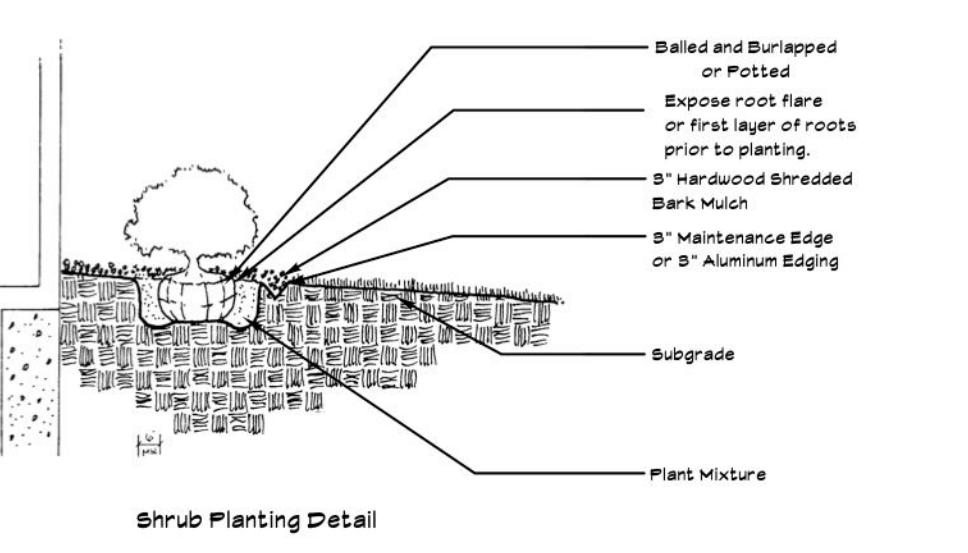
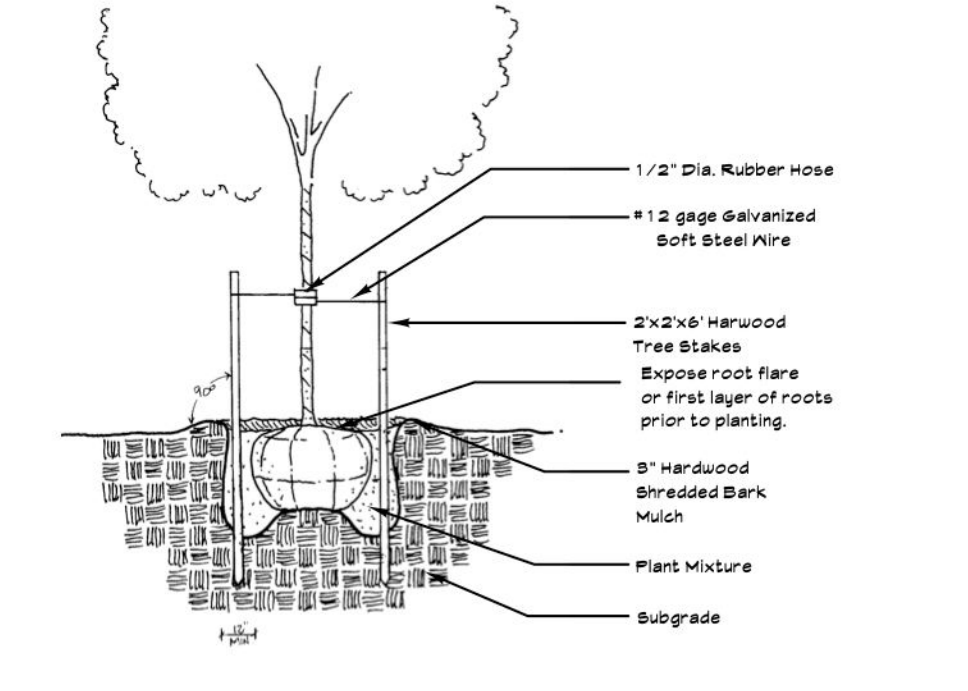
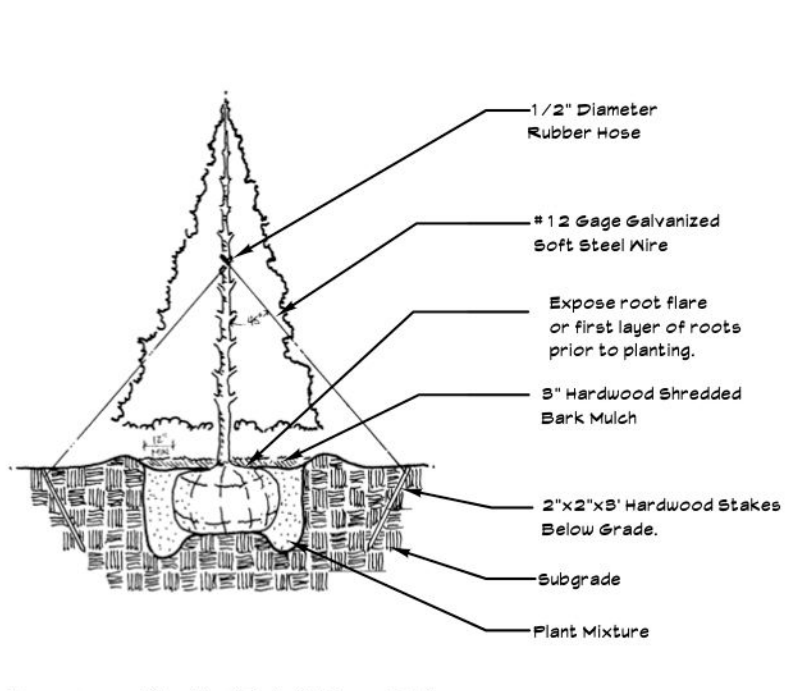
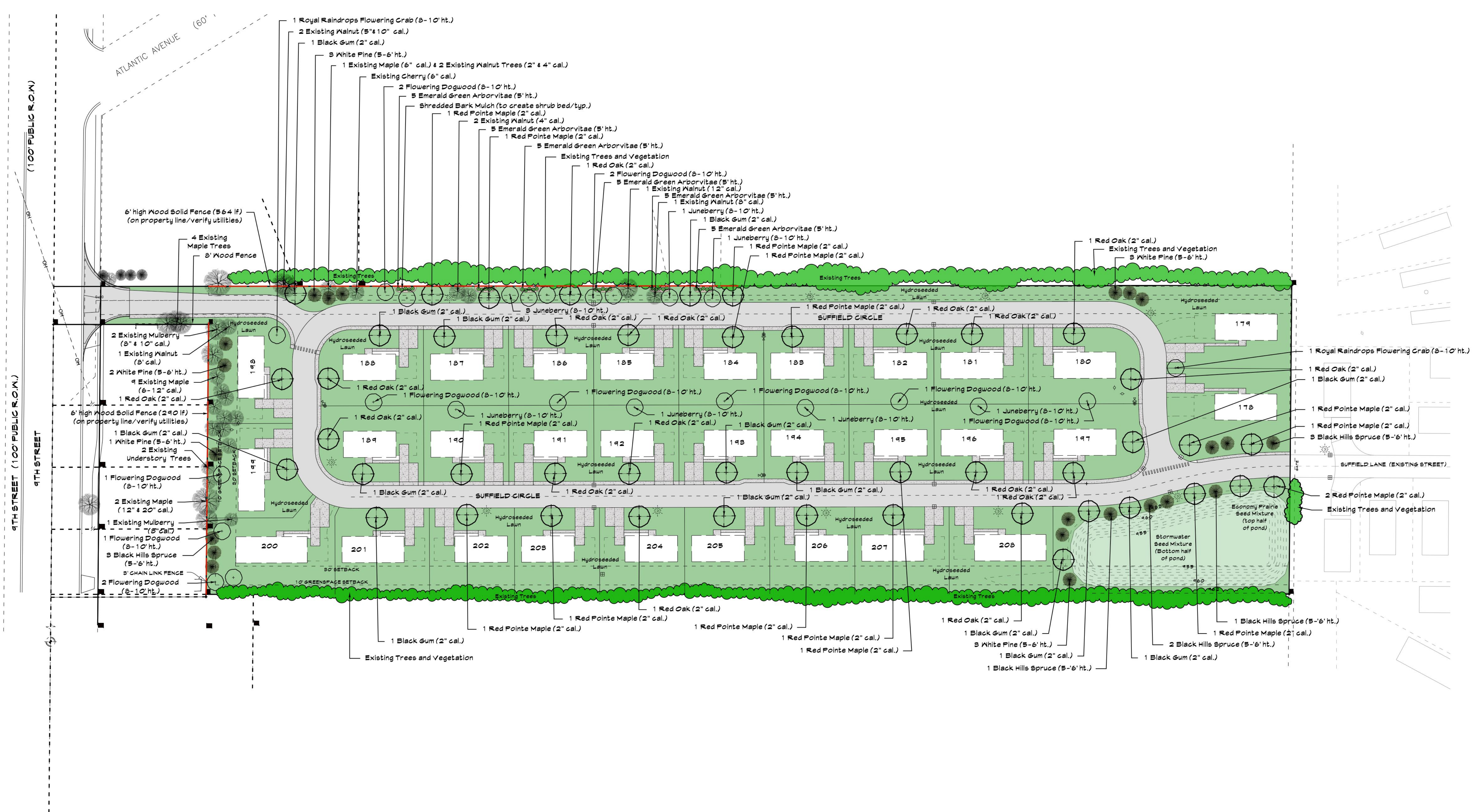
DATE:	11-9-2020
REVISION:	
SCALE:	1" = 50'
DRAWN BY:	JUB
APPROVED BY:	W. O. N.
REV. PER OSHTROM TWP COMMENTS (JUB)	6/30/2021
REV. PER OSHTROM TWP COMMENTS (JUB)	6/7/2021

PROPOSED 8" WATER SERVICE FOR HUNTINGTON RUN PHASE-2

CITY OF KALAMAZOO
 Department of Public Services
 Engineering Division
 415 STOKBRIDGE AVENUE
 KALAMAZOO, MICHIGAN 49001
 Ph. # (269)-337-4149
 Fax # (269)-337-8533

FILE NAME:

SHEET 8 of 8



- Notes:**
- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
 - All plantings shall be mulched with 3" shredded premium hardwood bark mulch. Trees in lawn areas shall receive a 6" diameter bark ring 3' deep.
 - The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots to grow through. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
 - When planting trees in the lawn area or on the berm the existing soil within a 10 foot diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 8-12".
 - Planting areas shall be edged with a mechanical bed edger to define a border for the shaded bark mulch.
 - Parking islands shall be back filled with at least 24" of topsoil. Amend the topsoil with composted manure and mix into the topsoil at a depth of 6-12". Any aggregate or stone from the construction of the parking lot shall be removed prior to backfill.
 - Lawn areas shall receive at least 4" of topsoil and hydroseeded. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn. All lawns shall be hydroseeded with a seed blend consisting of 30% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
 - Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.
 - Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.

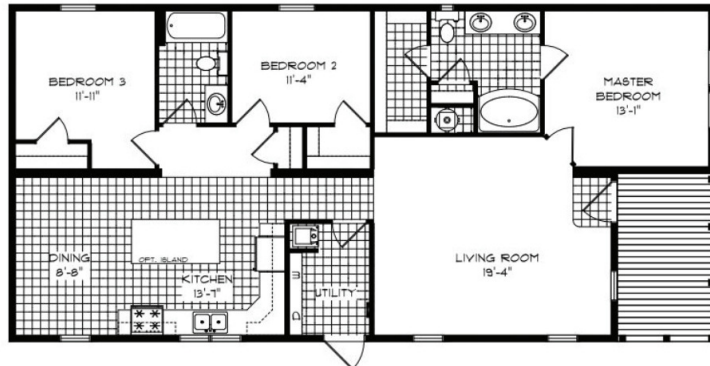
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Huntington Run



Sherwood Floorplan 28' X 56' 3BR / 2B



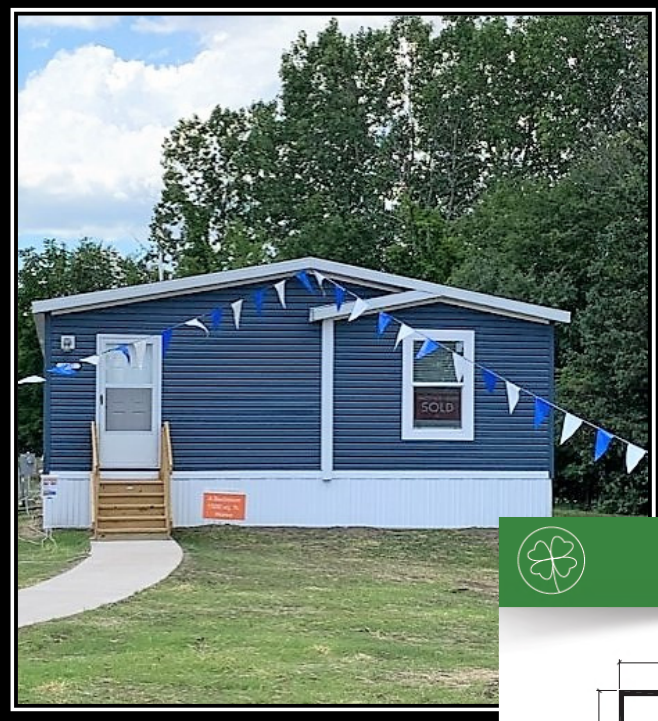
Sherwood 28x56 Exterior Colors

- ✓ Graphite Gray
- ✓ Pebble Clay
- ✓ Harbor Stone
- ✓ Cypress

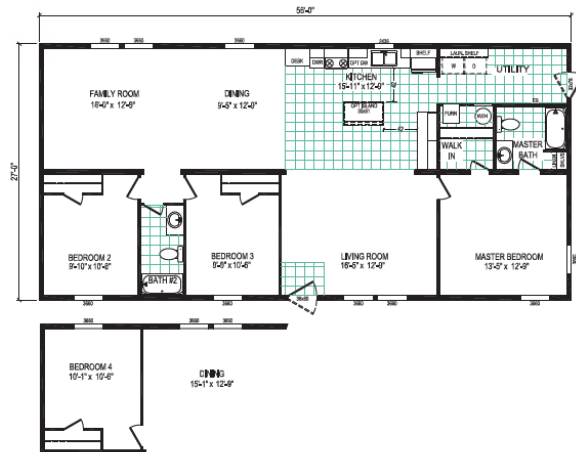


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Huntington Run



Pulse Floorplan 28' x 56' #732



Pulse 28x56 Exterior Colors

- ✓ Gray
- ✓ Clay
- ✓ Flint
- ✓ Bayou Blue



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**OSHTEMO CHARTER TOWNSHIP
ZONING BOARD OF APPEALS**

MINUTES OF A VIRTUAL MEETING HELD APRIL 27, 2021

Agenda

PUBLIC HEARING: VARIANCE FOR HUNTINGTON RUN MOBILE HOME PARK EXPANSION

THE FOUR LEAF COMPANIES, ON BEHALF OF HUNTINGTON RUN PARTNERS LLC, WAS REQUESTING RELIEF FROM SECTION 49.150(C) OF THE ZONING ORDINANCE WHICH REQUIRES THAT ALL MOBILE HOME PARKS HAVE A MINIMUM OF TWO ACCESS STREETS CONNECTING THE PARK TO OSHTEMO'S STREET NETWORK. THE REQUEST WAS TO ALLOW THE HUNTINGTON RUN MOBILE HOME PARK AND THE PROPOSED EXPANSION AREA TO HAVE ONE POINT OF FULL INGRESS/EGRESS.

A virtual meeting of the Oshtemo Charter Township Zoning Board was held Tuesday, April 27, 2021 beginning at approximately 3:00 p.m.

MEMBERS PRESENT: Neil Sikora, Chair
Anita Smith, Vice Chair
Dusty Farmer
Fred Gould

(All attending within Oshtemo Township)

MEMBERS ABSENT: Ollie Chambers
Micki Maxwell

Also present were Iris Lubbert, Planning Director, James Porter, Township Attorney, Colten Hutson, Zoning Administrator, and Martha Coash, Meeting Transcriptionist.

Guests present included Rob Lamer, Excel Engineering and Kevin Shaughnessy, Four Leaf.

Call to Order and Pledge of Allegiance

Chairperson Sikora called the meeting to order and invited those present to join in reciting the "Pledge of Allegiance."

APPROVAL OF AGENDA

After determining no changes were needed, Chairperson Sikora requested a motion.

Mr. Gould made a motion to approve the agenda as presented. Ms. Farmer seconded the motion. The motion was approved unanimously by roll call vote.

Chairperson Sikora moved to the next agenda item.

APPROVAL OF THE MINUTES OF February 23, 2021

The Chair asked if there were any additions, deletions, or corrections to the minutes of February 23, 2021.

Four minor typos/corrections were suggested.

Ms. Farmer made a motion to approve the Minutes of February 23, 2021 as corrected. Mr. Gould seconded the motion. The motion was approved unanimously by roll call vote.

Chairperson Sikora moved to the next agenda item and asked Mr. Hutson for his presentation.

PUBLIC HEARING: VARIANCE FOR HUNTINGTON RUN MOBILE HOME PARK EXPANSION

THE FOUR LEAF COMPANIES, ON BEHALF OF HUNTINGTON RUN PARTNERS LLC, REQUESTED RELIEF FROM SECTION 49.150(C) OF THE ZONING ORDINANCE WHICH REQUIRES THAT ALL MOBILE HOME PARKS HAVE A MINIMUM OF TWO ACCESS STREETS CONNECTING THE PARK TO OSHTEMO'S STREET NETWORK. THE REQUEST IS TO ALLOW THE HUNTINGTON RUN MOBILE HOME PARK AND THE PROPOSED EXPANSION AREA TO HAVE ONE POINT OF FULL INGRESS/EGRESS.

Mr. Hutson explained that Four Leaf Companies, on behalf of Huntington Run Partners LLC, was requesting relief from Section 49.150(C) of the Zoning Ordinance which requires that all mobile home parks have a minimum of two access streets connecting the park to Oshtemo's street network. The request was to allow the Huntington Run Mobile Home Park and the proposed expansion area to have one point of ingress/egress. An emergency access drive was proposed to replace the required second access street. If approved, the parcel encompassing the expansion area would be required to be combined with the parcel(s) currently comprising the existing portion of the mobile home park.

He said the area in question is zoned R-5: Residence District. Mobile home parks are listed as special uses within this district. Site plans for special exception uses of this nature generally go through a formal review process that begins at an administrative

level and then ultimately goes before the Township Board following a recommendation from the Planning Commission. However, as the proposal is in direct conflict with Section 49.150(C) of the Zoning Ordinance, staff could not move the item forward to the Planning Commission. However, Section 49.150(C) also states that the Zoning Board of Appeals has the authority to grant a variance from the requirement for additional access streets where, in the opinion of said Board, the additional access or accesses would not improve traffic safety because of the peculiar characteristics of the proposed development. The applicant has requested the Zoning Board of Appeals consider a variance for their proposal from Section 49.150(C): Mobile Home Parks and Accessory Buildings and Uses. If the requested variance is approved, a complete site plan will still be required to go through the formal planning process and be reviewed by the Planning Commission and Township Board for site plan and special use approval.

SECTION 49.150(C): Mobile Home Parks and Accessory Buildings and Uses

Mr. Hutson said the applicant provided the following rationale for this variance request from Section 49.150(C):

- Atlantic Avenue is a public street that runs NE/SW connecting both major roads that run E/W-Parkview Avenue and N/S-South 9th Street. Atlantic Avenue is a connector road to these two streets and does not continue NE past Parkview Avenue and there is not a purpose to continue west past S. 9th Street. As a connector road, the need for a second access point is diminished because it serves the purpose of the ordinance.
- The existing access point is not a small entrance. The Cranbrook Lane entrance off Atlantic Avenue is a boulevard entrance with 24' wide ingress lane, 24' wide island, and 24' wide egress lane. Two-way traffic could travel on the ingress or egress lanes alone, if ever needed. The Oshtemo Zoning Ordinance for a private two-way road width is 24'. There is the ability to stack 20 cars turning left in the egress lane without impeding right turning traffic. We have never seen this many cars stacked to turn left.
- The proposed Huntington Run Expansion is a plan that was approved by the Oshtemo Township without the second access in 2005.

He indicated Michigan courts have applied the following principles for a dimensional variance, which collectively amount to demonstrating a practical difficulty, as follows.

STANDARDS OF APPROVAL OF A NONUSE VARIANCE (PRACTICAL DIFFICULTY):

Standard: Unique Physical Circumstances
Are there unique physical limitations or conditions which prevent compliance?

Standard: Conformance Unnecessarily Burdensome
Are reasonable options for compliance available?
Does reasonable use of the property exist with denial of the variance?

*Standard: Minimum Necessary for Substantial Justice
Applied to both applicant as well as to other property owners in district.
Review past decisions of the Zoning Board of Appeals (ZBA) for consistency (precedence).*

*Standard: Self-Created Hardship
Are the conditions or circumstances which resulted in the variance request created by actions of the applicant?*

*Standard: Public Safety and Welfare
Will the variance request negatively impact the health, safety, and welfare of others?*

Mr. Hutson said Staff analyzed the request against the principles for a dimensional variance and offered the following information:

- **Special or unique physical conditions and circumstances exist which are peculiar to the property involved and which are not generally applicable to other properties in the same district.**

His Comment:

The 8-acre expansion area is located to the west of the existing portion of the mobile home park. Residential property surrounds the vacant parcel to its north, east, and west, with industrial property being situated to the south. The developed portion of the mobile home park possesses roughly 750' of road frontage adjacent to Atlantic Avenue and Parkview Avenue, whereas the expansion area itself has approximately 40.5' of road frontage adjacent to S 9th Street. Although the developed area of the mobile home park has sufficient road frontage to the north to install a secondary point of ingress/egress, approving such would defeat the purpose of requiring a secondary access drive due to its proximity to the mobile home park's existing access drive. The approximate 40.5' of road frontage on S 9th Street is not wide enough to facilitate a 66' wide right-of-way required per Section 49.150(F). Without acquiring easements or additional land from neighboring properties to gain an alternative access point to the parcel, creating a secondary point of ingress/egress is not likely.

He added that even if the mobile home park acquired sufficient road frontage on S 9th Street through an easement or additional land, the Road Commission of Kalamazoo County has expressed to Township staff that they would not grant said access due to the number of existing curb cuts and high traffic volumes on S 9th Street.

- **Strict compliance with the standard would unreasonably prevent the landowner from using the property for a permitted use; or would render conformity to the ordinance unnecessarily burdensome.**

His Comment:

Many mobile home parks outside and within Oshtemo Township possess more than one access street connecting said park to a public roadway. Requiring a secondary

full access point is not unreasonable given that mobile home parks are one of the most intense land uses within Oshtemo Township. For perspective, subdivisions and site condominiums with an excess of 50 dwelling units require a secondary ingress/egress be installed. The expansion to Huntington Run Mobile Home Park would increase the number of dwelling units to 233 in total. Acquisition of easements or additional land could be explored further to provide a full secondary access point to the site. Requiring a secondary point of ingress/egress is not unreasonable.

It should also be noted that other permitted uses, permitted uses with conditions, and special uses within the R-5: Residence District would still be able to develop on this parcel if the reviewing body were to deny the variance request. Section 51.30(A) of the Zoning Ordinance outlines that a commercial driveway that facilitates two-way traffic shall have a maximum throat width of 36'. With the parcel having approximately 40.5' of frontage along S 9th Street, accommodating a width less than 40.5' would suffice.

- **The variance is the minimum necessary to provide substantial justice to the landowner and neighbors.**

His Comment:

In researching past ZBA decisions regarding reducing the number of access streets for mobile home parks, Planning Department staff identified two comparable cases:

1. *Pheasant Ridge Mobile Home Park (aka Huntington Run Manufactured Home Community), 6255 Cranbrook Lane, 01/21/1991:*

A variance was granted by the Zoning Board of Appeals on January 21, 1991 to allow Pheasant Ridge Mobile Home Park to have one point of ingress/egress rather than the two points of ingress/egress required per Zoning Ordinance. The existing portion of the mobile home park has approximately 574' of road frontage adjacent to Atlantic Avenue and 176' of road frontage adjacent to Parkview Avenue (750' total). Excerpts of the minutes from said public hearing indicate that two points of ingress/egress were initially proposed for the development, one being located on Atlantic Avenue and the second being located along Parkview Avenue.

During the public comment stage of the meeting, a citizen expressed to the Zoning Board of Appeals that they had several safety concerns regarding the Atlantic Avenue and Parkview Avenue intersection, noting that it was already dangerous as it was. The citizen also expressed that the site plans for any proposed development at this location should incorporate having the intersection reconfigured in such a way to accommodate increased traffic. Minutes from the meeting demonstrate Zoning Board of Appeals members' concerns regarding the safety issues of the Atlantic Avenue and Parkview Avenue intersection as well, noting that eliminating the Parkview Avenue access point would help alleviate many potential traffic problems posed by the existence of the Parkview Access.

Staff at the time who presented the report indicated that the Fire Department did not have any opposition to the elimination of the proposed secondary access point for the site. When the applicant offered to install a gated emergency access drive adjacent to Parkview Avenue rather than a normal point of ingress/egress, the Fire Department declined the offer, having no interest in a gated emergency access drive at this location. It should be noted that when the variance was granted in 1991 an Oshtemo Fire Station was located on the corner of Parkview Avenue and Stadium Drive, which is where the Oshtemo Community Center is now located. That said Fire Station has since been removed; the closest Fire Station is located on S 6th Street. The proximity of the Fire Station to the mobile home park in 1991 most likely influenced the Oshtemo Fire Department's reasoning for not requiring a secondary access point or emergency drive. The secondary entrance not being in accordance with the Township's adopted Access Management Plan influenced board members' decision as well.

Although a variance was granted to reduce the number of access streets from two to one, he noted one of the major reasons for granting approval was that the Zoning Board of Appeals recommended that the secondary access point on Parkview Avenue be eliminated entirely. This is mainly attributed to the safety issues associated with the site and as to where the secondary access point would be located. The shortness in distance between both access points in addition to their proximity to the busy intersection of Parkview Avenue and Atlantic Avenue heavily influenced the Zoning Board of Appeals' decision to grant the variance. The Zoning Board of Appeals strongly considered the safety aspects of the proposal and chose to approve the variance.

2. *Wildwood Mobile Home Park (aka Woodland Estates), 4797 S 4th Street, 02/04/1991*

A variance was granted by the Zoning Board of Appeals on February 04, 1991 to allow Wildwood Mobile Home Park to have one point of ingress/egress rather than the two points of ingress/egress required per Zoning Ordinance. Excerpts of the minutes from said public hearing indicate that two access points existed when the property originally developed in the 1960s, one adjacent to S 4th Street and the second adjacent to S 5th Street. Although the mobile home park had two access points, the access point on S 5th Street was only a gated access drive. The applicant requested a variance to formally close the once approved S 5th Street access point in its entirety.

Minutes from the public hearing identified the following reasons to support the elimination of the S 5th Street access point: 1) the Township's Access Management Plan indicated that only mobile home parks with over 600 units warrant consideration for a secondary access drive, 2) low traffic volumes recorded for 4th Street by the Road Commission of Kalamazoo County, 3) the Fire Department did not oppose the elimination of the secondary access drive, 4) Pheasant Ridge Mobile Home Park on January 21, 1991 was granted a variance to reduce the number of access drives from two to one, and 5) a second access point would not improve traffic and safety. It should be noted that some Board Members were worried whether one access point would be sufficient for a mobile home park of this size. One Board Member conveyed that since

the Fire Department was not in opposition to closing the secondary access point, and given the reasons mentioned earlier, that they should grant the variance.

The Zoning Board of Appeals decided to grant the variance request to eliminate the established secondary access point adjacent to S 5th Street. The existing portion of the park had approximately 200 units at the time of the variance request. However, it should be noted that when this project expanded to the north in 1996 to construct an additional 116 mobile home units, a second point of ingress/egress was installed.

- **The problem is not self-created.**

His Comment:

The applicant's desire to construct an additional 31 mobile home units has triggered this variance request. When Huntington Run Mobile Home Park was originally constructed in the early 1990s a variance was granted that allowed for one point of ingress/egress rather than the two points of ingress/egress required by the code. As previously noted in this report, an expansion of this special use was approved 16 years ago on March 24, 2005. At that time, it was determined that a variance was not required. Per Section 65.50: Duration of Approval, special use permits terminate if such special use did not commence within one year from its date of approval. As the previous owner never capitalized on the opportunity to proceed with the development and an extension was not requested, the 2005 approval is no longer valid. This submission is considered a new project and this request needs to be considered under current policies and best practices. The previous approval of the project cannot be considered. Expanding the mobile home park is not required nor necessary. The request is a self-created hardship.

- **Public safety and welfare.**

His Comment:

Mobile home parks are one of the most intense uses the Township possesses in terms of density. With the expansion, the site would cover over 46 acres in area and have approximately 233 dwelling units in the community. Having more than one normal access point which allows for two-way traffic provides many benefits to the future residents of the mobile home park. From a life and safety perspective it should be noted that the Oshtemo Fire Department highly prefers regularly used entrances and does not favor limited access roads.

However, the National Fire Protection Association's Fire Code (NFPA-1 as adopted by Oshtemo on 3/9/2021) does allow for a gated limited access road to address the Fire Department's needed access to the site. If a variance were granted, Huntington Run would be required to install an emergency access drive adjacent to S 9th Street. Although not preferred by the Oshtemo Fire Department, they would need to have 24/7 access to the control gate. The limited access drive would also need to meet all safety standards and specifications imposed by the Oshtemo Fire Department.

Oshtemo Township's engineering consultant, Prein and Newhof, evaluated the existing and future development of Huntington Run and the driveway connected to

Atlantic Avenue from a traffic engineering standpoint. Data from traffic counts collected by the Kalamazoo Area Transportation Study (KATS) from 2017 found there to be an Average Daily Traffic (AADT) of 1,812 vehicles. This indicates the traffic on Atlantic Avenue is moderately low. Using Land Use Code 240 'Mobile Home Park' for the calculation from the ITE trip generation book for the future addition to the park and comparing it to existing conditions, Prein and Newhof believes the additional traffic generated by the proposed development expansion alone is not enough to trigger the need for a secondary full point of ingress/egress.

Mr. Hutson suggested the Zoning Board of Appeals may make a motion including the following findings of fact relevant to the requested variance:

- Support of variance approval
 - The unique physical characteristics of the property's frontage creates challenges and limits the opportunity of developing a mobile home park at the site. A full access point at this property's frontage on S 9th Street is not feasible.
 - There are two previous cases in which mobile home parks were granted a variance to allow for one point of ingress/egress rather than two.
 - Per the Access Management Plan, mobile home parks with over 600 units warrant consideration for additional full access points. Huntington Run Mobile Home Park, including the expansion, would have 233 units. The variance request, if approved, would not be creating a life and safety issue.

- Support of variance denial
 - The variance request is a hardship that is self-created, as the applicant is not required to expand the development.
 - Other reasonable options for compliance are available. Other uses permitted in the R-5: Residence District could build here without a variance. In addition, easements or land acquisition from neighboring properties could be explored further.

He suggested possible motions for the Zoning Board of Appeals to consider:

1. Variance Approval.

The Zoning Board of Appeals approves the variance request due to unique physical circumstances of the property in question, minimum necessary for substantial justice, and approval will not impact the health, safety, and welfare of others.

2. Variance Denial

The Zoning Board of Appeals denies the variance request as the need for the variance is a self-created hardship and conformance with code requirements is not unnecessarily burdensome.

Chairperson Sikora thanked Mr. Hutson for his report and asked whether Board members had questions.

Mr. Gould asked whether the applicant was aware of the requirement that prior approval had to be implemented within 12 months.

Attorney Porter said it is a standard provision that after 12 months a site plan approval ceases to exist if not acted upon within that time frame.

Ms. Lubbert noted the mobile home park was recently purchased and that the applicant is not the same as the one granted the approval 16 years ago.

Hearing no further questions from Board Members, Chairperson Sikora asked if the applicant wished to speak.

Mr. Rob Lamer, Engineer with Excel Engineering and representing the owner of Four Leaf, said when the park was purchased last year the owners were not aware of the site plan expiration, which is why they have come before the ZBA.

He stated safety is most important and is the biggest reason they were seeking a second emergency limited access drive. The Kalamazoo County Road Commission does not feel it would be safe to add a 9th Street access, that it would be safer to funnel traffic to the main roads (9th and Parkview) from one spot on Atlantic. Fire Department access is also important. He noted it would take about the same time for fire department vehicles to access the south end of the park from the existing ingress/egress as it does to reach the west end, toward 9th Street. Fire Department access would not be less safe than it is today. The 24-foot ingress/egress boulevard lanes were likely designed to provide emergency access. He offered to answer any questions the board might have but noted Mr. Hutson had provided a thorough report.

As there were no questions from ZBA members, Chairperson Sikora moved to Public Hearing. Although there were no members of the public present, two letters were received from residents. Both writers were concerned with safety. The two letters are attached to these minutes.

Hearing nothing further, The Chair closed the public hearing and moved to Board Deliberation.

Ms. Farmer cited reluctance from the Fire Department to the requested variance, but noted they indicated that safety with a limited emergency access drive would be "better than nothing."

Ms. Lubbert explained that seeking possible alternatives, such as a second ingress/egress from Atlantic or Parkview to be achieved through easements or purchase of property, had been explored and had all fallen through.

Board members came to consensus that although they did not see a good solution, approval of the variance was the best of a bad situation with limited available options.

Ms. Farmer made a motion to approve the request for variance to allow Huntington Run to have one point of full ingress/egress with the addition of an emergency access drive to replace the required second access street, based on:

- 1) the unique physical characteristics of the property's frontage that creates challenges and limits the opportunity of developing a mobile home park at the site, means a full access point at this property's frontage on S 9th Street is not feasible,
- 2) substantial justice as there are two previous cases in which mobile home parks were granted a variance to allow for one point of ingress/egress rather than two, and
- 3) approval will not impact the health, safety and welfare of others.

Chairperson Sikora seconded the motion. The motion was approved unanimously by roll call vote.

Public Comment on Non-Agenda Items

There were no comments from the public.

Other Updates and Business

Ms. Lubbert said there are currently three items to be addressed on the May agenda which will likely require a longer meeting.

The Chair said he received an e-mail regarding a DNR Trust Fund Grant to allow the Township to purchase right of way for the Fruit Belt #2 recommendation.

Ms. Farmer confirmed the grant will be voted on by the legislature.

Chairperson Sikora said if that goes through it will be impressive and commended township staff for its work on this initiative.

Adjournment

Chairperson Sikora noted the Zoning Board of Appeals had exhausted its Agenda. There being no other business, he adjourned the meeting at approximately 4:07 p.m.

Minutes prepared: April 28, 2021

Minutes approved: May 25, 2021