



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334
269-216-5220 Fax 375-7180 TDD 375-7198
www.oshtemo.org

**NOTICE
OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

**Regular Meeting
Thursday, February 28, 2019
6:00 p.m.
AGENDA**

1. Call to Order
2. Pledge of Allegiance
3. Approval of Agenda
4. Public Comment on Non-Agenda Items
5. Approval of Minutes: February 14, 2019
6. **SITE PLAN REVIEW: Advia Credit Union**
Byce and Associates, representing Advia Credit Union, is requesting site plan approval for the proposed office headquarters at 6400 West Main Street. Parcel No's. 3905-14-255-010 and 3905-14-255-050.
7. Old Business
8. Any Other Business
9. Planning Commissioner Comments
10. Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email (oshtemo@oshtemo.org), walk-in visits, or by appointment.

b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)
(revised 5/14/2013)
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday 8:00 am- 5:00 pm, and on Friday 8:00 am-1:00 pm. Additionally, questions and concerns are accepted at all hours through the website contact form found at www.oshtemo.org, email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to oshtemo@oshtemo.org and it will be directed to the appropriate person.

Oshtemo Township Board of Trustees		
<u>Supervisor</u>		
Libby Heiny-Cogswell	216-5220	libbyhc@oshtemo.org
<u>Clerk</u>		
Dusty Farmer	216-5224	dfarmer@oshtemo.org
<u>Treasurer</u>		
Nancy Culp	216-5221	ncoshtwp@oshtemo.org
<u>Trustees</u>		
Cheri L. Bell	372-2275	cbell@oshtemo.org
Deb Everett	375-4260	deverett@oshtemo.org
Zak Ford	271-5513	zford@oshtemo.org
Ken Hudok	548-7002	khudok@oshtemo.org

Township Department Information			
<u>Assessor:</u>			
Kristine Biddle	216-5225	assessor@oshtemo.org	
<u>Fire Chief:</u>			
Mark Barnes	375-0487	mbarnes@oshtemo.org	
<u>Ordinance Enf:</u>			
Rick Suwarsky	216-5227	rsuwarsky@oshtemo.org	
<u>Parks Director:</u>			
Karen High	216-5233	khigh@oshtemo.org	
Rental Info	216-5224	oshtemo@oshtemo.org	
<u>Planning Director:</u>			
Julie Johnston	216-5223	jjohnston@oshtemo.org	
<u>Public Works:</u>			
Marc Elliott	216-5236	melliott@oshtemo.org	

**OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

MINUTES OF A MEETING HELD FEBRUARY 14, 2019

Agenda

OLD BUSINESS

- a. **AGRITOURISM ORDINANCE DRAFT**

ANY OTHER BUSINESS

- a. **LIGHTING ORDINANCE DRAFT**
-

A meeting of the Oshtemo Charter Township Planning Commission was held Thursday, February 14, 2019, commencing at approximately 6:00 p.m. at the Oshtemo Charter Township Hall.

MEMBERS PRESENT: Ollie Chambers
 Ron Commissaris
 Keisha Dickason
 Dusty Farmer, Secretary
 Micki Maxwell
 Mary Smith, Vice Chair
ABSENT: Bruce VanderWeele, Chair

Also present were Julie Johnston, Planning Director, James Porter, Township Attorney, and Martha Coash, Meeting Transcriptionist. No other persons were present.

Call to Order and Pledge of Allegiance

Vice Chair Smith called the meeting to order at approximately 6:00 p.m. and invited those present to join in reciting the "Pledge of Allegiance."

Agenda

The Vice Chair asked for a motion to approve the agenda.

Ms. Farmer made a motion to accept the agenda as presented. Mr. Commissaris supported the motion. The motion was approved unanimously.

Public Comment on Non-Agenda Items

Vice Chair Smith noted there were no members of the public in attendance. She welcomed new member Keisha Dickason and members introduced themselves.

Approval of the Minutes of January 24, 2019

Vice Chair Smith asked if there were any additions, deletions or corrections to the Minutes of January 24, 2019. Hearing none, she asked for a motion.

Mr. Commissaris made a motion to approve the minutes of the Minutes of January 24, 2019 as presented. Ms. Maxwell supported the motion. The motion was approved unanimously.

Vice Chairperson Smith moved to the next agenda item.

OLD BUSINESS

a. AGRITOURISM ORDINANCE DRAFT

Ms. Johnston noted staff attempted to capture the Commission's most recent comments regarding the special event table in Agritourism categories 2 and 3 as well as needed definitions.

Commissioners arrived at consensus, making a change to the category 3 event table regarding time required between wedding and celebratory events, and removing item K. "Holiday Events/Festivals (Agritourism 2 and 3)" under Definitions.

They felt the Agritourism Ordinance document was ready for Public Hearing. Ms. Johnston expected it could be included on the March 14 meeting agenda. In addition to notice, she will invite those who have shown interest during the process.

Attorney Porter said, in response to an e-mailed question from Ms. Kim Warner, that there would not be "grandfathering" language included for lawful non-conforming use since if a non-conforming use was protected prior to the agritourism ordinance it will still be protected after ordinance adoption.

Vice Chairperson Smith moved to the next item on the agenda.

ANY OTHER BUSINESS

a. LIGHTING ORDINANCE DRAFT

Ms. Johnston said the Township Board asked the Planning Commission to review the lighting ordinance in response to a request from business owners who have installed and would like to keep non-conforming lights, specifically LED tube lighting. They have been asked, in the meantime, to turn off the lights, but not remove them until after the ordinance has been reviewed and updated.

Ms. Johnston provided the most up-to-date draft of the Lighting Ordinance for review by Commissioners. Staff provided the suggested amendments from Mr. Dan

Cunningham, Operations Manager at Circuit Electric, Inc., (CEI) a full-service electric contractor/engineering firm who reviewed and offered input on the draft ordinance.

Mr. Cunningham indicated the overall changes and approach to the amendments were good, but suggested some modifications. Ms. Johnston wanted to discuss some resulting changes to the draft with Commissioners as well as the remaining changes he recommended before including them in the draft document.

It was the consensus of the Board that the over-riding goal is to provide an ordinance that will ensure the Oshtemo community aesthetic develops as intended while also providing reasonable options for businesses.

Ms. Johnston led Commissioners through a review of the draft. Some changes were made, but after discussion it was agreed it would be helpful to invite Mr. Cunningham to a future meeting to take advantage of his expertise before going further.

Ms. Johnston will contact Mr. Cunningham to invite him to a March 28th Planning Commission meeting.

Vice Chair Smith moved to the next agenda item.

PLANNING COMMISSIONER COMMENTS

Ms. Farmer announced that Ms. Nancy Culp resigned as Township Treasurer to accept a position with Kalamazoo County and that Mr. Grant Taylor, who previously held the position of Deputy Township Treasurer, was appointed as Township Treasurer.

Ms. Johnston reminded Commissioners to contact her if they wished to attend upcoming Michigan Association of Planning sessions to be held at the Township Hall.

ADJOURNMENT

Hearing no further comments, Vice Chair Smith asked for a motion to adjourn the meeting.

Ms. Maxwell made a motion to adjourn the meeting. Mr. Commissaris supported the motion. The motion was approved unanimously.

The meeting was adjourned at approximately 7:52 p.m.

Minutes prepared:
February 15, 2019

Minutes approved:
_____, 2019



February 22, 2019

Mtg Date: February 28, 2019

To: Planning Commission

From: Julie Johnston, AICP
Planning Director

Applicant: Byce and Associates
Rick Eshlaman, P.E.

Owner: Advia Credit Union
Chad Farrer

Property: 6400 Stadium Drive
Parcel Numbers: 3905-14-255-010 and 3905-14-255-050

Zoning: Conditional Rezoning to C: Local Business District and the West Main Overlay Zone

Request: Site plan review approval

Section(s): Section 30.000 – C: Local Business District
Section 50.000 – West Main Overlay Zone

Project Name: Advia Credit Union Corporate Headquarters

PROJECT SUMMARY

On October 10, 2017, Advia Credit Union received approval from the Township Board to conditionally rezone two parcels totaling 37 acres located on West Main Street, mid-block between 9th and 10th Streets, now addressed as 6400 West Main Street. The rezoning included the following conditions proposed by Advia and approved by the Township Board, which must be met as part of the site development:

1. All requirements of the West Main Overlay District will be met except for Section 50.403.C., which limits building size and Section 50.403.F., which dictates rural architectural character.
2. Cross-access, either through a public road or private service drive, to the properties located to the east and west of the site will be provided as generally outlined in the West Main Street Sub-Area Plan. In addition, this cross-access drive will connect to a signalized intersection at West Main Street, as approved by MDOT and the Township.
3. The 150,000-square foot administrative building will be designed to fit into the natural topography of the site, reducing the impacts of height on neighboring properties and the West Main corridor. This building will have mixed office use and 1st floor retail use. Additional retail buildings, if any, will be within the West Main Overlay District and will comply with West Main Overlay District

requirements. Additional buildings outside the current area zoned for commercial in the West Main Overlay District shall be office buildings.

4. The parcel will contain no residential development.
5. Buildings and structures on the parcel will have a minimum setback of 170 feet where the parcel abuts property with an R-1 or R-2 zoning classification.
6. A 100-foot buffer adjacent to R-1 and R-2 zoning will include undulating earth berms with varying heights constructed with slopes not to exceed a one to three gradient. Berms will be protected with sod, seed or a natural ground cover. Evergreen trees will be planted near the berm at a rate of two trees every 100 linear feet to mitigate noise and light from the subject property.
7. The parcel will have no entrances and exits onto Westlins Avenue or Bunkerhill Drive.
8. If the sale to Advia Credit Union does not take place, the land shall revert to its former zoning classification.
9. Nonmotorized connections will be provided within the property, to adjacent developments, and to the nonmotorized path found next to West Main Street

Advia would now like to develop their site and are requesting site plan approval from the Planning Commission. This is a use permitted by right through the conditional rezoning but because part of this property is still within the West Main Overlay, site plan approval is handled through the Planning Commission. As part of this review, the Planning Commission will need to determine if the conditions established as part of the rezoning have been met.

SITE PLAN PACKET

The submitted site plan outlines the development of a 151,190 square foot office building with a footprint of approximately 41,770 square feet or 2.5 percent of the site acreage. The building is intended to be three stories in height with a basement measuring approximately 59 feet in height. The total impervious surface of the site is 289,461 square feet totaling 18 percent of the site. Approximately 29 acres, or 78 percent, of the 37-acre site will remain as either green space or be undeveloped at this time. Of this undeveloped acreage, approximately 4.6 acres is located within the required 100-foot buffer located adjacent to the residentially zoned properties to the north and east.

Site Plan

In general, the site plan meets the Zoning Ordinance requirements for parking, drive aisles within the parking area, handicap accessible spaces, drive through teller windows, and a nonmotorized connection to the 10-foot multi-use path along West Main Street. Of note, the applicant is utilizing *Section 68.300.A*, which allows parking lots over 100 spaces to reduce the size of 25 percent of the spaces. Of the 378 planned parking spaces, 93 will be sized at 10 feet by 18 feet as opposed to the standard 10-foot by 20-foot space.

A nonmotorized connection is shown on the site plan (sheet C200) to the west. It is a dashed line from the front parking lot through the drive through lane drive aisle to the west property line. This connection is shown a little differently on the landscape plan (sheet L100). Staff would recommend removing the connection from the site plan to be consistent with the eastern nonmotorized connection, which is shown on the landscape plan not the site plan. In addition, the nonmotorized path should extend to the property line.

The following rezoning conditions are outlined on sheet C200, Site Plan. Staff's comments are outlined below each condition.

- *Cross-access, either through a public road or private service drive, to the properties located to the east and west of the site will be provided as generally outlined in the West Main Street Sub-Area Plan. In addition, this cross-access drive will connect to a signalized intersection at West Main Street, as approved by MDOT and the Township.*

The applicator is providing a service drive that is intended to connect to the neighboring properties to the east (Bronson) and west (Meijer). The access to the east has been indicated on the site plan to be developed in the future. This is due to the unknown development plan for the Bronson property. *Section 50.402* of the West Main Overlay Zone indicates where adjacent properties have not yet developed and/or extensions of the interior street system abutting the site has not yet been constructed, provision can be made for future site design that accommodates the interior street system. However, because this is a requirement of the conditional rezoning, staff would recommend having a signed agreement between Advia and Bronson ensuring this future connection will occur.

The connection to the west has been designed to the property line, but the connection to the Meijer drive is shown as "not in contract." At the time of this memo, a cross-access agreement between Advia and Meijer has not been resolved. The area shown as "not in contract," is located on the Meijer property, but will need to be completed to ensure cross access between sites. The Planning Commission will need to determine whether to condition the site plan to ensure the access is achieved.

Finally, a condition of approval is that the site be accessed from West Main Street at a signalized intersection. The site plan indicates "proposed traffic signal poles by other." Staff's understanding is that MDOT has approved the traffic signal at this location. However, it is unclear from the site plan who will be installing the light. Staff has an inquiry into MDOT requesting confirmation that the signal has been approved and who will ensure the installation. At the time of this memo, we have not received a response.

- *The 150,000-square foot administrative building will be designed to fit into the natural topography of the site, reducing the impacts of height on neighboring properties and the West Main corridor. This building will have mixed office use and 1st floor retail use. Additional retail buildings, if any, will be within the West Main Overlay District and will comply with West Main Overlay District requirements. Additional buildings outside the current area zoned for commercial in the West Main Overlay District shall be office buildings.*

The building is slightly larger than indicated in the condition at 151,190 square feet. However, the condition does not limit the size, just indicates the intended office building will be designed to fit into the natural topography. The building has been designed within the center of the site and takes advantage of the natural terrain for the walk-out basement. This lower area is also the location of the storm water management pond immediately adjacent to the building.

Some retail uses are planned on the first floor of the office building. No additional outlot retail buildings are planned at this time.

- *The parcel will contain no residential development.*

Condition has been met.

- *Buildings and structures on the parcel will have a minimum setback of 170 feet where the parcel abuts property with an R-1 or R-2 zoning classification.*

Condition has been met.

- *The parcel will have no entrances and exits onto Westlins Avenue or Bunkerhill Drive.*

Condition has been met.

- *Nonmotorized connections will be provided within the property, to adjacent developments, and to the nonmotorized path found next to West Main Street.*

With the resolution of the nonmotorized connection to the west as indicated above, this condition has been met.

Landscaping Plan

The Landscape Ordinance requires a 20-foot greenspace along West Main Street, a 10-foot greenspace near the adjacent properties that are zoned for nonresidential uses, and a 35-foot greenspace near the adjacent residentially zoned properties. Per the conditions of rezoning, this 35-foot buffer was increased to 100 feet. The applicant will be utilizing *Section 75.200: Preservation of Existing Trees* to calculate tree credits for existing trees on site. These tree credits will preserve existing trees and allow the applicant to plant a reduced number of canopy and understory trees.

The landscape materials required adjacent to the residentially zoned properties includes evergreen trees. The tree survey does not show existing evergreen trees to be used for tree credits. The Township's interpretation of *Section 75.200* is tree credits are given for like trees. Therefore, the required evergreen trees near the adjacent residential zoning is required. The applicant has indicated that because there is an existing 30-foot sewer easement where the 35-foot mandatory buffer zone is located, they are not required to plant the evergreen trees and therefore the trees are not included on the landscape plan.

Section 75.220.B: Exceptions states if a physical hardship exists or existing topography and vegetation are determined by the reviewing body to provide equal or better landscape and buffering effect, the reviewing body may approve modifications only to the planting requirements of *Section 75.130*. The reviewing body may require such alternate plantings and visual screens as hedges, fences, walls, and/or combination thereof which it deems necessary to ensure compliance with the spirit, purpose and intent of this Section. Since the conditional rezoning requires a 100-foot buffer adjacent to the residential neighbors, staff feels there is ample room in this area to meet the evergreen tree requirement.

The following rezoning conditions are outlined on sheet L100, L110, and L120, Landscape Plans. Staff's comments are indicated below each condition.

- *A 100-foot buffer adjacent to R-1 and R-2 zoning will include undulating earth berms with varying heights constructed with slopes not to exceed a one to three gradient. Berms will be protected with sod, seed or a natural ground cover. Evergreen trees will be planted near the berm at a rate of two trees every 100 linear feet to mitigate noise and light from the subject property.*

The evergreen tree requirement of the conditional rezoning is in addition to the Landscape Ordinance regulations. This condition has been met.

The applicant would like to utilize the existing topography of the site to meet the berm requirement. They intend to provide graphics that will help to support their argument. One such graphic is included with this memo and the remaining graphics will be provided prior to the meeting date. The Planning Commission will need to determine if the spirit and intent of this condition has been met.

Photometric Plan

Per *Section 78.720.A*, lighting levels are required to be at 0.1 foot-candles at the property line. The photometric plan shows a lighting level of 0.4 to 0.7 at the property line near the drive aisle entrance to the site. The lighting design for this area will need to be altered to ensure the required 0.1 foot-candle requirement.

In addition, the photometric plan indicates building mounted and architectural pole lighting on site. However, specifications of these fixtures have not been provided to ensure they are full cut-off and downward directed. Staff would recommend a note being placed on the photometric plan which states all lighting will be full cut-off and downward directed. Also, lighting is required to be reduced during non-operational hours, allowing only lighting necessary for security purposes. The photometric plan should note where this distinction will occur.

Utilities

Public water and sewer are being extended to the building. These systems have been reviewed and approved by the Township Engineer with some minor notations to the plan. In addition, the required number of fire hydrants have been provided and approved by the Fire Marshal.

Storm water management is being handled through two major retention/detention ponds. The pond near the Advia building is intended to hold water and be an aesthetic feature to the site. This system has also

been reviewed and approved by the Township Engineer, with some final minor clarification and notations on the plan.

OUTSTANDING CONCERNS

The following provides a more succinct list of the outstanding items/concerns with the site plan:

- Cross access between the neighboring properties was outlined as a condition of the rezoning. The applicant provides a service drive to the western boundary and a proposed drive to the eastern boundary, but to date, no agreements have been signed.
- Staff is recommending the dashed line that outlines the western nonmotorized path on the site plan be removed and the nonmotorized network be displayed on the landscape plan. In addition, the path should extend to the western property line.
- Confirmation from MDOT should be provided that the signal has been approved and who will be responsible for installing the infrastructure.
- The evergreen trees required by *Section 75.130* must be installed within the 100-foot buffer area.
- The Planning Commission will need to determine if the undulating berm required by the conditional rezoning is met through the topography of the site or must be installed as part of the 100-foot buffer.
- The lighting specifications for the building and architectural pole lighting needs to be provided to the Township. In addition, a note should be placed on the photometric plan that all lighting will be full cut-off and downward directed. Finally, information needs to be included on the photometric plan related to reduced lighting during non-business hours.
- Finally, a condition should be included with any considered approval that any final concerns from the Township Engineer will be resolved prior to issuance of a building permit.

PLANNING COMMISSION POSSIBLE ACTIONS

If the Planning Commission is amenable to approving the site plan, the following conditions should be considered prior to the issuance of a building permit:

1. Cross access agreements must be signed between Advia and the neighboring properties to the east and west. The service drive connections must be constructed to the west prior to the issuance of a certificate of occupancy and to the east after development approval of the Bronson site.
2. The dashed line that outlines the western nonmotorized path on the site plan be removed and the nonmotorized network be displayed on the landscape plan. In addition, the path should extend to the western property line.
3. Confirmation from MDOT that the signal has been approved and who will be responsible for installing the infrastructure.

4. An updated landscape plan that includes the evergreen trees required by *Section 75.130*, which must be installed within the 100-foot buffer area.
5. The lighting specifications for the building and architectural pole lighting be provided to the Township.
6. An updated photometric plan that includes a note that all lighting will be full cut-off and downward directed.
7. An updated photometric plan that includes information related to reduced lighting during non-business hours.
8. Any final concerns from the Township Engineer will be resolved.
9. Any final concerns from the Township Fire Marshal will be resolved.

As part of this motion, the Planning Commission will need to determine if the undulating berm required by the conditional rezoning is either met through the topography of the site or must be installed as part of the 100-foot buffer. If the Planning Commission determines the berm should be installed, staff recommends the following additional condition:

10. An updated landscape plan that shows the placement of the undulating earthen berm of varying heights, but not above six feet, constructed with slopes not to exceed a one to three gradient either in, or adjacent to, the 100-foot buffer zone. The berm shall be covered with sod, seed, or a natural ground cover.

The Planning Commission may also consider postponing approval of the site plan until some or all of the concerns noted above have been resolved.

Respectfully Submitted,



Julie Johnston, AICP
Planning Director

Attachments: Application
Site Plan excerpts (full plan online)
Cross section graphic
Public comments to date



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS New Headquarters Facility for Advia Credit Union

PLANNING & ZONING APPLICATION

Applicant Name : Rick Eshlaman, P.E.
Company Byce & Associates, Inc.
Engineers & Architects
Address 487 Portage Street
Kalamazoo, Michigan 49007
E-mail rick.eshlaman@byce.com
Telephone 269-381-6170 Fax 269-381-6176
Interest in Property Project Civil Engineer

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

OWNER*:

Name Chad Farrer, Advia Credit Union
Address 550 S Riverview Drive
Parchement, MI 49004
Email cfarrer@adviacu.org
Telephone 1-844-238-4228 Extension 1136

Fee Amount \$600.00
Escrow Amount \$1,500.00

Total Enclosed \$2,100.00

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

Site Plan review, comment & approval of enclosed site plan submittal documents for a New Advia Credit Union Main Headquarters Facility at 6400 W Main Street. Project targets the January 10th, 2019 Planning Commission Meeting for Site Plan Approval of the new 45,600 sf building footprint and related site developments.

LEGAL DESCRIPTION OF PROPERTY *(Use Attachments if Necessary):*

Refer to attached Survey for Legal Description of Property

PARCEL NUMBER: Main Parcel No. 3905-14-255-010 + Parcel No. 3905-14-255-050

ADDRESS OF PROPERTY: 6404 W Main Street, Kalamazoo, Michigan 49009

PRESENT USE OF THE PROPERTY: Main parcel - vacant to be developed

PRESENT ZONING C Local Business District **SIZE OF PROPERTY** 37.20 Acres

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)	Address(es)
N/A	

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.



Owner's Signature (* If different from Applicant)

11-29-18

Date



Applicant's Signature

11-28-18

Date

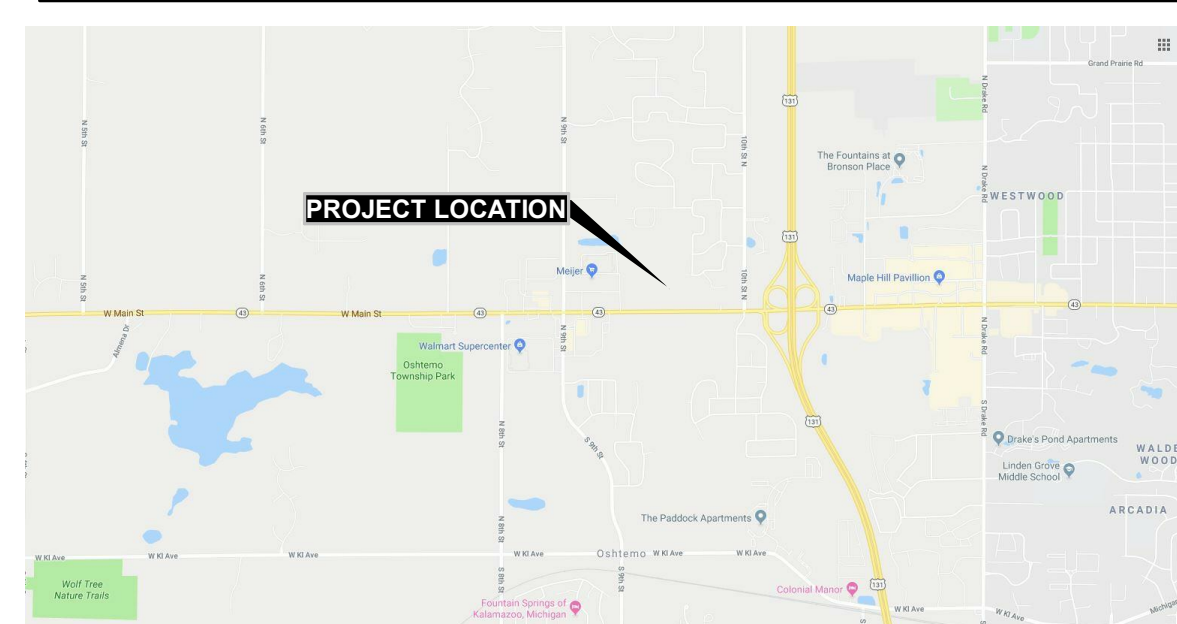
- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

New Corporate Headquarters Facility for: **ADVIA CREDIT UNION**

6400 WEST MAIN ST. - KALAMAZOO, MI 49009

LOCATION MAP



DESIGN CONCEPT SKETCHES



PROJECT INFORMATION

OWNER:
 ADVIA CREDIT UNION

BUILDING SITE ADDRESS:
 6400 WEST MAIN ST. - KALAMAZOO, MI 49009

BUILDING CODE:
 2015 Michigan Building Code
 2015 Michigan Electric Code
 2015 NFPA

BUILDING OCCUPANCY:
 TYPE B, A2

CONSTRUCTION TYPE:
 TYPE 2B, FULLY SPRINKLED BUILDING
 WITH SMOKE CONTROLLED ATRIUM

GROSS BUILDING AREA:
 151,190 SF

BUILDING HEIGHT:
 58'-6"

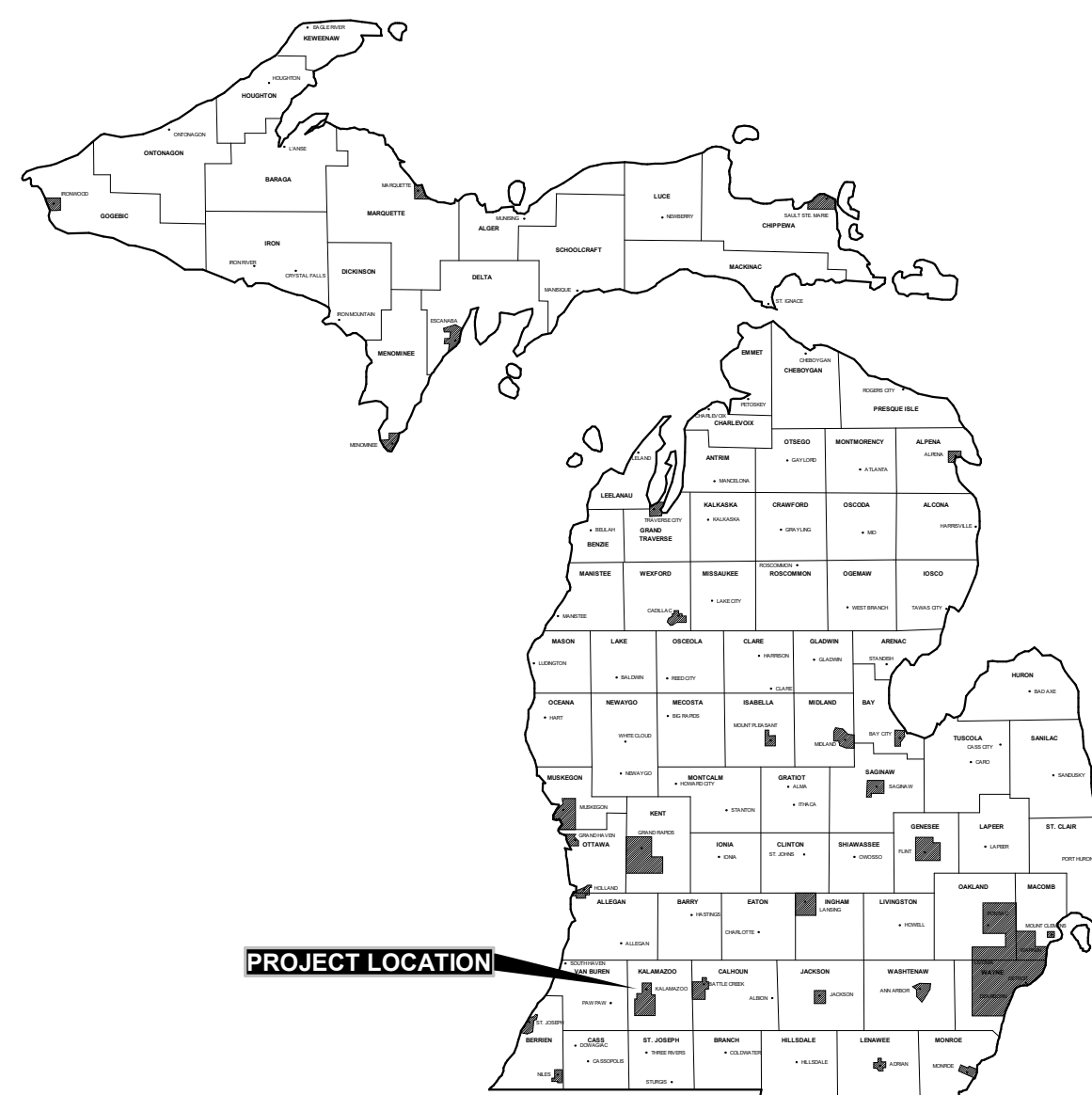
NUMBER OF STORIES:
 3 WITH BASEMENT

PROJECT SCOPE SUMMARY:
 Advia Credit Union is proposed as a 3-story mixed use building of approximately 151,190 gross square feet with a partial basement. The development includes commercial lease space and office space, basement level, 5 lease spaces with room for expansions.

The current floor breakdown is as follows (Based on drawings dated 1/31/2019).

Basement:	22,558 sq. ft. Storage, mechanical, IT server room, and office space
First floor:	43,192 sq. ft. Commercial lease area, Advia local bank, office space and atrium.
Second floor:	43,024 sq. ft. Open to Third floor: office space and atrium
Third floor:	42,415 sq. ft. Office space and atrium.

MICHIGAN LOCATION MAP



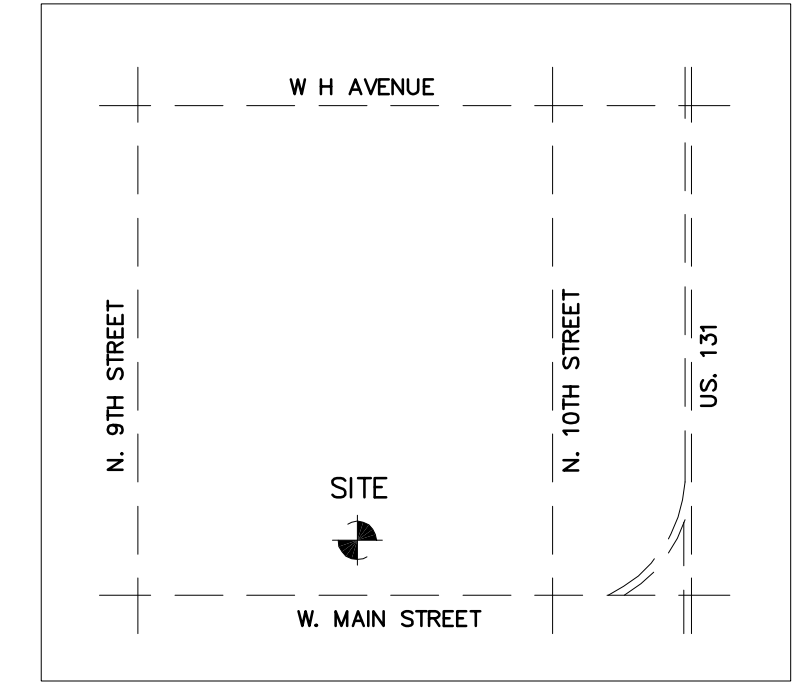
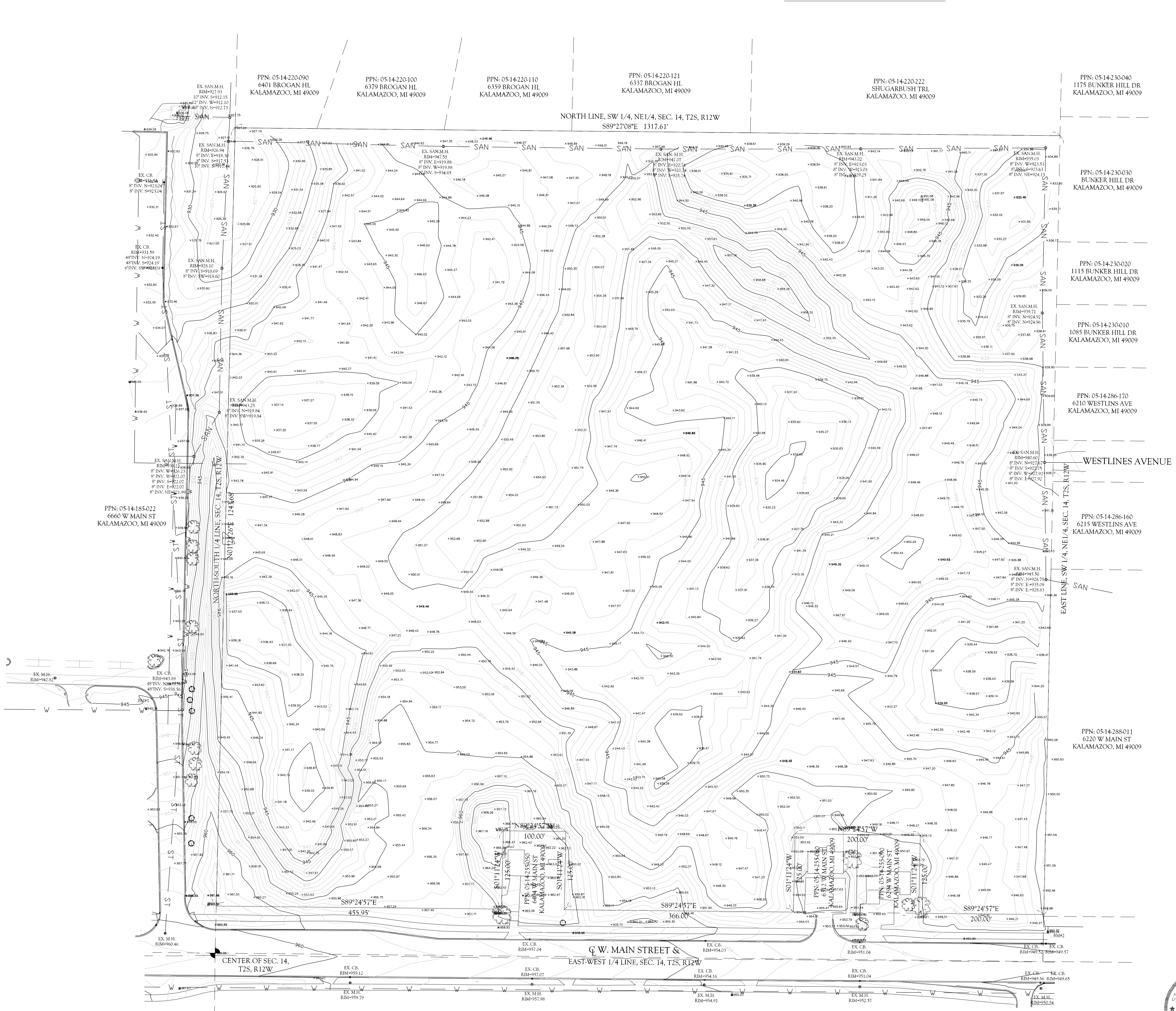
DRAWING LIST

SITE PLAN SUBMITTAL

General	Project Cover Sheet
G001	Project Cover Sheet
For Reference	
T1	Topographic Survey
T2	Tree Survey
Civil	
C100	Demolition Plan
C200	Site Plan
C300	Grading Plan
C310	Enlarged Grading Plan
C400	Utility Plan
C410	Service Road and North Parking Lot Profiles
C420	Advia Way, South Parking Lot, and Sanitary Sewer Profiles
C500	Soil Erosion Control Plan
C600	Details
C610	Details
C620	Details
Electrical Site	
EC100	Electrical Site Plan
Landscape	
L100	Landscape Plan
L110	Landscape Details and Plant Legend
L120	Greenspace Planting Requirements
L130	Landscape Profiles (1-3)
L140	Landscape Profiles (4-6)
L150	Landscape Profiles (7-9)
Architectural	
A200	Lower Level Floor Plan
A210	First Floor Plan
A220	Second Floor Plan
A230	Third Floor Plan
A600	Exterior Elevations
A601	Exterior Elevations

New Corporate Headquarters Facility for:
ADVIA CREDIT UNION
 6400 WEST MAIN ST. - KALAMAZOO, MI 49009

TOPOGRAPHICAL SURVEY



LOCATION MAP
NO SCALE

LEGAL DESCRIPTION:

Land situated in the Township of Oshtemo, County of Kalamazoo, State of MI described as follows:
The Southwest 1/4 of the Northeast 1/4 of Section 14, Town 2 South, Range 12 West, excepting the three following parcels:

1) Commencing at the Southeast corner of the Southwest 1/4 of the Northeast 1/4 of Section 14, Town 2 South, Range 12 West; thence West 766 feet along the East and West 1/4 line of Section 14; thence North 0°36'30" East 200 feet parallel to the East line of the Southwest 1/4 of the Northeast 1/4 of Section 14; thence East 100 feet parallel to the East and West 1/4 line of Section 14; thence South 0°36'30" West 200 feet parallel to said East line to the place of beginning.

2) Commencing at the Southeast corner of the Southwest 1/4 of the Northeast 1/4 of Section 14, Town 2 South, Range 12 West; thence West 200 feet along the East and West 1/4 line of Section 14 to the place of beginning; thence continuing West 200 feet along the East and West 1/4 line of Section 14; thence North 0°36'30" East 200 feet parallel to the East line of the Southwest 1/4 of the Northeast 1/4 of Section 14; thence East 200 feet parallel to the East and West 1/4 line of Section 14; thence South 0°36'30" West 200 feet parallel to said East line to the place of beginning.

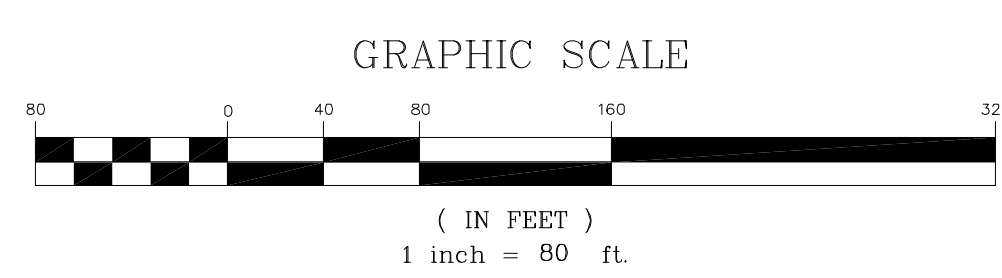
3) All that part of the above which lies Southerly of a line 75.00 feet Northerly of, measured at right angles and parallel to the survey line of Highway M43. The Survey line of Highway M43 is described as: Beginning at a point on the North and South 1/4 line of said Section 14 which is South 00°25'14" West 5.46 feet from the center of said Section 14; thence North 89°29'34" East 1500 feet to a point of ending.

SCHEDULE-B-II (EXCEPTIONS)

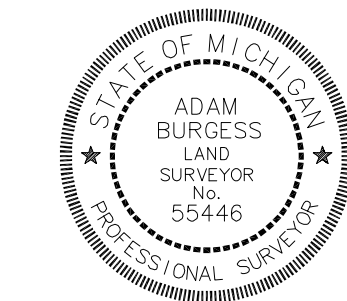
- 15. Sanitary Sewer Easement as disclosed by instrument recorded in Document No. 2004-040816.
- 16. Water Main Easement as disclosed by instrument recorded in Document No.2007-007247.

BENCHMARKS: (Datum: NAVD88 as derived from GPS observations utilizing (MDOT CORS)

- BM#1- Top of Northeast flange bolt on hydrant located 390'± North and 120'± West from the Southwest corner of subject property. Elevation = 746.52
- BM#2- Top of Northwest flange bolt on hydrant located 47'± North and 7'± East from the Southeast corner of subject property. Elevation = 752.11



LEGEND			
	CONIFEROUS TREE		SQUARE CATCH BASIN
	DECIDUOUS TREE		ELECTRIC RISER
	PHONE RISER		ROUND CATCH BASIN
	UTILITY MANHOLE		SIGN (ONE POST)
	MAIL BOX		SIGN (TWO POST)
	LIGHT POLE		BITUMINOUS SURFACE
	STORM MANHOLE		CONCRETE SURFACE
	WATER VALVE		REFERENCE POINT
	FND. IRON		SANITARY LINE
	SET IRON		STORM LINE
	ELECTRIC		GAS MAIN
	FENCE		TREE / SHRUB LINE



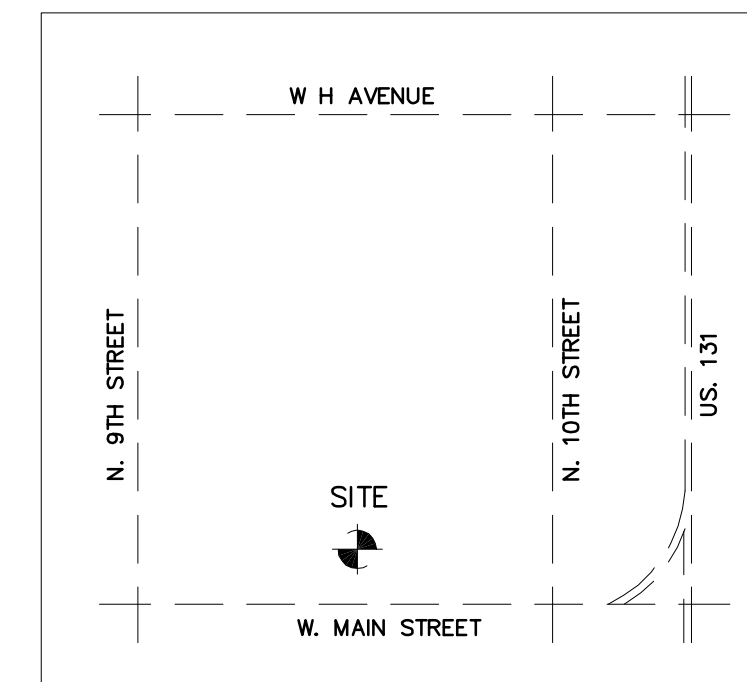
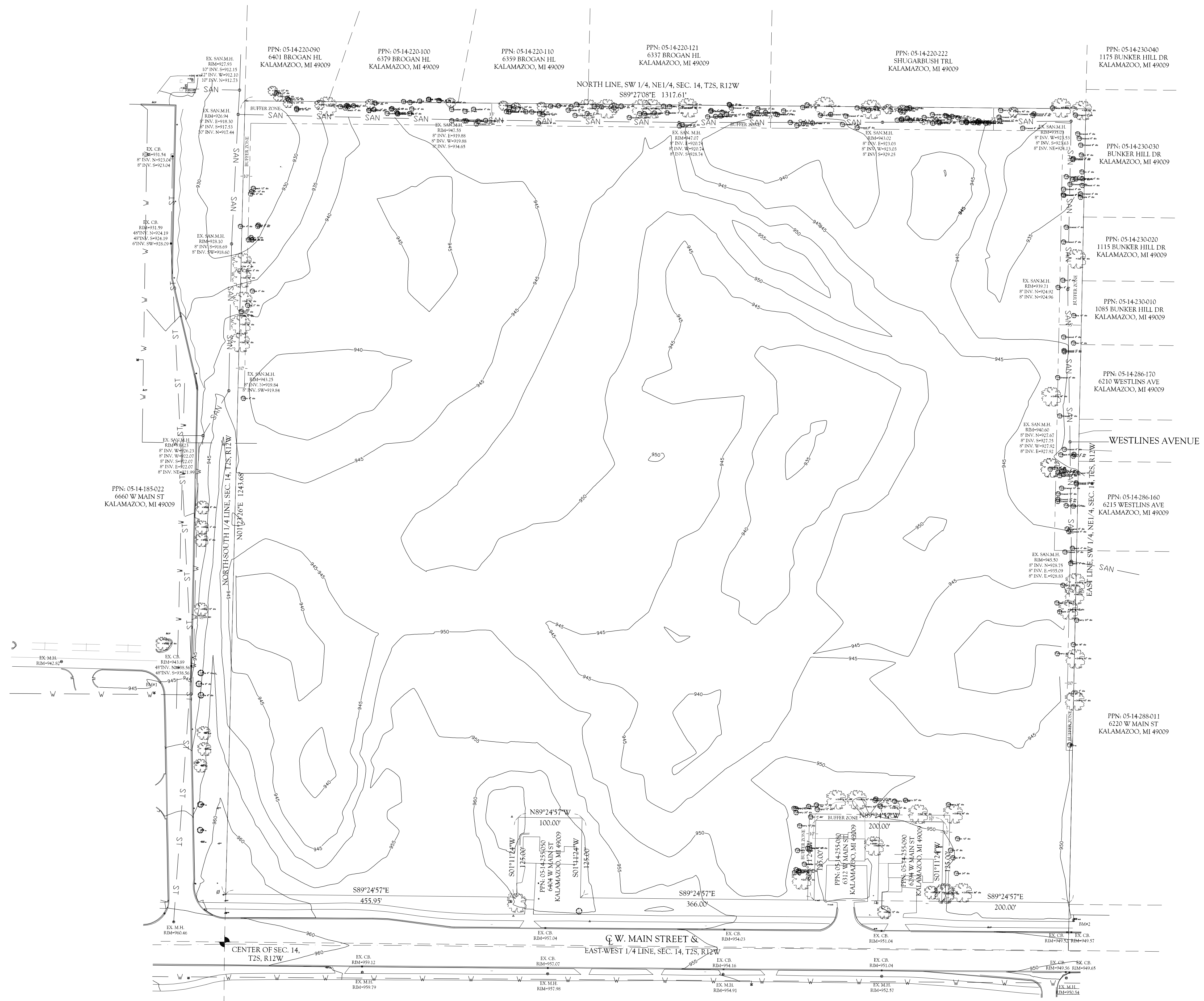
DESIGNED BY: _____ DATE: _____
 DRAWN BY: ACB DATE: 12/21/17
 CHECKED BY: _____ DATE: _____
 REVISIONS: _____ BY: _____
 NO. _____

Prepared For: **BURGESS Surveying**
 8755 Ridgeway Dr.
 Byron Center, MI 49315
 Phone: (616) 437-2249
 8131 RIDGESTONE DR. SW BYRON CENTER, MI 49315
 PHONE: (616) 437-2249 EMAIL: burgesstesting@gmail.com

ADVIA CREDIT UNION
 WEST MAIN STREET, KALAMAZOO, MICHIGAN
 TOPOGRAPHIC SURVEY

PROJECT NO. 1734501
 FILE NAME T1
 SHEET NO. 1

**TOPOGRAPHICAL SURVEY
TREE SURVEY**



LOCATION MAP
NO SCALE

LEGAL DESCRIPTION:

Land situated in the Township of Oshtemo, County of Kalamazoo, State of MI described as follows:
The Southwest 1/4 of the Northeast 1/4 of Section 14, Town 2 South, Range 12 West, excepting the three following parcels:

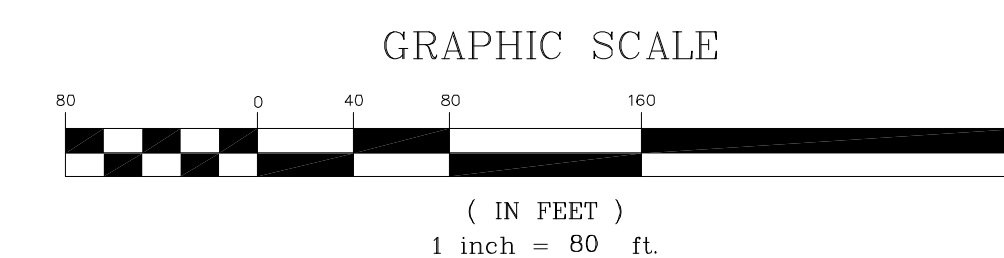
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- 2) Commencing at the Southeast corner of the Southwest 1/4 of the Northeast 1/4 of Section 14, Town 2 South, Range 12 West; thence West 200 feet along the East and West 1/4 line of Section 14 to the place of beginning; thence continuing West 200 feet along the East and West 1/4 line of Section 14; thence North 0°36'30" East 200 feet parallel to the East line of the Southwest 1/4 of the Northeast 1/4 of Section 14; thence East 200 feet parallel to the East and West 1/4 line of Section 14; thence South 0°36'30" West 200 feet parallel to said East line to the place of beginning.
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**SCHEDULE-B-II
(EXCEPTIONS)**

15. Sanitary Sewer Easement as disclosed by instrument recorded in Document No. 2004-040816.
16. Water Main Easement as disclosed by instrument recorded in Document No.2007-007247.

BENCHMARKS: (Datum: NAVD88 as derived from GPS observations utilizing (MDOT CORS))

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BM#2- Top of Northwest flange bolt on hydrant located 47± North and 7± East from the Southeast corner of subject property. Elevation = 752.11



LEGEND			
	CONIFEROUS TREE		SQUARE CATCH BASIN
	DECIDUOUS TREE		ELECTRIC RISER
	PHONE RISER		ROUND CATCH BASIN
	UTILITY MANHOLE		SIGN (ONE POST)
	MAIL BOX		SIGN (TWO POST)
	LIGHT POLE		BITUMINOUS SURFACE
	STORM MANHOLE		CONCRETE SURFACE
	WATER VALVE		REFERENCE POINT
	FND. IRON		SANITARY LINE
	SET IRON		STORM LINE
	ELECTRIC		GAS
	FENCE		TREE / SHRUB LINE

DESIGNED BY	DATE	BY	DATE
DRAWN BY	ACB	02/12/19	
CHECKED BY			
REVISIONS	BY	DATE	
4			
3			
2			
1			
NO.			
Prepared For:	8755 Ridgestone Dr. Byron Center, MI 49315 Phone: (616) 437-2249		
Prepared By:	Burgess & Burges, Inc. 487 Forrester Street Kalamazoo, MI 49007		
 8734 RIDGESTONE DR. SW BYRON CENTER, MI 49315 PHONE: (616) 437-2249 EMAIL: burgesssurveying@gmail.com			
ADVIA CREDIT UNION			
WEST, MAIN STREET, KALAMAZOO, MICHIGAN			
TREE SURVEY			
PROJECT NO.	1734501		
FILE NAME	T2		
SHEET NO.	1		

NORTH LINE, SW 1/4, NE1/4, SEC. 14, T2S, R12W
S89°27'08"E 1317.63'

PROPERTY LINE

- SITE NOTES:**
- ALTA / NPS LAND TITLE SURVEY PROVIDED BY BURGESS, PROFESSIONAL LAND SURVEYORS.
 - CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF WORK.
 - CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR REQUIRED DEPTHS OF PAVEMENT SUBBASE AND BASE COURSES, UNLESS NOTED OTHERWISE ON CIVIL PLANS AND DETAILS.
 - COORDINATE RIGHT-OF-WAY IMPROVEMENTS WITH OSHTENO TOWNSHIP.
 - ALL CONSTRUCTION DETAILS, AS ILLUSTRATED ON DETAIL SHEETS, SHALL BE APPLIED TO PROPOSED SCOPE OF WORK, AS APPLICABLE.
 - CONTRACTOR SHALL FURNISH AND INSTALL MIN. 3209 SERIES KNOX BOX AT EACH POINT OF BUILDING ENTRY. MOUNT UNRESTRICTED AND VISIBLE APPROXIMATELY 5 FT ABOVE FINISH GRADE NEAR MAIN BUILDING ENTRANCE AND ACCESS DOORS IN ACCORDANCE WITH FIRE MARSHALL REQUIREMENTS.
 - FIRE DEPARTMENT CONNECTION (FDC) SHALL HAVE KNOX 2 1/2" LOCKING FDC PUGS WITH SHVEL-GUARD, MODEL 3041. FDC SHALL BE EQUIPPED WITH THE FOLLOWING:
 - REFLECTIVE FDC SIGN INSTALLED 10 FT ABOVE GRADE WITH MIN. 6" LETTER HT.
 - EXTERIOR RATED STROBE & HORN ALERT SYSTEM.
 - INSTALL PROTECTIVE BOLLARDS AT ALL EXPOSED ELECTRICAL OR GAS DEVICES, METERS OR EQUIP.
 - PAVING SCOPE TO INCLUDE PATCHING PAVEMENTS WITHIN RIGHT-OF-WAYS, AS REQUIRED FOR PROPOSED WORK SCOPE. PAVEMENT AND CURB SECTIONS SHALL MATCH EXISTING ADJACENT OR AS OTHERWISE REQUIRED BY AUTHORITY HAVING JURISDICTION.
 - PER OSHTENO TOWNSHIP ZONING ORDINANCE SECT. 48-303 SHARED ACCESS REDUCTION, A 10% REDUCTION IN TOTAL PARKING SPACES IS ALLOWED WHEN A FRONTAGE ROAD OR SERVICE DRIVE IS ESTABLISHED ON PARCEL.
 - SITE PLAN DEVELOPMENT TO BE IN ACCORDANCE WITH ALL CONDITIONS SET FORTH IN OSHTENO TOWNSHIP CONDITIONAL RE-ZONING AGREEMENT DATED 10-13-2017.
 - WORK W/IN THE RIGHT-OF-WAY OF M-43 SHALL COMPLY W/ MDOT STANDARDS AND PERMIT REQUIREMENTS.
 - PUBLIC SIDEWALKS & PATHWAYS SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE STANDARD SPECIFICATIONS OF OSHTENO TOWNSHIP.
 - PUBLIC & PRIVATE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE STANDARD SPECIFICATIONS OF OSHTENO TOWNSHIP.
 - PUBLIC WATER SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE STANDARD SPECIFICATIONS OF THE CITY OF KALAMAZOO.
 - PER R 323.1709 PARAGRAPH (5) OF MICHIGAN SOIL EROSION CONTROL & SEDIMENTATION CONTROL (SESC) REQUIREMENTS, PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED W/IN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. IF PERMANENT MEASURES ARE NOT POSSIBLE, THEN DISTURBED AREAS SHALL BE MAINTAINED BY THE USE OF TEMPORARY CONTROLS UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IN PLACE AND THE AREA IS STABILIZED.

BYCE
ENGINEERS & ARCHITECTS
487 PORTAGE STREET
KALAMAZOO, MI 49007
CORPORATE@BYCE.COM
WWW.BYCE.COM
TEL: 269-381-6170
FAX: 269-381-6176

GRANGER

SIGN SCHEDULE

MARK	S-1	S-2	S-3	S-4	S-5	S-6	S-7	S-8	S-9
SIGN VISUAL									
DIMENSION	MUTCD TYP.	12x18'	12x18'	12x18'	ADA STD.	MUTCD TYP.	MIN. 6' HT.	AS REQ'D	12x18'

SITE DATA:

ZONING: "C" LOCAL BUSINESS DISTRICT
OVERLAY: PARTIAL WEST MAIN OVERLAY DISTRICT

DIMENSIONAL STANDARDS:

FRONT YARD SETBACK: 170 FT
REAR YARD SETBACK: 125 FT (ABUTTING R)
SIDE YARD SETBACK: 125 FT (ABUTTING R)
MAX. BUILDING HEIGHT: 338 FT
MAX. IMPERVIOUS COVER: 95%

PHASE 1 DEVELOPMENT AREAS:

DEVELOPMENT PROPERTY: 37.2 ACRE (1,620,432 SF)
BUILDING COVERAGE: 41,770 SF (2.5%)
IMPERVIOUS PAVEMENT: 294,461 SF (18%)
TOTAL IMPERVIOUS: 331,231 SF (20.5%)
PARKING LOT ISLANDS: 74,760 SF
TOTAL GREEN SPACE: 29.6 ACRES (79.5%)

BUILDING AREAS:

NET USEABLE FLOOR AREA: 55,669 SF
REFER TO ARCHITECTURAL FLOOR PLANS FOR USEABLE AREAS PER BUILDING ELEVATION

REQUIRED OFF-STREET PARKING:

OFFICE BUILDING @ 1/2 NFA
BANKS, CREDIT UNIONS @ 1/2 SF NFA
TOTAL REQ'D PARKING SPACES: 371
TOTAL REQ'D INTERIOR ISLANDS: 11,130 SF

PROPOSED OFF-STREET PARKING:

STANDARD PARKING SPACES (10x20) 273
25% REDUCTION IN PARKING (10x18) 93
PROPOSED REDUCED PARKING 92
RESERVED DELIVERY PARKING 1
ADA DESIGNATED SPACES: 12
TOTAL PROPOSED PARKING: 370
TOTAL INTERIOR ISLANDS: 74,760 SF

advia
credit union

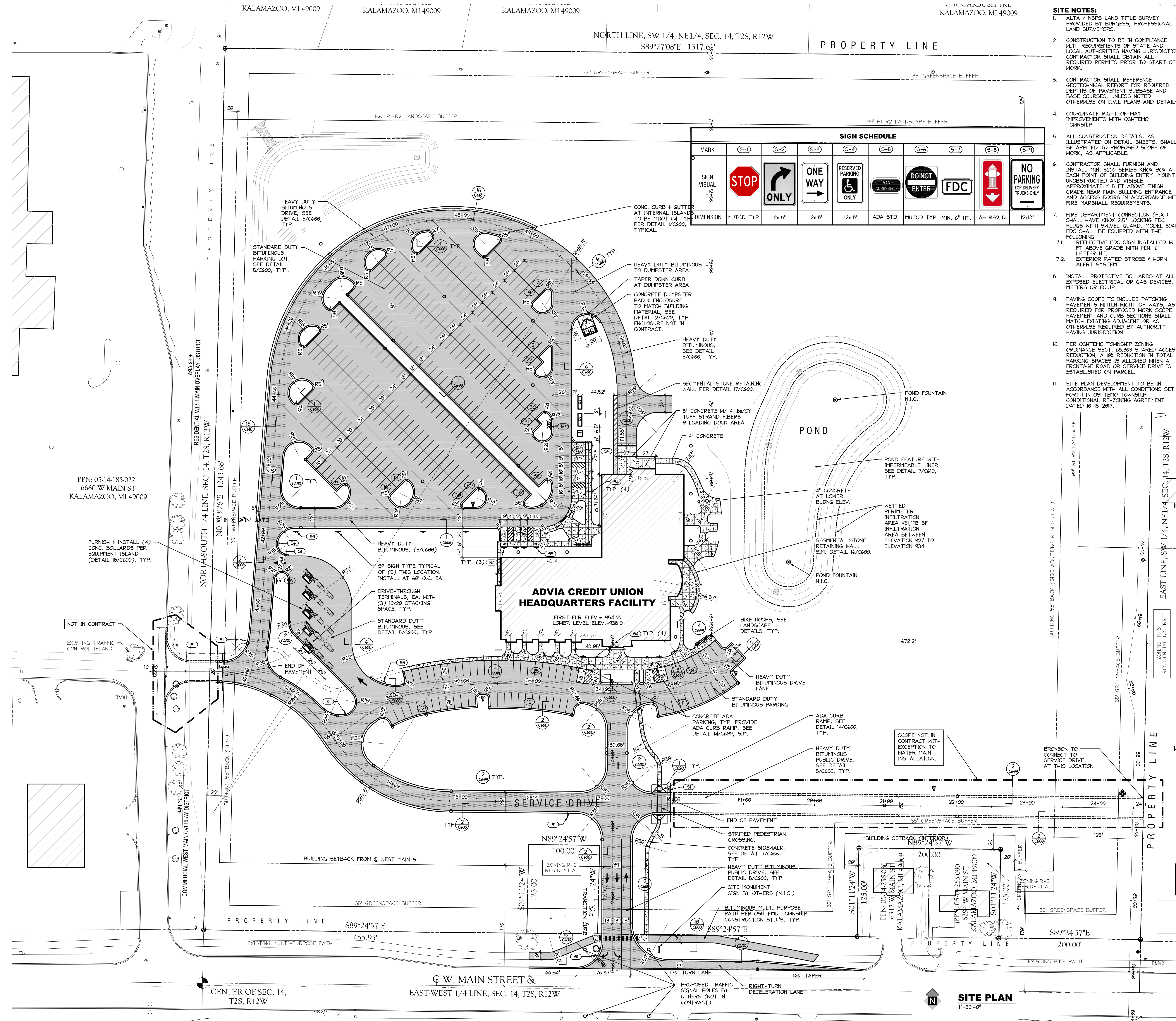


New Headquarters Facility for:
Advia Credit Union
6400 WEST MAIN ST. · KALAMAZOO, MI 49009

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- ITEMS PLANNED FOR FUTURE
- PROPOSED FENCE
- EXISTING FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- NEW HEAVY DUTY BITUMINOUS
- NEW GRAVEL
- TREELINE
- POWER POLE
- EXISTING SANITARY MANHOLE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WELL HEAD
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HANDHOLE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED PLANTING(S)

SITE PLAN
1"=50'-0"



NORTH LINE, SW 1/4, NE 1/4, SEC. 14, T2S, R12W
S89°27'08"E 1317.64'

EAST RETENTION POND VOLUME

ELEV	AREA (sq. ft.)	DEPT H (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	REMARK
927.00	30,092.23	N/A	N/A	0.00	N/A
928.00	33,336.54	1.00	3173.84	3173.84	N/A
929.00	36,682.32	1.00	36094.43	64723.32	N/A
930.00	40,128.14	1.00	38465.23	105288.55	N/A
931.00	43,674.82	1.00	4191.48	147930.03	N/A
932.00	47,321.92	1.00	45498.37	192528.40	N/A
933.00	51,069.36	1.00	49195.64	241724.04	N/A
934.00	54,917.88	1.00	52993.62	294717.66	N/A
935.00	58,866.50	1.00	56892.19	351609.85	N/A

WEST RETENTION BASIN VOLUME

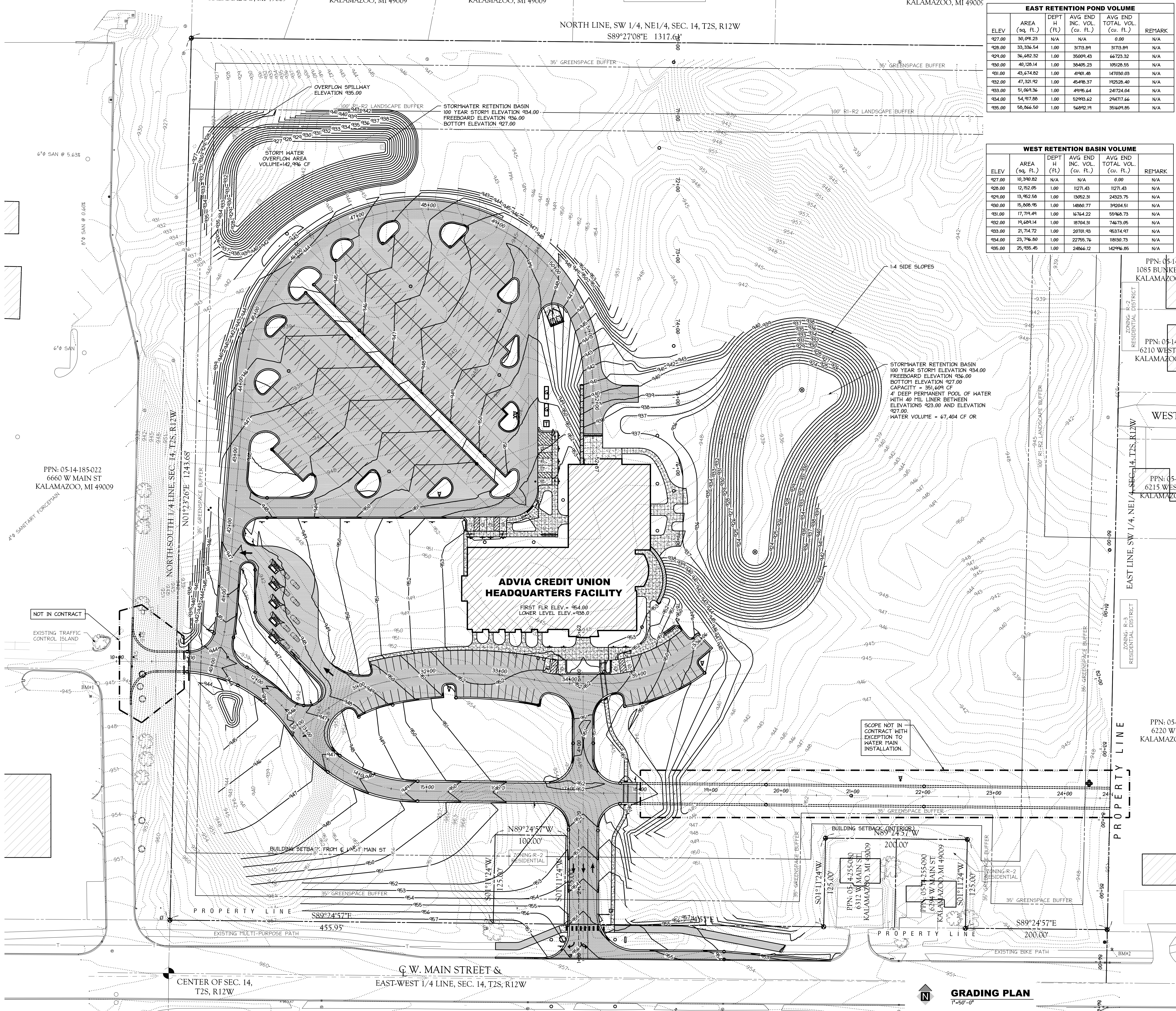
ELEV	AREA (sq. ft.)	DEPT H (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	REMARK
927.00	10,340.82	N/A	N/A	0.00	N/A
928.00	12,152.05	1.00	11271.43	11271.43	N/A
929.00	13,962.58	1.00	13052.31	24323.75	N/A
930.00	15,768.95	1.00	14850.77	39204.51	N/A
931.00	17,574.49	1.00	16744.22	55948.73	N/A
932.00	19,379.14	1.00	18704.31	74673.05	N/A
933.00	21,174.72	1.00	20799.93	95474.97	N/A
934.00	22,969.59	1.00	22755.76	118330.73	N/A
935.00	24,764.46	1.00	24662.12	142992.85	N/A

- GRADING NOTES:**
- FOR GRADING IN AREAS NOT SHOWN, PAVEMENT SLOPES TO BE 2% MINIMUM AND 6% MAXIMUM.
 - SPOT ELEVATIONS SHOWN AT CURB AND GUTTER ARE AT THE FLOW LINE.
 - CONTRACTOR TO MATCH EXISTING GRADES WHERE NEW WORK MEETS EXISTING PAVEMENT.
 - VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL "MISS DIG" 72 HOURS BEFORE YOU DIG AT 1-800-482-7171.
 - ALL NEW PAVEMENT SURFACES ARE INTENDED TO DRAIN FREELY WITH NO SURFACE WATER PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE, OR THE ENGINEER, IMMEDIATELY FOR RESOLUTION.
 - ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
 - FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
 - ADJUST TOP ELEVATIONS OF EXISTING MANHOLES, CATCH BASIN DRAIN INLETS, VAULT COVERS, ETC. AS REQUIRED TO MATCH PROPOSED FINISH GRADES, TYPICAL.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL DISPOSE OF SURPLUS SOILS ON SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.
 - APPLY NORTH AMERICAN GREEN SOIL EROSION CONTROL BLANKET TO SIDE SLOPES EXCEEDING 1:4 SLOPE.
 - RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED & MULCH WHEN NOT RECEIVING OTHER FINISH TREATMENTS. REFER TO LANDSCAPE PLANS FOR LAWN AND PLANTING AREA FINISH TREATMENTS.
 - A SOILS PROFESSIONAL SHALL OBSERVE THE CONSTRUCTION OF THE MAIN STORM WATER BASIN TO ASSURE DRAINAGE SOILS ARE AVAILABLE TO THE FULL EXTENT OF THE AGGREGATE SIDEWALL ABOVE THE LINER (I.E. THE WETTED AREA AVAILABLE FOR INFILTRATION). THAT IS, SOIL BORINGS LOCATED PORTIONS OF THE BASIN WILL BE CONSTRUCTED INTO OR THROUGH A CONFINING CLAY LAYER. IT WILL BE INCUMBENT TO ASSURE THE OVERALL DESIGN INTENT IS REALIZED. AS OVER EXCAVATION OF BAD SOILS MAY BE REQUIRED.



New Headquarters Facility for:
Avia Credit Union
6400 WEST MAIN ST. · KALAMAZOO, MI 49009

- LEGEND:**
- PROPERTY LINE
 - BUILDING SETBACK
 - RIGHT OF WAY (ROW)
 - PROPOSED FENCE
 - EXISTING FENCE
 - NEW CONCRETE
 - NEW BITUMINOUS
 - NEW HEAVY DUTY BITUMINOUS
 - NEW GRAVEL
 - TREELINE
 - POWER POLE
 - EXISTING SANITARY MANHOLE
 - EXISTING CURB INLET
 - PROPOSED CURB INLET
 - EXISTING CATCH BASIN
 - EXISTING STORM MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING WELL HEAD
 - EXISTING ELECTRIC METER
 - EXISTING GAS METER
 - EXISTING HANDHOLE
 - EXISTING SIGN
 - PROPOSED SIGN
 - EXISTING DECIDUOUS TREE
 - PROPOSED DECIDUOUS TREE
 - PROPOSED PLANTING(S)
 - EXISTING SPOT ELEVATION
 - SPOT ELEVATION
 - EXISTING CONTOUR
 - CONTOUR
 - SILT FENCE
 - DRAINAGE FLOW DIRECTION



GRADING PLAN
1"=50'-0"

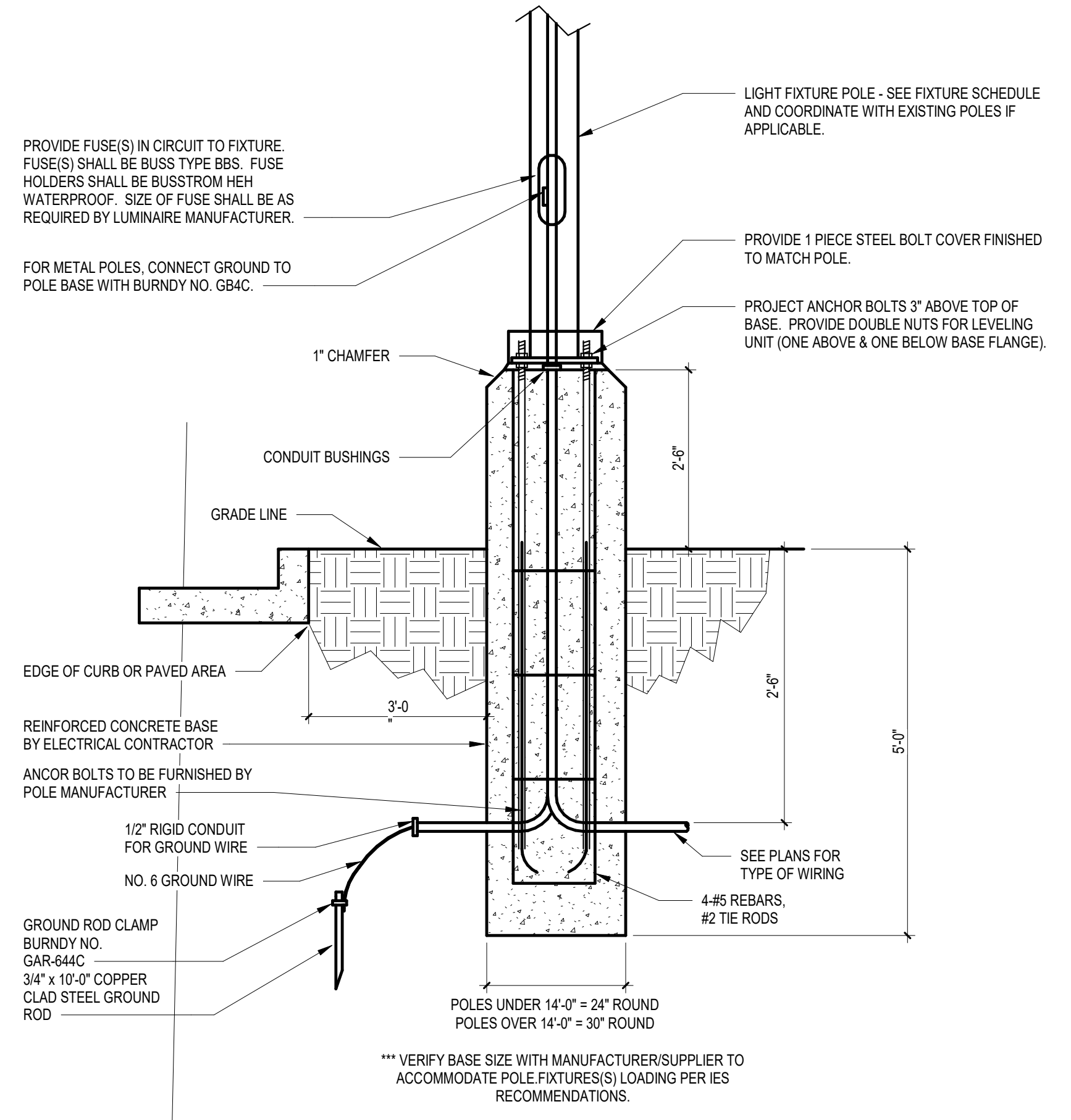
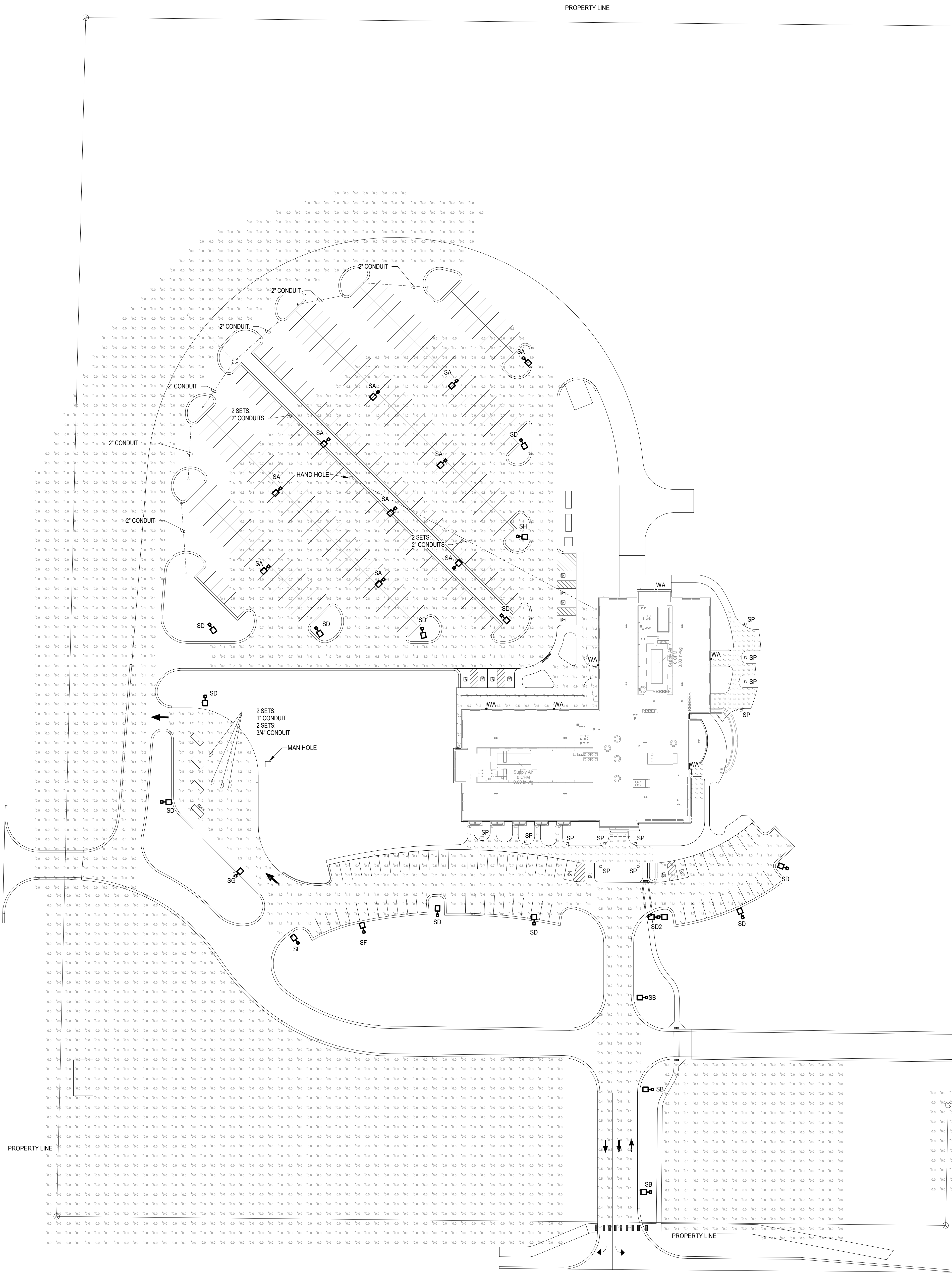
GENERAL ELECTRICAL NOTES:
1. ALL ELECTRICAL ITEMS ARE FOR REFERENCE ONLY.

BYCE
ENGINEERS ARCHITECTS
487 PORTAGE STREET
KALAMAZOO MI 49007
CORPORATE@BYCE.COM
WWW.BYCE.COM

TEL: 269-381-6170
FAX: 269-381-6176
GRANGER
Electrical Services

advia
credit union

MARK	SYMBOL	LAMPS		MANUFACTURER	MTG.	REMARKS
		WATTS	TYPE			
SA		70 W	LED	LITHONIA: #DSX1-LED-P2-30K-T5W-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	8517 LUMENS.
SB		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T3M-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	8468 LUMENS.
SD		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T4M-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	8327 LUMENS.
SD2		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T4M-MVOLT-SPA POLE: #SSS-23-4C-DM28AS	POLE 25' ABOVE GRADE	8327 LUMENS.
SF		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-TFTM-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	8484 LUMENS.
SG		102 W	LED	LITHONIA: #DSX1-LED-P3-30K-TFTM-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	11673 LUMENS.
SH		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T2M-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	8483 LUMENS.
SP		57 W	LED	LOUIS POULSEN: #ALB-MIN-PT / 57W LED/3000K / 120-277/60HZ / Nat paint alu / T-RSA-4.5 IN / DIM 6-10V / 10000108780	POLE 10'-6" ABOVE GRADE	ARCHITECTURAL SHORT POLE.
WA		0 W	LED	LITHONIA: #DSXW1-LED-10C-1000-30K-TFTM-MVOLT	WALL 15'-0" AFF	BUILDING EXTERIOR LIGHTING.



2 LIGHT FIXTURE POLE INSTALLATION DETAIL
SCALE: NONE

New Corporate Headquarters Facility for:
ADVIA CREDIT UNION
6400 WEST MAIN ST. - KALAMAZOO, MI 49009

1700181
EC100
ELECTRICAL SITE PLAN

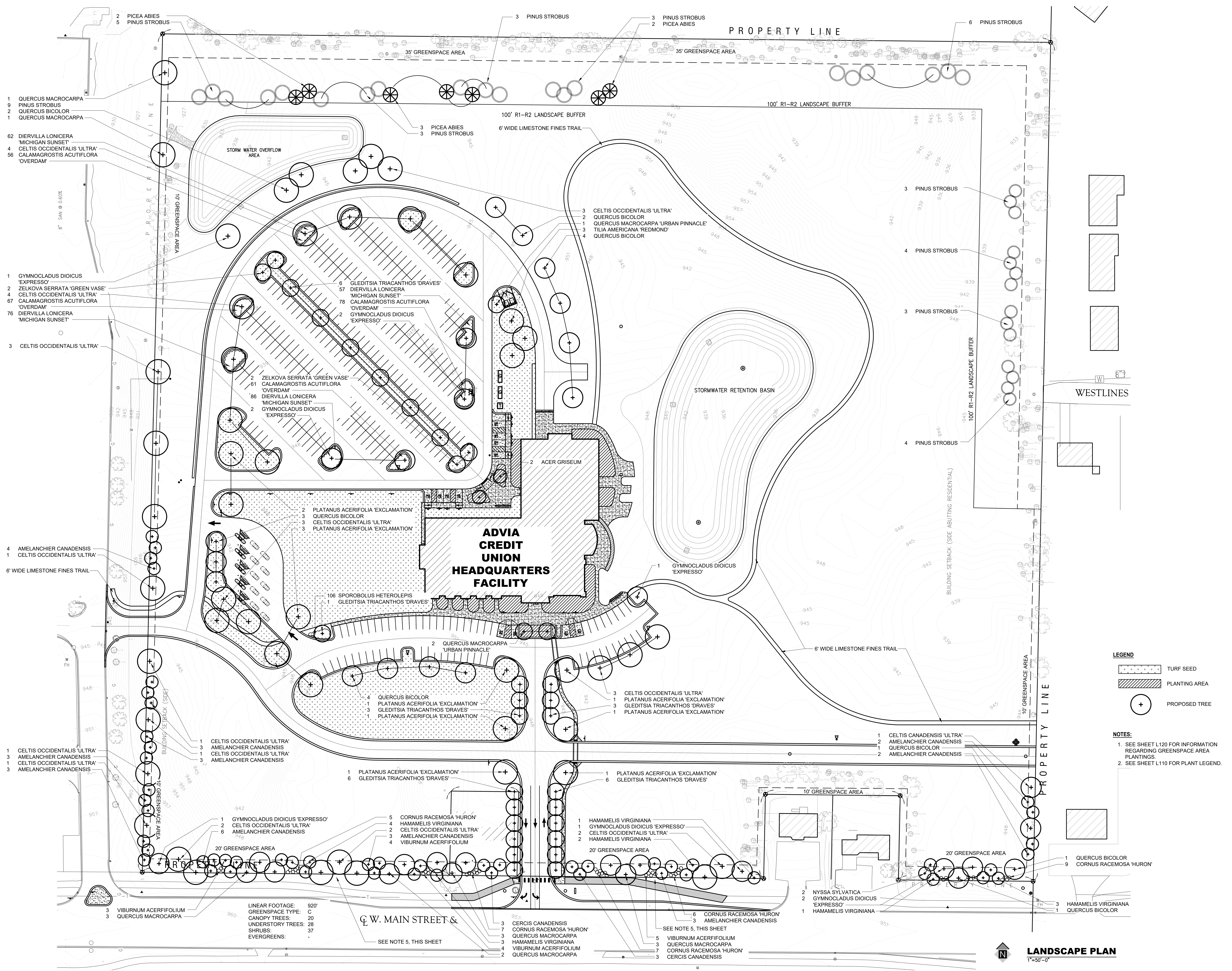
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PRELIMINARY
NOT FOR CONSTRUCTION

New Headquarters Facility for:
Advia Credit Union
W Main Street · Kalamazoo, Michigan

7-25-2019 Site Plan Submitted
8-2-2019 Site Plan Submitted
8-15-2019 Site Plan Submitted
12-10-2019 Site Plan Submitted
LANDSCAPE PLAN

17100181
L100



C:\Users\jburke\OneDrive\Documents\Projects\17100181\17100181_L100_Landscape_Plan.dwg
 Plotted: 7/25/2019 10:44:43 AM
 Plotter: HP DesignJet 2400

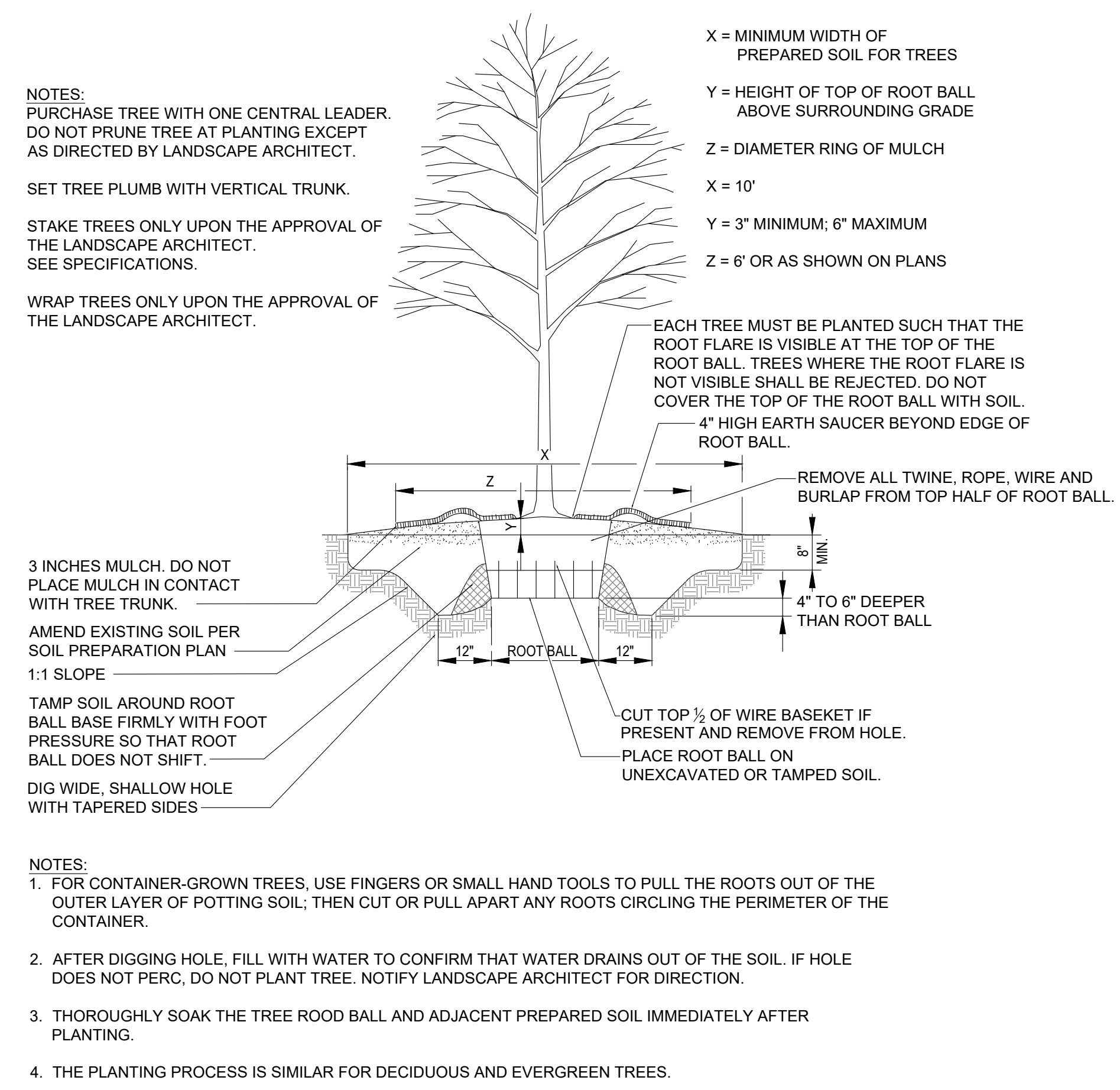
LINEAR FOOTAGE: 920'
 GREENSPACE TYPE: 20
 CANOPY TREES: 20
 UNDERSTORY TREES: 28
 SHRUBS: 37
 EVERGREENS: 37

W. MAIN STREET &

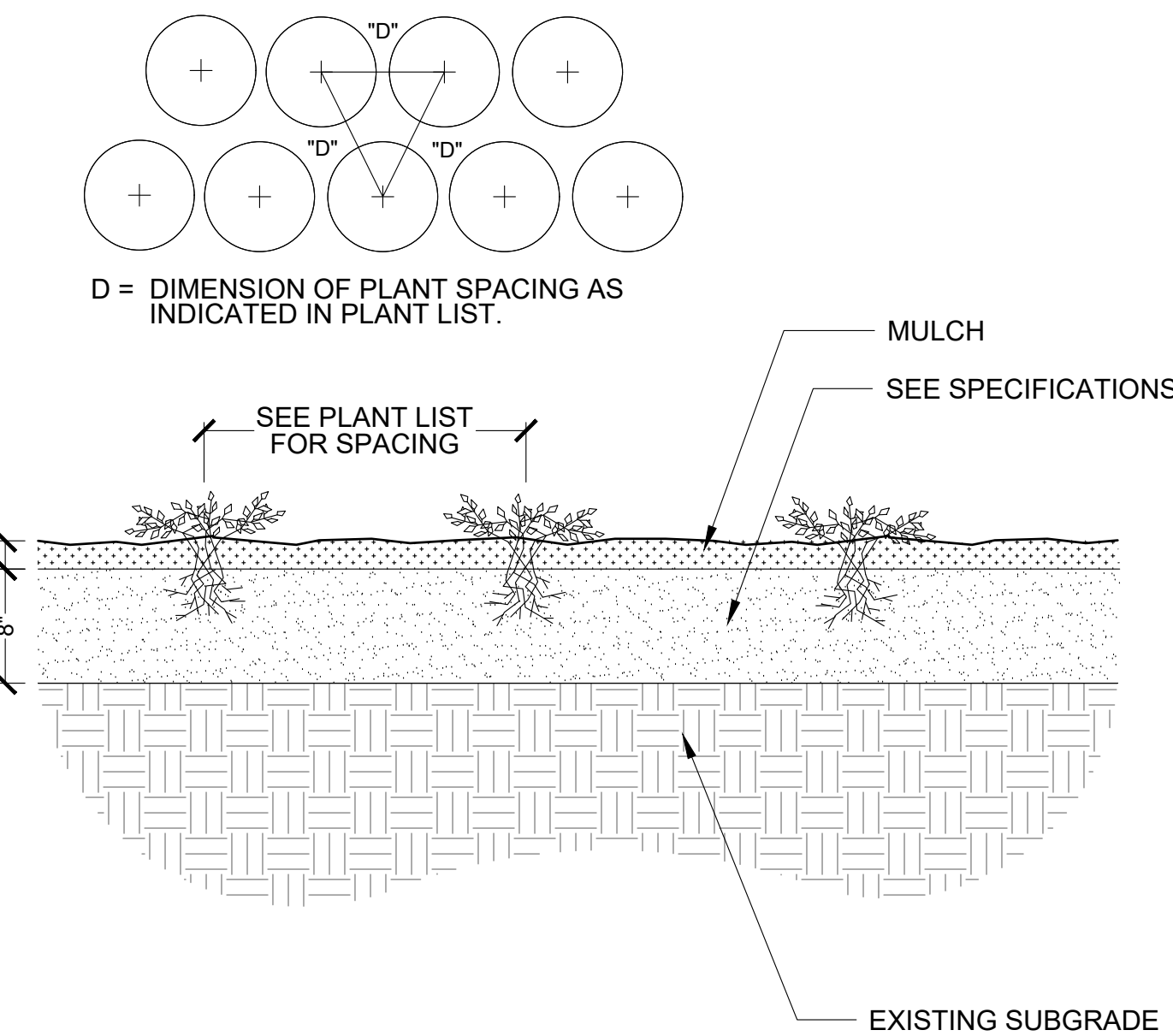
SEE NOTE 5, THIS SHEET

SEE NOTE 5, THIS SHEET

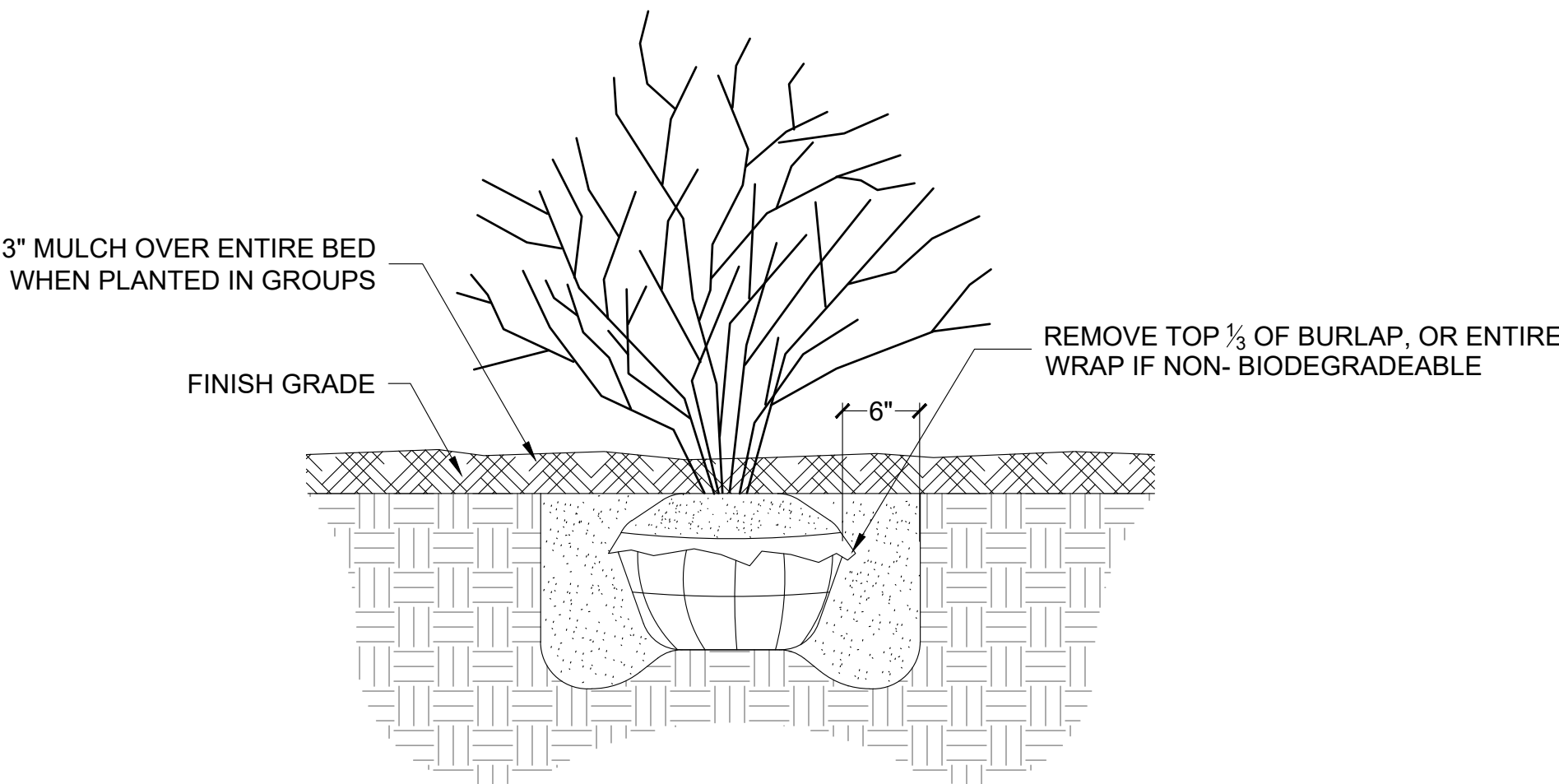
LANDSCAPE PLAN
1"=50'-0"



1 TREE PLANTING - TYPICAL
SCALE: NTS



2 GROUNDCOVER PLANTING - TYPICAL
SCALE: NTS



3 SHRUB PLANTING - TYPICAL
SCALE: NTS

QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPACING
Trees						
2	<i>Acer griseum</i>	Paperbark Maple		6'-7"	b&b	a.s.
32	<i>Amelanchier canadensis</i>	Serviceberry	1.5" min.	9'-11'	b&b	a.s.
33	<i>Celtis occidentalis 'Ultra'</i>	Ultra Hackberry	2" min.	11'-13'	b&b	a.s.
6	<i>Cercis canadensis</i>	Eastern Redbud	1.5" min.	9'-11'	b&b	a.s.
25	<i>Gleditsia triacanthos 'Street Keeper'</i>	Street Keeper Honeylocust	2" min.	11'-13'	b&b	a.s.
8	<i>Gymnocladus dioica 'Espresso'</i>	Espresso Kentucky Coffeetree	2" min.	11'-13'	b&b	a.s.
14	<i>Hamamelis virginiana</i>	Common Witch Hazel	1.5" min.	9'-11'	b&b	a.s.
2	<i>Nyssa sylvatica</i>	Black Tupelo	1.5" min.	9'-11'	b&b	a.s.
7	<i>Picea abies</i>	Norway Spruce		5'-6'	b&b	a.s.
34	<i>Pinus strobus</i>	White Pine		5'-6'	b&b	a.s.
11	<i>Platanus acerifolia 'Exclamation'</i>	Exclamation London Planetree	2" min.	11'-13'	b&b	a.s.
18	<i>Quercus bicolor</i>	Swamp White Oak	2" min.	11'-13'	b&b	a.s.
9	<i>Quercus macrocarpa</i>	Bur Oak	2" min.	11'-13'	b&b	a.s.
3	<i>Quercus macrocarpa 'Urban Pinnacle'</i>	Urban Pinnacle Bur Oak	2" min.	11'-13'	b&b	a.s.
3	<i>Tilia americana 'Redmond'</i>	Redmond Basswood	2" min.	11'-13'	b&b	a.s.
4	<i>Zelkova serrata 'Green Vase'</i>	Green Vase Japanese Zelkova	2" min.	11'-13'	b&b	a.s.

QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPACING
Shrubs						
34	<i>Cornus racemosa 'Huron'</i>	Huron Grey Dogwood			#2 cont.	a.s.
281	<i>Diervilla lonicera 'Michigan Sunset'</i>	Bush Honeysuckle			#2 cont.	36" o.c.
12	<i>Viburnum acerifolium</i>	Mapleleaf Viburnum			#2 cont.	a.s.

QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPACING
Grasses						
262	<i>Calamagrostis acutiflora 'Overdam'</i>	Feather Reed Grass			#1 cont.	36" o.c.
106	<i>Sporobolus heterolepis</i>	Prairie Dropseed			#1 cont.	24" o.c.

- NOTES:**
- ALL PLANT MATERIAL SHALL MEET THE SIZE REQUIREMENTS SPECIFIED IN THE TOWNSHIP ORDINANCE.
 - ALL PLANTING BEDS WITH ADJACENT LAWN AREAS SHALL HAVE A SHOVEL CUT EDGE.
 - SEE SPECIFICATIONS FOR INFORMATION REGARDING SOIL PREPARATION.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH A TRIPLE SHREDDED HARDWOOD BARK.
 - ALL PLANTINGS THAT OCCUR IN UNDISTURBED AREAS SHALL BE PLANTED WITH MINIMAL DISTURBANCE TO THE SURROUNDING AREAS.

Native Connections
17303 Hoehel Rd, Three Rivers, MI 49093
(P) 269.273.2894 • (F) 269.273.1367
info@nativeconnections.net
www.nativeconnections.net

Basic Shortgrass Prairie Mix

This is the economy version of our Dry Shortgrass Prairie Mix. Though the diversity and seed density are greatly reduced, this is a great starter prairie where a low stature on dry soils is needed or desired.

Total Seeding Rate: 31 lbs per acre
3.75 lbs grasses + 2.25 lbs forbs + 25 lbs native seeds per sq ft

Grasses	PLS Oz/acre	Seeds/lb ft
<i>Bouteloua curtipendula</i>	20.00	2.75
<i>Bromus kalmii</i>	4.00	0.73
<i>Elymus canadensis</i>	7.50	0.90
<i>Koeleria cristata</i>	0.25	1.15
<i>Schizanthium scoparium</i>	28.00	9.64
<i>Sporobolus heterolepis</i>	0.25	0.99
Total Grasses	60.00	15.27

Forbs	PLS Oz/acre	Seeds/lb ft
<i>Asclepias tuberosa</i>	0.50	0.05
<i>Aster ageratoides</i>	0.50	1.55
<i>Cirsium discoloratum (Chamaecrista f.)</i>	8.00	0.50
<i>Coreopsis lanceolata</i>	7.00	3.21
<i>Echinacea purpurea</i>	7.00	1.88
<i>Kuhnia eupatorioides</i>	0.60	0.44
<i>Monarda fistulosa</i>	0.50	0.80
<i>Penstemon digitalis</i>	0.50	1.49
<i>Petalostemum purpureum (Dalea p.)</i>	4.00	1.55
<i>Potentilla arguta (Dymocallis a.)</i>	0.50	2.64
<i>Ratibida pinnata</i>	0.75	0.48
<i>Rutbeckia hirta</i>	4.90	10.35
<i>Solidago rigida</i>	0.75	0.66
<i>Verticillium stricta</i>	0.60	0.39
Total Forbs	36.00	25.27

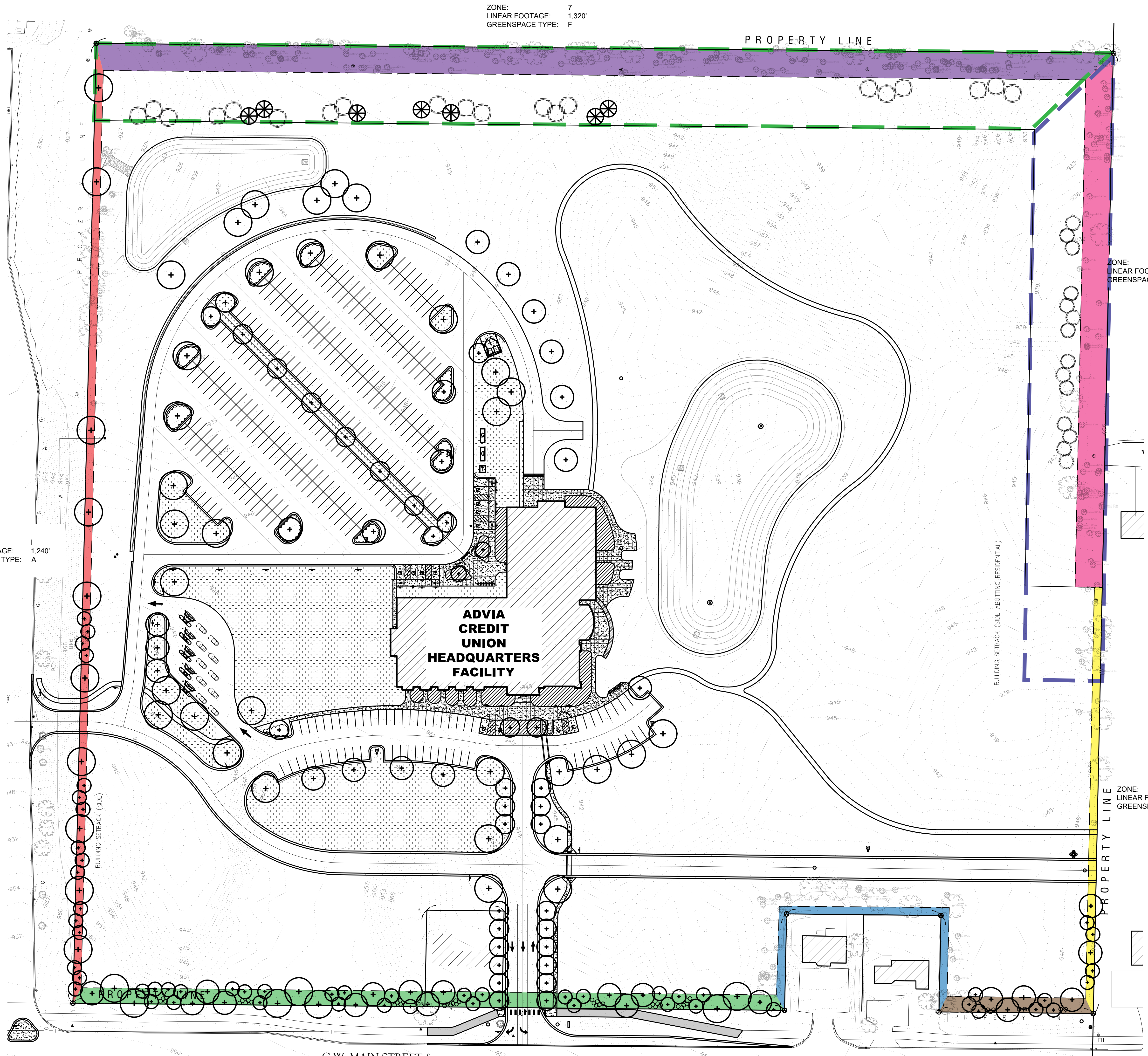
Temporary Grass Cover	Oz/acre	Seeds/lb ft
<i>Lolium multiflorum</i>	60.00	24.79
<i>Avena sativa</i>	200.00	7.35
Total Temp Grasses	400.00	32.14

NATIVE GRASS AND PERENNIAL SEED MIX

- 40 percent Kentucky bluegrass (*Poa pratensis*) – composed of 2 varieties.
- 40 percent perennial ryegrass (*Lolium perenne*) – composed of 2 varieties.
- 20 percent creeping red fescue – composed of 2 varieties.

TURF SEED MIX

ZONE: 7
LINEAR FOOTAGE: 1,320'
GREENSPACE TYPE: F



ZONE: 1
LINEAR FOOTAGE: 1,240'
GREENSPACE TYPE: A

ZONE: 6
LINEAR FOOTAGE: 695'
GREENSPACE TYPE: F

GREENSPACE REQUIREMENTS	
ZONE 1 - WEST	ADJACENT ZONING: COMMERCIAL LINEAR FOOTAGE: 1,240' GREENSPACE TYPE: A WIDTH OF GREENSPACE: 10' CANOPY TREES REQ'D / PROPOSED: 13 / 8 UNDERSTORY TREES REQ'D / PROPOSED: 25 / 16 SHRUBS REQ'D / PROPOSED: 0 / 0 EVERGREEN/CONIFER REQ'D / PROPOSED: 0 / 0 EXISTING TREE CREDITS: 25* * THE COMBINATION OF PROPOSED TREES AND EXISTING TREE CREDITS EXCEEDS THE REQUIREMENTS OF THE TOWNSHIP ORDINANCE FOR CANOPY AND UNDERSTORY TREES.
ZONE 2 - SOUTH	ADJACENT ZONING: ROAD LINEAR FOOTAGE: 920' GREENSPACE TYPE: C WIDTH OF GREENSPACE: 20' CANOPY TREES REQ'D / PROPOSED: 19 / 20 UNDERSTORY TREES REQ'D / PROPOSED: 28 / 28 SHRUBS REQ'D / PROPOSED: 37 / 37 EVERGREEN/CONIFER REQ'D / PROPOSED: -
ZONE 3 - SOUTH	ADJACENT ZONING: COMMERCIAL LINEAR FOOTAGE: 450' GREENSPACE TYPE: A WIDTH OF GREENSPACE: 10' CANOPY TREES REQ'D / PROPOSED: 5 / 0 UNDERSTORY TREES REQ'D / PROPOSED: 9 / 0 SHRUBS REQ'D / PROPOSED: 0 / 0 EVERGREEN/CONIFER REQ'D / PROPOSED: 0 / 0 EXISTING TREE CREDITS: 16* * THE COMBINATION OF PROPOSED TREES AND EXISTING TREE CREDITS EXCEEDS THE REQUIREMENTS OF THE TOWNSHIP ORDINANCE FOR CANOPY AND UNDERSTORY TREES.
ZONE 4 - SOUTH	ADJACENT ZONING: ROAD LINEAR FOOTAGE: 200' GREENSPACE TYPE: C WIDTH OF GREENSPACE: 20' CANOPY TREES REQ'D / PROPOSED: 4 / 4 UNDERSTORY TREES REQ'D / PROPOSED: 6 / 6 SHRUBS REQ'D / PROPOSED: 8 / 9 EVERGREEN/CONIFER REQ'D / PROPOSED: 0 / 0
ZONE 5 - EAST	ADJACENT ZONING: COMMERCIAL LINEAR FOOTAGE: 550' GREENSPACE TYPE: A WIDTH OF GREENSPACE: 10' CANOPY TREES REQ'D / PROPOSED: 6 / 2 UNDERSTORY TREES REQ'D / PROPOSED: 11 / 4 SHRUBS REQ'D / PROPOSED: 0 / 0 EVERGREEN/CONIFER REQ'D / PROPOSED: 0 / 0 EXISTING TREE CREDITS: 19* * THE COMBINATION OF PROPOSED TREES AND EXISTING TREE CREDITS EXCEEDS THE REQUIREMENTS OF THE TOWNSHIP ORDINANCE FOR CANOPY AND UNDERSTORY TREES.
ZONE 6 - EAST	ADJACENT ZONING: RESIDENTIAL LINEAR FOOTAGE: 695' GREENSPACE TYPE: F WIDTH OF GREENSPACE: 35' CANOPY TREES REQ'D / PROPOSED: 28 / 0 UNDERSTORY TREES REQ'D / PROPOSED: 14 / 0 SHRUBS REQ'D / PROPOSED: 126 / 0* EVERGREEN/CONIFER REQ'D / PROPOSED: 42 / 0* EXISTING TREE CREDITS: 83** * REQUIRED SHRUB AND EVERGREEN PLANTINGS CAN NOT OCCUR WITHIN THE 35' GREENSPACE ZONE DUE AN EXISTING 30' SEWER EASEMENT LOCATED ALONG THE PROPERTY LINE. ** THE COMBINATION OF PROPOSED TREES AND EXISTING TREE CREDITS EXCEEDS THE REQUIREMENTS OF THE TOWNSHIP ORDINANCE FOR CANOPY AND UNDERSTORY TREES.
ZONE 7 - NORTH	ADJACENT ZONING: RESIDENTIAL LINEAR FOOTAGE: 1,320' GREENSPACE TYPE: F WIDTH OF GREENSPACE: 35' CANOPY TREES REQ'D / PROPOSED: 53 / 0 UNDERSTORY TREES REQ'D / PROPOSED: 27 / 0 SHRUBS REQ'D / PROPOSED: 238 / 0* EVERGREEN/CONIFER REQ'D / PROPOSED: 80 / 0* EXISTING TREE CREDITS: 251** * REQUIRED SHRUB AND EVERGREEN PLANTINGS CAN NOT OCCUR WITHIN THE 35' GREENSPACE ZONE DUE AN EXISTING 30' SEWER EASEMENT LOCATED ALONG THE PROPERTY LINE. ** THE COMBINATION OF PROPOSED TREES AND EXISTING TREE CREDITS EXCEEDS THE REQUIREMENTS OF THE TOWNSHIP ORDINANCE FOR CANOPY AND UNDERSTORY TREES.
ZONE 8 - NORTH - 100' LANDSCAPE BUFFER	EVERGREEN/CONIFER REQ'D / PROPOSED: 14 / 14
ZONE 9 - NORTH - 100' LANDSCAPE BUFFER	EVERGREEN/CONIFER REQ'D / PROPOSED: 27 / 27

ZONE: 2
LINEAR FOOTAGE: 920'
GREENSPACE TYPE: C

ZONE: 3
LINEAR FOOTAGE: 450'
GREENSPACE TYPE: A

ZONE: 4
LINEAR FOOTAGE: 200'
GREENSPACE TYPE: C

NOTES

- A 100' BUFFER INCLUDING UNDULATING EARTH BERMS OF VARYING HEIGHTS IS REQUIRED WHERE ADJACENT R-1 AND R-2 ZONING EXISTS. A BUFFER OF EXISTING VEGETATION AND UNDULATING TOPOGRAPHY CURRENTLY EXISTS IN THESE LOCATIONS. THIS BUFFER ALSO REQUIRES PROPOSED EVERGREEN TREE PLANTINGS AT THE RATE OF 2 EVERGREEN TREES PER 100' LINEAR FEET. THESE EVERGREEN TREES SHALL BE PROVIDED IN ADDITION TO EVERGREEN TREES REQUIRED PER THE GENERAL ORDINANCE.
- ANY AREA DISTURBED BY CONSTRUCTION SHALL RECEIVE PLANTINGS OR BE SEEDED WITH TURF GRASS OR A NATIVE GRASS AND PERENNIAL MIX.
- ANY AREAS WITHIN THE GREENSPACE ZONE THAT ARE CLEARED OF EXISTING VEGETATION DURING CONSTRUCTION SHALL BE LANDSCAPED AT THE RATE SPECIFIED IN THE TOWNSHIP ORDINANCE.
- THE GREENSPACE AREA IN ZONE 4 CONTAINS NATIVE VEGETATION INCLUDING GRASSES, PERENNIALS AND SHRUBS. THESE AREAS SHALL REMAIN AND CARE SHALL BE TAKEN IN PLANTING ADDITIONAL SPECIFIED MATERIAL.
- THE GREENSPACE AREA AND ROAD RIGHT-OF-WAY IN ZONE 2 CONTAINS DENSE, TALL, INVASIVE VEGETATION WHICH IS TO BE REMOVED. THE ROAD RIGHT-OF-WAY SHALL BE SEEDED WITH MOOT ROADSIDE TURF MIX. THE GREENSPACE AREA SHALL BE PLANTED AS SHOWN AND SEEDED WITH A NATIVE MIX OF GRASSES AND PERENNIALS. NATIVE SEED MIX SHALL BE "BASIC SHORTGRASS PRAIRIE MIX BY NATIVE CONNECTIONS OR APPROVED EQUAL.
- THE GREENSPACE AREAS IN ZONE 6 AND ZONE 7 CONTAIN A SEWER EASEMENT THAT EXTENDS 30' FROM THE PROPERTY LINE. ALL PROPOSED PLANTINGS IN THESE GREENSPACE ZONES HAVE BEEN OMITTED TO ENSURE NO DAMAGE TO THE SEWER OCCURS AND TO PREVENT CLEARING OF NEWLY ESTABLISHED VEGETATION DURING SEWER MAINTENANCE.
- THE GREENSPACE AREAS IN ZONE 6 AND ZONE 7 CONTAIN EXISTING SHRUBS IN ADDITION TO THE SURVEYED TREES. SEE PHOTOS ON THIS SHEET FOR VISUAL REFERENCE OF EXISTING VEGETATION.
- TREE PLANTINGS IN OR AROUND ZONE 6 AND ZONE 7 ARE BEING PROPOSED IN AREAS OF EXISTING VEGETATION. TREE LOCATIONS MUST BE FIELD VERIFIED. ADJUSTMENTS DUE TO EXISTING VEGETATION WILL BE NECESSARY. CARE SHALL BE TAKEN WITH CONSTRUCTION IN THESE AREAS TO LIMIT DISTURBANCE TO EXISTING VEGETATION WHEREVER POSSIBLE.



GREENSPACE ZONE 6



GREENSPACE ZONE 7

ARCHITECTURAL KEYNOTES

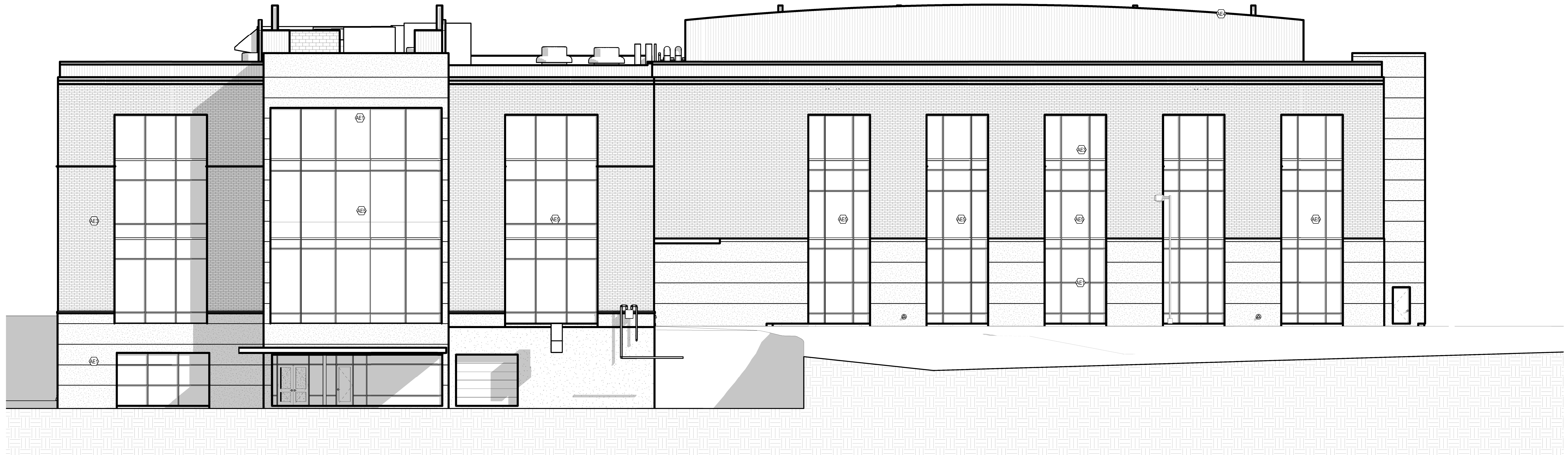
- AE1 LIMESTONE
- AE3 BRICK
- AE4 VERTICAL METAL PANEL SIDING
- AE5 ANODIZED ALUMINUM STOREFRONT SYSTEM

BYCE
 ENGINEERS ARCHITECTS
 487 PORTAGE STREET
 KALAMAZOO MI 49007
 CORPORATE@BYCE.COM
 WWW.BYCE.COM

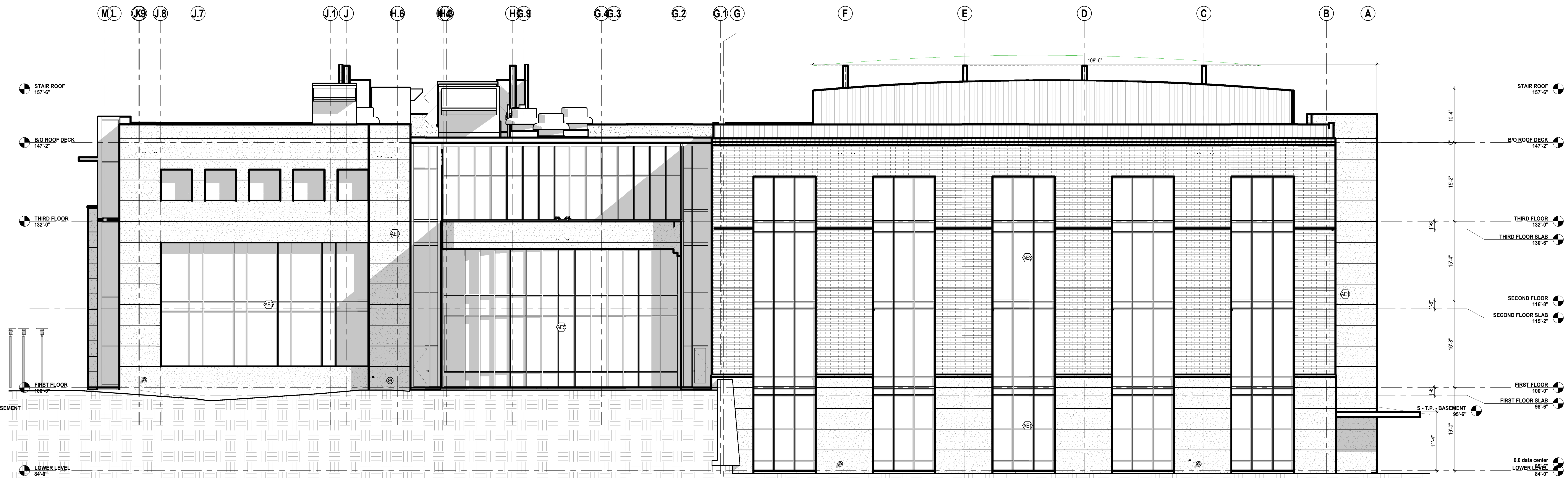
TEL: 269-381-6170
 FAX: 269-381-6176

GRANGER
 ARCHITECTURAL

advia
 credit union



1 NORTH ELEVATION
 1/4"=1'-0" SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 1/4"=1'-0" SCALE: 1/8" = 1'-0"

New Corporate Headquarters Facility for:
ADVIA CREDIT UNION
 6400 WEST MAIN ST. - KALAMAZOO, MI 49009

1700181
A600
 EXTERIOR ELEVATIONS

ARCHITECTURAL KEYNOTES

- AE1 LIMESTONE
- AE3 BRICK
- AE4 VERTICAL METAL PANEL SIDING
- AE5 ANODIZED ALUMINUM STOREFRONT SYSTEM

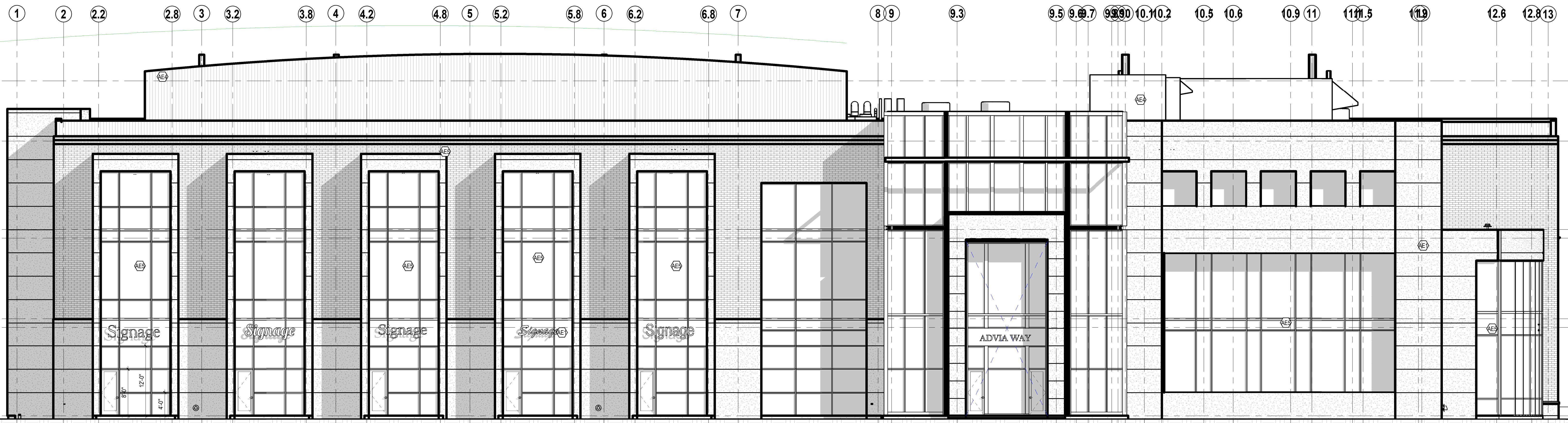
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 ENGINEERS ARCHITECTS
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 KALAMAZOO MI 49007
 CORPORATE@BYCE.COM
 WWW.BYCE.COM
 TEL: 269-381-6170
 FAX: 269-381-6176

GRANGER
 ARCHITECTS

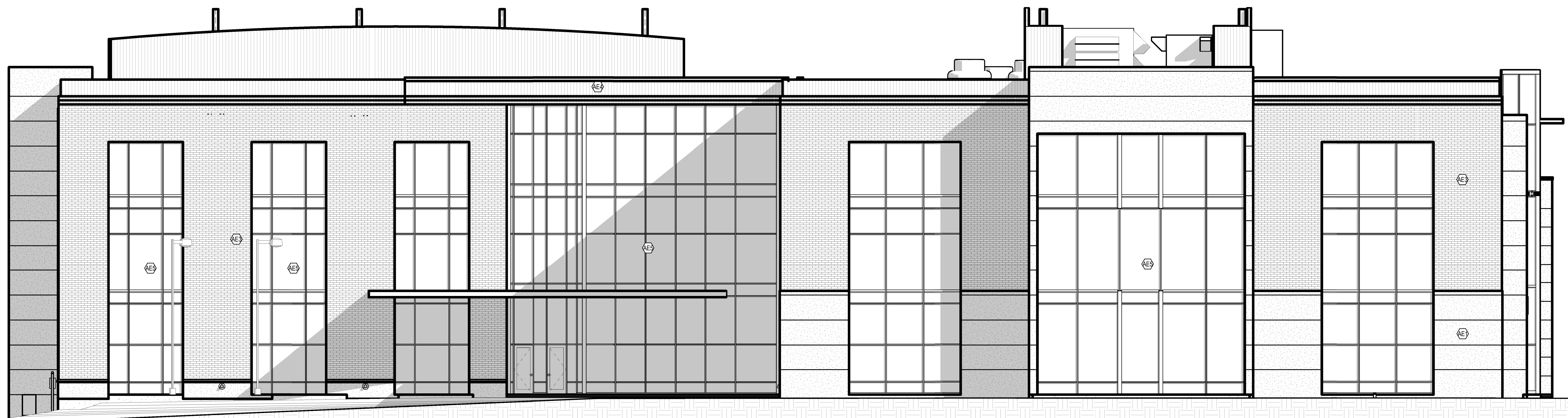
advia
 credit union

New Corporate Headquarters Facility for:
ADVIA CREDIT UNION
 6400 WEST MAIN ST. - KALAMAZOO, MI 49009

17100181
A601
 EXTERIOR ELEVATIONS

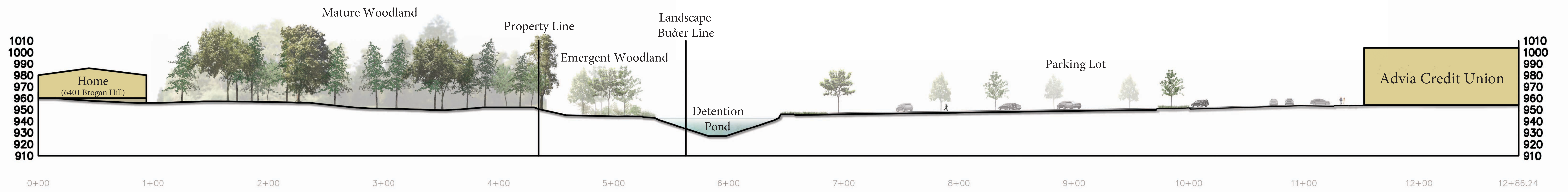


1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

BIM 360://Advia Credit Union Headquarters/17100181 Advia_CENTRAL_2019.rvt
 Pinned: 2/20/2019 3:47:33 PM By:



From: [Dusty Farmer](mailto:Dusty.Farmer)
To: [Julie Johnston](mailto:Julie.Johnston)
Subject: Fwd: [EmailDefender SPAM suspect] Advia Plans
Date: Thursday, February 21, 2019 5:25:40 PM

Sent from my iPhone

Begin forwarded message:

From: <rhdewit@charter.net>
Date: February 21, 2019 at 3:18:52 PM EST
To: "'dfarmer@oshtemo.org'" <dfarmer@oshtemo.org>
Cc: "'sia6409@gmail.com'" <sia6409@gmail.com>, "'libbyhc@oshtemo.org'" <libbyhc@oshtemo.org>, "'dbushtwp@oshtemo.org'" <dbushtwp@oshtemo.org>, "'deverett@oshtemo.org'" <deverett@oshtemo.org>, "'zford@oshtemo.org'" <zford@oshtemo.org>, "'khudok@oshtemo.org'" <khudok@oshtemo.org>
Subject: [EmailDefender SPAM suspect] Advia Plans

Dear Dusty:

Thank you for letting me look at the Advia plans just now. I appreciate the opportunity to see them, disappointing as it all is.

Since we made our comments at the last hearing and then sent additional comments to the board after the meeting, I would simply ask that the following be read into the minutes:

As the owner of the property at 6379 Brogan Hill and being unable to attend the meeting as I will be traveling, I would like to make the following four comments:

1. I would ask again that the residential nature of our area be respected by moving all of the Advia parking to the front of the building. Despite promises that West Main would not become another Westledge Ave, that ship has sailed. Recognizing that West Main is a major commercial drag now, it is completely fitting that the parking lot for the Advia facility be on the south side of the building as it is with every other commercial enterprise in the area. There is no reason to place the parking lot in the back of the building on a piece of property that was originally zoned as residential when we built our homes. All of us would be deeply appreciative of this simple change to keep the parking to the commercial side of the property consistent with the rest of West Main, and consistent with common sense. Our concerns about safety were expressed at the previous hearing and in writing; clearly they were ignored by Adviva, but I thought I'd ask again that the parking be kept to the West Main side of the project.
2. Based on my experience of working in large companies and running a business of 1450, or so, employees, the 424 (+/-) parking spaces that I counted on the plan seems excessive based on the size of the building. This fact also makes me

wonder if there are plans for additions to be made to the building. If yes, we they should be highlighted at this time for the sake of the promised transparency mentioned at the last hearing.

3. Recognizing the rather remarkable number of banks and credit unions in a very small area, please consider what the property may become in the future when consolidation is sure to occur. Another reason to move the parking to the front of the building is the uncertainty of what type of business will eventually be housed in this facility.

4. I'm hoping that the commission is considering a special tax assessment for the properties immediately adjacent to this project as they will decrease substantially in value as soon as the project begins.

Respectfully submitted,

Robert H. DeWit
6379 Brogan Hill
Kalamazoo, MI 49009

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From: [Dusty Farmer](#)
To: [Julie Johnston](#)
Subject: Fwd: [EmailDefender SPAM suspect] Re: Advia Plans
Date: Thursday, February 21, 2019 9:59:42 PM

Sent from my iPhone

Begin forwarded message:

From: Sanjay Amin <sia6409@gmail.com>
Date: February 21, 2019 at 8:30:41 PM EST
To: <rhdewit@charter.net>
Cc: "dfarmer@oshtemo.org" <dfarmer@oshtemo.org>, "libbyhc@oshtemo.org" <libbyhc@oshtemo.org>, "dbushtwp@oshtemo.org" <dbushtwp@oshtemo.org>, "deverett@oshtemo.org" <deverett@oshtemo.org>, "zford@oshtemo.org" <zford@oshtemo.org>, "khudok@oshtemo.org" <khudok@oshtemo.org>
Subject: [EmailDefender SPAM suspect] Re: Advia Plans

Dear Dusty and Libby

I fully support all of Rob's comments.

Further to that I would like to add that we were promised some kind of natural barrier between our properties and the new use of the commercial land. Large mounds with greenery as an example. This may reduce unwarranted entry and reduce noise pollution. Our quality of life in terms of pollution created by start up of so many cars will certainly be affected.

This was also requested for additional security and safety.

We want to be good neighbors (but this is a two way street).

Since we are not able to attend these meetings please put all of these comments on record.

Thank you

Sanjay Amin

6359 Brogan Hill

Kalamazoo MI 49009

Sanjay

Sent from my iPhone

Please excuse spelling errors