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**NOTICE
OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

REGULAR MEETING – VIRTUAL

Participate through this Zoom link:
<https://us02web.zoom.us/j/84347761497>

Or by calling: 1-929-205-6099
Meeting ID: 843 4776 1497

(Refer to the www.oshtemo.org Home Page or the third page of this packet for additional Virtual Meeting Information)

**THURSDAY, JANUARY 28, 2021
6:00 P.M.**

AGENDA

1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes: January 14th, 2021
5. **Public Hearing: Special Use, Jiffy Lube Multicare – Meijer Outlot (Amendment)**
Traditional Brand Development Partners, LLC, with consent from Meijer Corporation, is seeking to amend their Special Use and Site Plan approval from the Planning Commission to construct a 3,020 square foot Jiffy Lube vehicle service facility north of the existing Meijer Gas Station within the Meijer parking lot at 6660 W Main Street.
6. Public Comment
7. Other Updates and Business
8. Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email (oshtemo@oshtemo.org), walk-in visits, or by appointment.

b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)
(revised 5/14/2013)
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday 8:00 am- 5:00 pm, and on Friday 8:00 am-1:00 pm. Additionally, questions and concerns are accepted at all hours through the website contact form found at www.oshtemo.org, email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to oshtemo@oshtemo.org and it will be directed to the appropriate person.

Oshtemo Township Board of Trustees		
<u>Supervisor</u>		
Libby Heiny-Cogswell	216-5220	libbyhc@oshtemo.org
<u>Clerk</u>		
Dusty Farmer	216-5224	dfarmer@oshtemo.org
<u>Treasurer</u>		
Grant Taylor	216-5221	gtaylor@oshtemo.org
<u>Trustees</u>		
Cheri L. Bell	372-2275	cbell@oshtemo.org
Deb Everett	375-4260	deverett@oshtemo.org
Zak Ford	271-5513	zford@oshtemo.org
Ken Hudok	548-7002	khudok@oshtemo.org

Township Department Information		
<u>Assessor:</u>		
Kristine Biddle	216-5225	assessor@oshtemo.org
<u>Fire Chief:</u>		
Mark Barnes	375-0487	mbarnes@oshtemo.org
<u>Ordinance Enf:</u>		
Rick Suwarsky	216-5227	rsuwarsky@oshtemo.org
<u>Parks Director:</u>		
Karen High	216-5233	khigh@oshtemo.org
Rental Info	216-5224	oshtemo@oshtemo.org
<u>Planning Director:</u>		
Iris Lubbert	216-5223	ilubbert@oshtemo.org
<u>Public Works:</u>		
Marc Elliott	216-5236	melliott@oshtemo.org

Zoom Instructions for Participants

Before a videoconference:

1. You will need a computer, tablet, or smartphone with a speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. If you are going to make a public comment, please use a microphone or headphones with a microphone to cut down on feedback, if possible.
3. Details, phone numbers, and links to videoconference or conference call are provided below. The details include a link to “**Join via computer**” as well as phone numbers for a conference call option. It will also include the 11-digit Meeting ID.

To join the videoconference:

1. At the start time of the meeting, click on this link to [join via computer](#). You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

You may also join a meeting without the link by going to [join.zoom.us](#) on any browser and entering this **Meeting ID: 843 4776 1497**

If you are having trouble hearing the meeting or do not have the ability to join using a computer, tablet or smartphone then you can join via conference call by following instructions below.

To join the conference by phone:

1. On your phone, dial the toll-free teleconferencing number: **1-929-205-6099**
2. When prompted using your touchtone (DTMF) keypad, enter the Meeting ID number: **843 4776 1497#**

Participant controls in the lower-left corner of the Zoom screen:



Using the icons at the bottom of the Zoom screen, you can (some features will be locked to participants during the meeting):

- Participants – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand. **This will be used to indicate that you want to make a public comment.**
- Chat – opens pop-up screen that allows participants to post comments during the meeting.

If you are attending the meeting by phone, to use the “Raise Hand” feature **press *9 on your touchtone keypad.**

Public comments will be handled by the “Raise Hand” method as instructed above within Participant Controls.

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**OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

DRAFT MINUTES OF A VIRTUAL MEETING HELD JANUARY 14, 2021

Agenda

PUBLIC HEARING: SPECIAL USE – OUTDOOR DINING

SPECIAL USE APPROVAL TO PERMIT OUTDOOR DINING FOR JAC'S CEKOLA'S PIZZA AND LATITUDE 42 BREWING COMPANY, AND TO GRANT AUTHORITY TO THE OSHTEMO CHARTER TOWNSHIP PLANNING DEPARTMENT TO ADMINISTER AND GRANT SPECIAL USE PERMITS FOR OUTDOOR DINING LASTING MORE THAN ONE DAY TO ANY OTHER RESTAURANTS LOCATED IN OSHTEMO CHARTER TOWNSHIP DURING THE CURRENT PANDEMIC.

PUBLIC HEARING: CODE AMENDMENT – POOLS ON CORNER LOTS (FRONT YARD SETBACK)

CONSIDERATION OF AMENDMENTS TO THE TOWNSHIP ZONING ORDINANCE, FOR RECOMMENDATION TO THE TOWNSHIP BOARD THAT PROVIDES CLARIFICATION ON WHERE POOLS CAN BE PLACED ON A PROPERTY – SPECIFICALLY AS IT RELATES TO THE FRONT YARD.

PUBLIC HEARING: CODE AMENDMENT – CHILD AND ADULT CARE CENTERS

CONSIDERATION OF AMENDMENTS TO THE TOWNSHIP ZONING ORDINANCE, FOR RECOMMENDATION TO THE TOWNSHIP BOARD, TO ALLOW ALL PRIVATE AND PUBLIC SCHOOLS WITHIN OSHTEMO TO HAVE CHILD CARE CENTERS AS AN ACCESSORY USE. IN ADDITION, THE PROPOSED AMENDMENT WOULD ALLOW ADULT CARE CENTERS TO BE PERMITTED AS A PRIMARY USE WITHIN THE TOWNSHIP IN ALL ZONING DISTRICTS WHERE A CHILD CARE CENTER IS PERMITTED AS A PRIMARY USE.

NEW BUSINESS

- a. **Code Amendment Discussion: Permitted Uses on Legal Nonconforming Lots**

A virtual meeting of the Oshtemo Charter Township Planning Commission was held Thursday, January 14, 2021, commencing at approximately 6:01 p.m.

**ALL COMMISSION MEMBERS
WERE PRESENT:**

Bruce VanderWeele, Chair
Kizzy Bradford
Deb Everett
Micki Maxwell, Vice Chair
Alistair Smith
Anna Versalle
Chetan Vyas

Also present were Iris Lubbert, Planning Director, James Porter, Township Attorney, and Martha Coash, Recording Secretary.

Call to Order and Pledge of Allegiance

Chairperson VanderWeele called the meeting to order at approximately 6:02 p.m. and invited those in attendance to join in reciting the Pledge of Allegiance.

Approval of Agenda

Ms. Lubbert requested the agenda include appointment of a recording secretary under the "Election of Officers" item.

Hearing no further requests for change, Chairperson VanderWeele let the agenda stand as published with the requested addition.

Approval of the Minutes of the Meeting of December 10, 2020

The Chair asked if there were additions, deletions or corrections to the Minutes of the Meeting of December 10, 2020. Hearing none, he asked for a motion.

Ms. Versalle **made a motion** to approve the Minutes of the Meeting of December 10, 2020 as presented. Ms. Maxwell **seconded the motion**. The **motion was approved** unanimously by roll call vote.

Chairperson VanderWeele moved to the next agenda item.

COMMISSION ELECTIONS (CHAIR, VICE CHAIR, ZONING BOARD LIAISON)

Chairperson VanderWeele indicated 2021 appointments were needed for Chairperson, Vice Chair, Liaison to the Zoning Board of Appeals, and Recording Secretary.

Ms. Maxwell said she was willing to continue in her dual role as Vice Chair and Liaison to the Zoning Board of Appeals for 2021.

Mr. Smith **made a motion** to elect Ms. Maxwell to continue in the positions of Vice Chair and Liaison to the Zoning Board of Appeals. Mr. Vyas **seconded the motion**. The **motion was approved** unanimously by roll call vote.

Mr. VanderWeele indicated he was willing to continue as Chair for 2021.

Ms. Versalle **made a motion** to elect Mr. VanderWeele to continue in the position of Chair for 2021. Mr. Vyas **seconded the motion**. The **motion was approved** unanimously by roll call vote.

APPOINTMENT OF RECORDING SECRETARY

Mr. Vyas **made a motion** to appoint Ms. Martha Coash to continue in the position of Recording Secretary for 2021. Ms. Maxwell **seconded the motion**. The **motion was approved** unanimously by roll call vote.

Chairperson VanderWeele moved to the next item and asked Ms. Lubbert for her presentation.

PUBLIC HEARING: SPECIAL USE – OUTDOOR DINING SPECIAL USE APPROVAL TO PERMIT OUTDOOR DINING FOR JAC'S CEKOLA'S PIZZA AND LATITUDE 42 BREWING COMPANY, AND TO GRANT AUTHORITY TO THE OSHTEMO CHARTER TOWNSHIP PLANNING DEPARTMENT TO ADMINISTER AND GRANT SPECIAL USE PERMITS FOR OUTDOOR DINING LASTING MORE THAN ONE DAY TO ANY OTHER RESTAURANTS LOCATED IN OSHTEMO CHARTER TOWNSHIP DURING THE CURRENT PANDEMIC.

Ms. Lubbert reported Jac's Cekola's Pizza, 3112 S. 9th Street and Latitude 42 Brewing Company, 6101 W. Main Street were seeking permission to cover their existing outdoor patio areas in order to offer sheltered outdoor dining at their establishments. It was recently brought to staff's attention that both restaurants installed temporary tents/coverings without proper permits or approval from the Township. Both establishments were unaware that tents are considered structures by the Township Ordinance and as such require review and approval. Both businesses seek to comply and would like to be able to continue to offer sheltered outdoor dining throughout the remainder of the pandemic. Outdoor temporary dining spaces fall into the temporary outdoor events category which is considered a Special Use within Oshtemo's zoning ordinance. Special Uses require review and approval by the Planning Commission – a process that can take up to two months. The longer timeframe dictated by the code for this type of review is unnecessarily burdensome for these establishments in this time of need. Staff is requested the Planning Commission grant both Cekola's Pizza and Latitude 42 Brewing Company permission for their covered outdoor dining areas and grant authority to the Oshtemo Charter Township Planning Department to administer and grant special use permits for outdoor dining lasting more than one day to any other restaurants, bars, or similar establishments located in Oshtemo Charter Township during the current Pandemic.

She explained as a response to COVID-19 and in an effort to limit its spread, Governor Whitmer and the Michigan Department of Health and Human Services have instituted a number of Orders which require activities not necessary to sustain or protect life to be restricted at varying degrees. In effect, many business owners are no longer able to generate revenue as before, which negatively impacts their cash flows and ability to continue operations and pay employees. Restaurants, bars, and similar establishments across the United States are especially being affected by these restrictions as they are being permitted to only operate at reduced capacities. In an effort to offset the mandated reduction to the indoor occupancy loads many of these establishments are looking for ways to convert outdoor spaces into temporary seating

for outdoor dining. Jac's Cekola's Pizza and Latitude 42 Brewing Company are both such establishments.

She noted temporary outdoor events lasting more than one day are identified as Special Uses within the Oshtemo Ordinance. Special Uses require review and approval of the Planning Commission (Section 64.20). When reviewing a Special Use there are two sets of criteria need to be considered: the general Special Use review criteria outlined in Section 65.30 and the specific requirements for the use in question outlined under Section 49.260. Both restaurants are permitted uses within their districts and have existing patio spaces where they propose to temporarily, throughout the Pandemic, to be able to install tents to allow sheltered, year-round outdoor dining. The requested Special Use is incidental to the existing restaurants and consistent with the purpose and intent of the Master Plan and Zoning Districts in which the properties are located.

Ms. Lubbert said both requests are consistent with the Special Use Criteria requirements and noted the Fire Marshal has inspected both installations and had no issues with them.

She recommended the Planning Commission:

1. Grant both Jac's Cekola's Pizza and Latitude 42 Brewing Company permission for their proposed Special Use - Temporary Outdoor Event which would allow them to offer covered outdoor dining areas throughout the current Pandemic.
2. Grant authority to the Oshtemo Charter Township Planning Department to administer and grant Special Use permits for outdoor dining lasting more than one day to any other restaurants, bars, or similar establishments located in Oshtemo Charter Township during the current Pandemic.

After Chairperson VanderWeele determined there were no questions from Commissioners, he opened a Public Hearing for comments. Hearing none, he closed the hearing and moved to Board Deliberations.

Ms. Maxwell wondered what the criteria would be to determine when the pandemic is over.

Attorney Porter indicated it would be safe to assume the pandemic is considered over for this purpose when state authorities allow restaurants to open with no restrictions.

Mr. Vyas expressed surprise it took this long to make these provisions, hopes the restaurants can open soon, and felt there is a need to be more proactive in the future.

Ms. Bradford asked whether the outdoor areas will meet State mandates.

Attorney Porter said the owners are responsible for complying with State requirements. Staff reviewed anything for which the Township would be responsible.

Mr. Vyas felt that should be clear in the motion to approve the request.

Chairperson VanderWeele asked if the two requests for approval required two motions.

Attorney Porter indicated two motions would be appropriate.

The Chair moved to Public Hearing for comments from the public.

Mr. Walt Hanson wondered what would be wrong with granting the requesters permanent approval for outdoor dining if they meet all criteria.

Ms. Lubbert noted the two restaurants already have that permission. It is the addition of the tents, which is temporary, that is under consideration and needs review. She noted that if they wanted to extend their use of the tents they could request an extension at the end of the pandemic. She also noted that if the restaurants wanted to add permanent structures to facilitate outdoor dining year round they could apply through the site plan amendment process.

Hearing no further comments, Chairperson VanderWeele closed the hearing and asked for two motions.

Ms. Versalle **made a motion** to grant both Jac's Cekola's Pizza and Latitude 42 Brewing Company permission to offer covered outdoor dining areas until the current pandemic restrictions are lifted by the State and as long as they meet all requirements for outdoor dining during that time. Mr. Vyas **seconded the motion**. The **motion was approved** unanimously by roll call vote.

Ms. Versalle **made a motion** to grant authority to the Oshtemo Charter Township Planning Department to administer and grant Special Use permits for outdoor dining areas until the current pandemic restrictions are lifted by the State and as long as they meet all requirements for outdoor dining during that time. Mr. Vyas **seconded the motion**. The **motion was approved** unanimously by roll call vote.

The Chair moved to the next agenda item and asked Ms. Lubbert for her report.

PUBLIC HEARING: CODE AMENDMENT – POOLS ON CORNER LOTS (FRONT YARD SETBACK)
CONSIDERATION OF AMENDMENTS TO THE TOWNSHIP ZONING ORDINANCE, FOR RECOMMENDATION TO THE TOWNSHIP BOARD THAT PROVIDES CLARIFICATION ON WHERE POOLS CAN BE PLACED ON A PROPERTY – SPECIFICALLY AS IT RELATES TO THE FRONT YARD.

Ms. Lubbert presented amendments to the Township Zoning Ordinance for

consideration, approval and recommendation to the Township Board, to provide clarification on where pools can be placed on a property – specifically as it relates to the front yard.

She said on November 17th the Zoning Board of Appeals reviewed a variance request to permit an in-ground pool to protrude 20 feet into the required 30-foot front yard setback. The property in question, 5359 Sweet Briar Drive, is a small corner lot located within Rose Arbor plat No. 2. After review and discussion, the Zoning Board of Appeals approved the request. She provided a copy of the related staff report and draft meeting Minutes. This was not the first variance approved to allow an in-ground pool to protrude into a corner lot's front yard. However, she said it should be noted that this variance was the first of its type approved under the current setback code adopted in 2011. As a result of this meeting, the Zoning Board of Appeals requested that a request be sent to the Planning Commission to consider an update to the code that provides some flexibility to in-ground pools on corner lots.

She explained the current setbacks for pools are outlined in section 50.60 Setback Provisions of the code. In this section, pools are given a side yard setback of 10 feet and a rear yard setback of 15 feet. As the code sets forth a side and rear setback for pools but does not mention a front setback, the generally accepted interpretation is that no pools are permitted in front of a house. However, corner lots, as they have frontage on two streets, have two front yards. Assuming the house is built up to the two 30-foot front yard setbacks, this means that, a 30-foot front setback is required for a potential pool along each street frontage (at minimum to line up with the house). This is a larger setback area than is required of properties not located on a corner, where only a 10 foot side yard setback is required. This means usable rear yard space is reduced at least by approximately 20 feet along the corner lots' side with street frontage. The Zoning Board of Appeals felt this unique hardship of corner lots should be taken into consideration and in-ground pools should be treated differently than is the standard primary or accessory structure. Public comments received were all in support of the variance request.

This proposed code amendment was introduced to the Planning Commission at their regular December 10th, 2020 meeting. After discussion the Commission unanimously approved forwarding the proposed text to a Public Hearing.

Ms. Lubbert said, based on input from the Zoning Board of Appeals and past precedence of approved pools within Oshtemo Township, staff and legal counsel recommended a code amendment to provide additional guidance and flexibility for pools on corner lots. It includes adding a definition of a corner lot, differentiating between what is considered a corner lot's front and side street frontage, and allowing a 10 foot front yard setback for in-ground pools on corner lots in subdivisions or site condominiums if it is along the 'Side Street Frontage' of the lot, provides the required fencing, and is screened from the road with landscaping. This proposed amendment also clearly notes that any other pools are not permitted in a front yard.

Chairperson VanderWeele thanked Ms. Lubbert for her presentation and asked if Commissioners had questions for her.

There were several questions about required landscaping and fencing.

Attorney Porter indicated fencing requirements are part of Fence Safety in the Building Code and that the Zoning Board or appeals did not feel the fence requirement was enough by itself. Whatever it would take to screen the pool from the road from both sides is what would be required.

The Chair opened a public hearing, but hearing from no one, closed the meeting and moved to Board Deliberations.

Mr. Vyas felt the proposed amendments were reasonable and would allow someone to build a pool as long as protocol is followed.

Hearing no further comments, Chairperson VanderWeele asked for a motion.

Ms. Versalle **made a motion** to approve the proposed amendments to the Township Zoning Ordinance to provide clarification regarding where pools can be placed on a property – specifically as it relates to the front yard, and to refer them to the Township Board for consideration. Ms. Maxwell **seconded the motion**. The **motion was approved** unanimously by roll call vote.

PUBLIC HEARING: CODE AMENDMENT – CHILD AND ADULT CARE CENTERS

CONSIDERATION OF AMENDMENTS TO THE TOWNSHIP ZONING ORDINANCE, FOR RECOMMENDATION TO THE TOWNSHIP BOARD, TO ALLOW ALL PRIVATE AND PUBLIC SCHOOLS WITHIN OSHTEMO TO HAVE CHILD CARE CENTERS AS AN ACCESSORY USE. IN ADDITION, THE PROPOSED AMENDMENT WOULD ALLOW ADULT CARE CENTERS TO BE PERMITTED AS A PRIMARY USE WITHIN THE TOWNSHIP IN ALL ZONING DISTRICTS WHERE A CHILD CARE CENTER IS PERMITTED AS A PRIMARY USE.

Chairperson VanderWeele asked Ms. Lubbert for her presentation.

Ms. Lubbert said late last year the Planning Commission reviewed a conditional rezoning request that asked to rezone a property to a higher intensity in order for the site to have a Child Care Center. Although the rezoning request was denied as it was considered spot zoning, the topic of Child Care Centers piqued both the Planning Commission's and Public's interest. There was a general agreement that child care options are important and more flexibility is needed to allow for more of this type of service. Planning Staff was asked to review the code and see if there was a way to appropriately allow for more Child Care Centers in Oshtemo.

Coincidentally, she said, around the same time as the rezoning discussion, a site

plan for initial discussion was submitted to staff that entailed an Adult Care Center. After reviewing the code, staff found it was unclear where and if this use was permitted. After discussion with legal counsel it was determined this use is comparable to a Child Care Center and that a code amendment would be appropriate. For the sake of efficiency, staff incorporated language to address deficiencies in the code regarding Adult Care Centers with the proposed Child Care Center code amendment discussion.

This proposed code amendment was introduced to the Planning Commission at their regular December 10th, 2020 meeting. After discussion the Commission unanimously approved forwarding the proposed text to a Public Hearing. She provided the following background:

Child Care Centers: There are three different intensities of child care uses that are permitted by the code within Oshtemo: Family day care home (allowing up to 6 children), Group day care home (allowing up to 12 children), and Child Care Center (with no defined maximum number of children permitted). All three of these uses provide child care for periods less than 24 hours a day. Family day cares and Group day cares are permitted in all agricultural and residential zoning districts. This is appropriate as they are small in scale, are required to utilize private residential residences, and must preserve the residential character of the area. Child Care Centers are allowed in the R-3, Residence zoning district and higher. This is appropriate as they are more institutional in scale and nature. Child Care Centers are often equated to a commercial/office type use. Staff and legal counsel believe the current placement of these three types of child care uses is appropriate and would not recommend altering the current groupings or placements in the code.

However, she said the rezoning request that brought this topic to the forefront was unique as the site in question was a large church (CenterPoint) with a private preschool. In this case the facility already has accepted characteristics that stand out from a standard low-density residential area: large parking area, large nonresidential building, obvious traffic flow, and the regular presence of children onsite. One of the comments that residents in support of the rezoning kept bringing up was their desire to have one location where they could drop off their children for the day. Given the nature of public and private schools, staff does not see a reason why schools could not also support a Child Care Center. With the scale of schools, current services provision to children, site design/layout, general appropriateness in residential areas, and already established traffic patterns - allowing Child Care Centers at these sites as an accessory use is logical. The addition of a Child Care Center to a school would have little to no negative impact on the surrounding residences. The proposed text amendment would allow all private and public schools in Oshtemo to have Child Care Centers as an accessory use.

Adult Care Centers: Adult Day Care Centers are non-residential facilities, properly registered or licensed with the State, that support the health, nutritional, social, and daily living needs of adults in a professionally staffed group setting for periods less than 24 hours a day. These facilities typically provide adults with transitional care and short-term rehabilitation following hospital discharge. Currently in the code the only area that lists Adult Care Centers as an allowed use is the - Neighborhood Overlay Zone (Article 37).

In this Overlay “Child or Adult day care centers” are special uses. It should be noted no areas of Oshtemo are currently part of this overlay (staff will do research on this at a later date). Adult Care Centers are comparable to Child Care Centers – the only significant difference is that they are providing care for a different age group. Both planning staff and legal counsel recommend allowing Adult Care Centers as a primary use in the same zoning districts as Child Care Centers.

Other: In addition to the above code amendments, staff recommended adding and amending some definitions in the code to help clarify the purpose of Child Care Centers and Adult Care Centers. These proposed definitions are included in the proposed text amendment document.

The Chair asked if there were questions for Ms. Lubbert.

Mr. Vyas asked whether adults and children could be cared for in the same facility.

Attorney Porter indicated there is no requirement for separate facilities as long as the State requirements for both uses are met.

Chairperson VanderWeele opened the meeting for public comment. Hearing none, he moved to Board Deliberations.

Mr. Vyas wondered how the code amendments would affect last year’s CenterPoint Church request and denial for a child care center.

Ms. Lubbert indicated their rezoning was denied for multiple reasons. Once this ordinance amendment is adopted, they could apply for a child care center under a special use request.

Attorney Porter said they would need to return with a request under the new criteria.

Chairperson VanderWeele asked for a motion.

Mr. Vyas **made a motion** to approve and forward to the Township Board, the proposed code amendments to the Township Zoning Ordinance to allow all private and public schools within Oshtemo to have child care centers as an accessory use and allow adult care centers to be permitted as a primary use within the Township in all zoning districts where a child care center is permitted as a primary use. Ms. Everett **seconded the motion**. The **motion was approved** unanimously by roll call vote.

NEW BUSINESS

a. Code Amendment Discussion: Permitted Uses on Legal Nonconforming Lots

Ms. Lubbert provided background and a draft of amendment language to the code addressing Permitted Uses on Legal Nonconforming Lots in order to clarify some language, and asked Commissioners to discuss the proposed language and provide feedback to staff.

She said Planning Staff was recently approached by an individual who wished to build a medical office on a legal nonconforming parcel within a R-3 Residence District. A medical office is considered a special use within the R-3 Residence District. What can be built on any legal nonconforming parcel, lot, or building site is outlined in Section 63.20 of the Oshtemo Ordinance. Currently the language reads that “permitted uses of the zoning district” are allowable on these types of properties. There are three categories of uses outlined in the code: permitted uses, permitted uses with conditions, and special uses. Both the Planning Department’s and Legal Counsel’s interpretation of Section 63.20 is that only the uses outlined under the “permitted uses” and “permitted uses with conditions” categories of a zoning district would be allowed on legal nonconforming properties. This means a special use, i.e. the requested medical office, would not be permitted on the legal nonconforming lot in question. However, after additional research and discussion, the Planning Department and Legal Counsel determined this interpretation is not the intent of the code. In this case the use of the word “permitted” actually meant “allowed”, given the context - an instance of poor wording. She recommended the Planning Commission consider the proposed amendment to clarify that special uses may be built on legal nonconforming properties.

Proposal:

To avoid future confusion and provide clear direction, staff is recommending the following change, in red, to Section 63.20 of the Oshtemo Ordinance:

“In any zoning district, notwithstanding limitations imposed by other provisions of this Ordinance, where a nonconforming lot, parcel or building site of record, lawful at the time of its creation, fails to meet the requirements for minimum area, minimum width, minimum frontage or exceeds the allowable depth to width ratio of 4 to 1, such lot, parcel or building site may be used for the permitted uses, **permitted uses with conditions, or special uses** of the zoning district, provided that all other applicable minimum requirements are met.” Section 63.20 Nonconforming Parcels, Lots or Building Sites.

The Chair asked whether there were questions for Ms. Lubbert.

Ms. Maxwell asked if nonconforming lots pertained only to setbacks or something else, like usage.

Ms. Lubbert clarified that there are different types of nonconforming uses, this

change applies only to uses permitted on legal nonconforming lots (example a lot with an area or width that does not meet the minimum requirements of the code). Per the language already existing in this section of the code, anything built there has to meet all other requirements; no variance can be granted. A medical office would have to meet current setbacks. The proposed language will make the intention clearer and remove inconsistency, eliminating the need for interpretation.

Attorney Porter added that the current language defines permitted uses only; the proposed language defines permitted uses with conditions or special uses and defines both terms. This language will be used only for lots that were legally created prior to the adoption of the Ordinance.

Hearing no further questions, the Chair asked for a motion.

Ms. Versalle **made a motion** to approve and send to public hearing at the Planning Commission meeting scheduled for February 11, 2021, the proposed code text amendment to Township Zoning Ordinance 63.20. Ms. Maxwell **seconded the motion**. The **motion was approved** unanimously by roll call vote.

PUBLIC COMMENT

Chairperson VanderWeele determined there were no members of the public wishing to speak and moved to the next agenda item.

OTHER UPDATES AND BUSINESS

Ms. Lubbert and Commissioners welcomed the two new members of the Planning Commission, Ms. Deb Everett and Mr. Alistair Smith.

Ms. Maxwell asked about the status of the “to do” list approved by the Commission at the beginning of 2020.

Ms. Lubbert said she would resend the list so Commissioners could look again at the priorities established for discussion. She noted permission was granted to hire a consultant.

ADJOURNMENT

With there being no further business to consider, Chairperson VanderWeele adjourned the meeting at approximately 7:03 p.m.

Minutes prepared:
January 15, 2021

Minutes approved:
_____, 2021

DRAFT

January 21, 2021



Mtg Date: January 28, 2021

To: Oshtemo Township Planning Commission

From: Iris Lubbert, Planning Director

Applicant: Christopher Eberhart, Traditional Brand Development Partners, LLC

Owner: Meijer Corporation

Property: 6660 W Main Street, Parcel numbers 05-14-185-022

Zoning: C: Local Business District

Request: Site Plan and Special Use approval amendment to construct a new vehicle service facility

Section(s): 18: C Local Business District
65: Special Uses

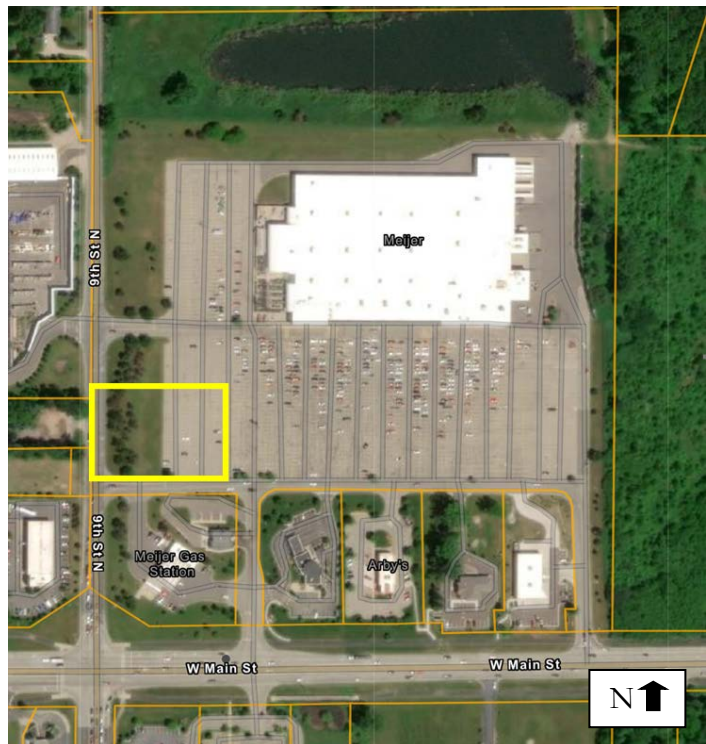
Project Name: Jiffy Lube Multicare – Meijer Outlot

PROPOSAL:

Traditional Brand Development Partners, LLC, with consent from Meijer Corporation, is seeking to amend their Special Use and Site Plan approval from the Planning Commission to construct a 3,020 square foot Jiffy Lube vehicle service facility north of the existing Meijer Gas Station within the Meijer parking lot at 6660 W Main Street. The approximate project area under consideration is outlined in yellow in the map excerpt to the right.

OVERVIEW:

6660 W Main Street is currently owned by Meijer Corporation. The intent is to split 1.4 acres from the site to allow for the construction of a 3,020 square foot Jiffy Lube multicare vehicle service facility. A land division application will be submitted and the property transferred to Traditional Brand Development Partners, LLC prior to building permit issuance. The original plans were



approved by the Planning Commission at their July 30th, 2020 regular meeting, the applicant has since redesigned the site’s layout and is requesting an amendment to their approved site plan.

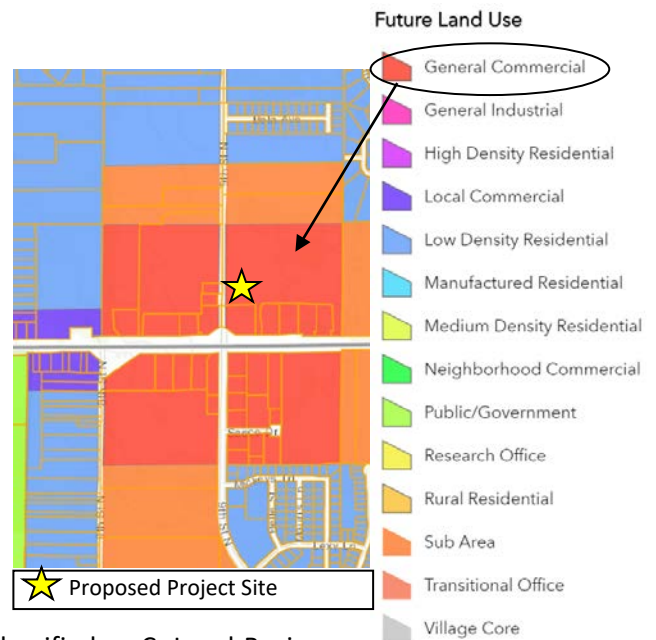
ANALYSIS:

The entirety of the property in question is zoned C, Local Business District. Uses permitted in the C zoning district are outlined in Article 18 of the Township’s Zoning Code. Filling stations, carwashes, public garages or service stations, excluding auto body and auto paint shops are identified as Special Uses within this section. New construction of a Special Use requires the review and approval of the Planning Commission (Section 64.20). When reviewing a Special Use there are two sets of criteria that need to be considered: the general Special Use review criteria outlined in Section 65.30 and the specific requirements for the use in question outlined under Section 49.70. In this case, Section 49.70 does not apply as the code does not contain any specific requirements for this use. Below is an analysis of the proposal against Section 65.30. Details on the proposed changes to the previously approved site plan are noted in red.

Section 65.30: Special Use Review Criteria

- A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.**

Oshtemo’s adopted Future Land Use map shows the property in question within a General Commercial area, see map to the right. The intent for the General Commercial areas is to “serve both the residents of the community as well as the regional market and transient customers. Uses like big box retail, shopping centers, and auto-oriented uses would be permitted in this district” (Oshtemo Township Master Plan Update, page 69). This area is intended for high density development. The proposed vehicle service facility meets this intent.



From a zoning standpoint, the subject property is classified as C: Local Business District, within which vehicle service facilities are permissible with Special Use approval from the Planning Commission.

- B. Site Plan Review: The Site Plan Review Criteria of Section 64**

A site plan has been provided. See evaluation under Section 64: Site Plan Review.

- C. Impacts:**

- 1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

Other uses in the surrounding C zoning district include Meijer, Meijer Express Gas Station, OMNI Community Credit Union, Arby’s, Flagstar Bank, AutoZone Auto Part, Bell Tire,

McDonalds, Pizza Hut, D’Nicio’s Parlour, On Target Guns & gunsmithing, Hockey Services, and Menards. With two other vehicle service facilities already established in the area and this use being in accordance with both the Master Plan and the Zoning Ordinance, staff has no concerns that the proposed use will negatively affect neighboring uses.

2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.

Staff does not foresee a significant impact of the proposed use on neighboring properties. The proposed site plan provides the required parking, exceeds minimum setbacks, and will provide landscaping.

It could be argued that this use utilizes an underused portion of this development, which if constructed would positively impact the overall area. The site in question is currently a portion of Meijer’s parking lot which rarely sees use. Meijer will be giving up 114 stalls to the proposed Jiffy Lube site. Based on Meijer’s approved site plan 1,255 parking spaces are needed to support it. The site currently has 1,456 stalls – 119% of the minimum parking space requirement. If the proposed site plan is approved Meijer would have 1,342 stalls remaining – 107% of the minimum parking space requirement. To minimize excessive areas of pavement which detract from the aesthetics of an area and contribute to high rates of storm water runoff, Oshtemo’ off street parking code only allows parking lots to have parking spaces totaling no more than 110% of the minimum parking space requirements, unless otherwise approved by the reviewing body (Section 52.50 (H)). This proposal would bring Meijer’s into compliance with the current code and improve on the aesthetics of the area.

3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.

Staff anticipates that the proposed expansion of the gas station will have no such negative impacts on adjacent properties. In terms of traffic, the proposed site plan does not introduce a new curb cut on N 9th Street but will utilize the two existing interior access drives. This approach will greatly mitigate any potential traffic disruptions to the current flow of the area. However, the two existing driveways to 9th Street currently have inadequate pavement markings. With the proposal of a new parcel and increased usage, the Township will require an update to the pavement markings to help with traffic control and safety - the outside right turn lane will be turned into a right or through lane.

It should be noted that due to the nature of the proposed use, oils and fluids from the serviced automobiles will need to be drained and stored. The oil and other fluids will not be disposed on the land, but rather stored in a steel tank until a truck picks up the waste oil regularly (monthly estimate) and removes it. Oils and fluids from automobiles are considered hazardous. An Environmental Permits Checklist and the Hazardous Substance Reporting Form is required from the applicant.

D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.

The proposed project area is already paved; no natural features will be disturbed as a part of these modifications.

E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.

This property is already adequately served by public utilities and the proposed expansion would add little to no burden to the system. However, the retention pond that currently services Meijer's, that this development would connect to, has failed and needs to be fixed. The applicant has been working with Meijer and Township Staff to address this issue. Meijer is currently working on an agreement that outlines how this problem will be addressed. There is an understanding that at minimum Meijer's agreement will be reviewed and approved by the Township Engineer and entered into prior to a building permit being issued for the proposed Jiffy Lube project.

F. Specific Use Requirements: The Special Use development requirements of Article 49.

Article 49 of the Zoning Ordinance dictates no specific considerations for vehicle service facilities.

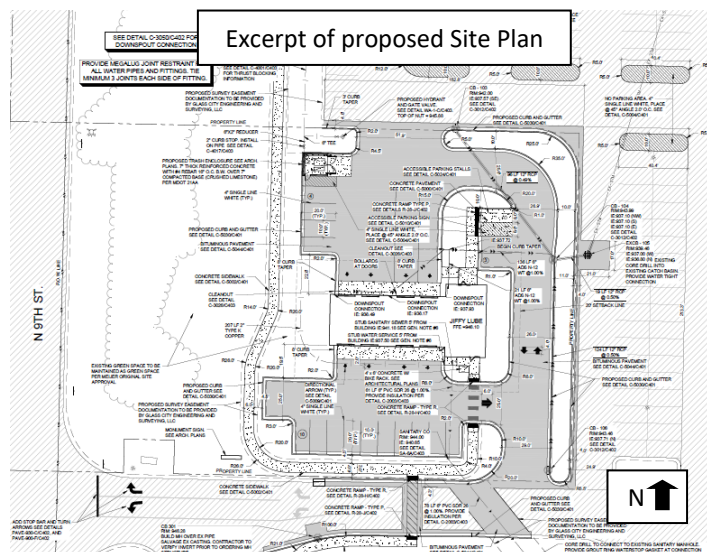
Section 64: Site Plan Review

General Zoning Compliance:

Zoning: 6660 W Main Street is zoned C, Local Business District. All properties surrounding this proposed new site are also within the C District. The proposed vehicle service facility is a permitted as a Special Use within this district.

Lot Dimensions: Parcels within the C, Zoning District require a minimum area of 50,000 square feet and frontage of 200 feet (Section 50.10 (A)). The proposed Jiffy Lube site has over 200 feet of frontage along N 9th Street and an area of 61,782 square feet. The proposed property exceeds the dimensional standards of the code. It should be noted that the area around the existing Meijer's monument sign was carved out of the proposed lot so as to avoid the creation of an off-premise sign. **An excerpt of the new site plan is provided on the right.**

Setbacks: Properties within the C District have a front yard setback of 70 feet. The minimum setback



distance between any building and any rear or interior side property line shall be 20 feet or the height of the abutting side of the building at its highest point as measured from the grade of the property line, whichever is greater. (Section 50.60). The proposed building is 24 feet tall on an overall flat terrain, requiring a 24 foot side and rear yard setback. **The newly proposed layout has the building, with the same footprint, oriented east to west instead of north to south. The building is located roughly in the same aera of the proposed parcel.** Based on the scale provided on the site plan, the proposed building is shown with a front yard setback of over 200 feet and over 40 feet for all side and rear yard setbacks.

Access and Circulation

Access: Although the proposed lot has frontage to N 9th Street the site will be accessed from the existing shared access drives currently utilized by Meijer’s and the other commercial properties in this development. To accomplish this, the applicant will enter into the necessary cross access easement agreements. All aisles within the proposed site plan will be a minimum of 24 feet wide. **The proposed access drive has been shifted to the east side of the proposed site plan to provide additional distance between the entrance to this site and the shared access drive’s egress point onto N 9th Street. The interior aisles in the proposed site plan have also been redesigned so to discourage through traffic.** Adequate stacking space is provided for cars being serviced in the four service areas proposed onsite.

Parking: Per Section 52.50 a minimum of 17 parking spaces are required with no more than 110% of the minimum parking spaces permitted (19 stalls). **The applicant has decreased their proposed parking from 19 stalls to 17 stalls, 1 being ADA accessible.** All stalls are 10 feet by 20 feet, with the ADA spaces being concrete, meeting township standards.

Sidewalk: Per Section 57.90 sidewalks indicated on the Township’s Non-motorized Plan shall be installed by the developer when properties adjacent to planned nonmotorized facilities receive site plan approval from the municipality. The Township’s adopted Non-motorized Plan shows a 6-foot-wide path along this section of N 9th Street. **With staff oversight, the applicant has coordinated with Meijer to come up with a plan to install sidewalk not only in front of this property but to provide a complete sidewalk connection along N 9th Street from W Main Street to Meijer’s building entrance to the north.** Meijer has already installed a sidewalk section along the Meijer Gas Station property. The internal pedestrian path shows the required 10 foot easement with Oshtemo Township. **The applicant will need to coordinate with the Township to finish necessary easement documents.**

Building Design

Façade: **Exterior materials for the proposed Jiffy Lube will remain the same as with the initial submittal.** The proposed building include EIFS with a Colonial style stone design, Sandpebble fine finish painted EIFS, Centria Meal Vertical Rib Panel, with various medium bronz finishes. Overall, the elevations show a very attractive new facility. **It should be noted that the applicant has not submitted new elevations as they relate to the new site layout. The attached elevational drawings are included only for a visual representation of the building and do not portray the newly proposed site layout.** The proposed signage for the site appears to meet code requirements and will be reviewed again if the request is approved by the Planning Commission when sign permit applications are submitted.

Trash and Recycling Containers: The applicant is proposing to locate the site’s dumpster on the far north portion of the parking lot away from public view. This location and the proposed screening meet the requirements of code section 53.60 Screening of Trash and Recycling Containers.

Landscaping

The applicant has provided a landscaping plan that meets Township standards with one exception: eight of the 10 required canopy trees must be a species native to Michigan. The current plan shows three native canopy trees and seven non-native canopy trees. A revised plan shall be required to be resubmitted for approval prior to issuance of a building permit.

Photometric Plan

The applicant has provided a Photometric plan. Four pole mounted lights are proposed at 18 feet in height and 14 wall mounted lights at various locations on the building. Per the Township Lighting Ordinance, pole mounted lights that are 15 to 25 feet in height shall not exceed 20,000 lumens per luminaire and shall be spaced a minimum of 40 feet apart. Requirements for the proposed pole fixtures have been met. Per the code, wall mounted lights shall not be mounted higher than 14-feet above grade on a building. It is unclear at what height the proposed wall lights will be mounted, an updated elevation or photometric plan providing this detail will be necessary. In addition, all luminaires are required to be cut-off fixtures. The wall mounted lights appear to be a mixture of cut off and not cut off fixtures. A revised plan addressing this issue will be required.

Engineering

Prein & Newhof, the Township’s civil engineering agent, has reviewed the project site plan. Overall, all onsite concerns have been addressed with the note that a 20 foot public water easement to the Township will be required as well as an access easement over the final sidewalk location. However, the existing stormwater retention pond located north of Meijer, that this project would be connected to, has failed and will need to be addressed.

Fire Department

The Township Fire Marshal is satisfied with the site design. The Fire Marshal has also requested that two general requirements be added to the conditions of approval; these items are provided under the RECOMMENDATION section of this report.

RECOMMENDATION:

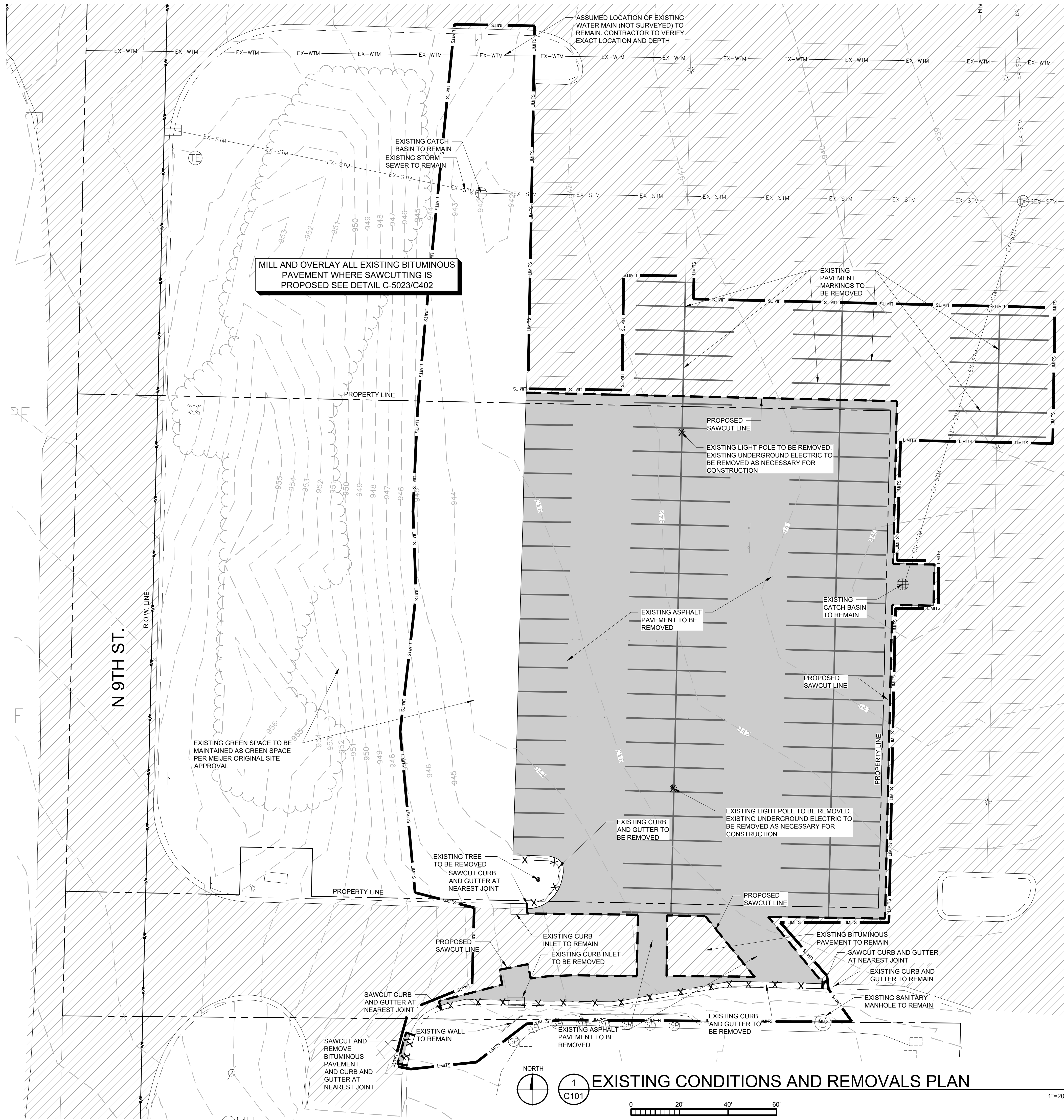
Staff recommends that the Planning Commission approve the proposed amendment to the Special Use and Site Plan for Jiffy Lube Multicare with the conditions outlined below. It should be noted that the applicant is aware of and has agreed to address these items.

1. A land division application shall be submitted and approved *prior to a building permit being issued.*
2. The existing retention pond has failed and needs to be fixed. An agreement with a plan on how to address this issue shall be submitted, reviewed and approved by the Township Engineer, and entered into *prior to a building permit being issued.*

3. A Environmental Permits Checklist and the Hazardous Substance Reporting Form shall be submitted to Planning Department and approved *prior to a building permit being issued*.
4. Copies of the necessary recorded easements (for the public sidewalk and traffic circulation) shall be provided to Planning Department *prior to occupancy being issued*.
5. A storm water connection agreement will be entered into and provided to the Township to permit this proposed project to connect to the existing Meijer storm system *prior to a building permit being issued*.
6. An updated Planning and Zoning Application shall be provided *prior to a building permit being issued*.
7. An updated Site Plan shall be submitted to the Planning Department *prior to a building permit being issued* with the following information.
 - a. The pavement markings for the two existing driveways to N 9th Street will be modified to help with traffic control and safety - the outside right turn lane turned into a right or through lane.
 - b. Show the proposed setbacks of the building on the plans. The plan shall be updated to note that the required rear and side yard setback is 24 feet.
 - c. Show the location of where the above ground and underground storage tanks will be on site.
 - d. The applicant shall address the following items with the Township Fire Marshal:
 - i. One key box shall be required for this facility.
 - ii. Emergency Responder Radio Coverage in New and Existing Buildings shall be provided in all buildings in accordance with Section 510 of the International Fire Code and Michigan Building Code 2015 section 916. Update plans to include.
8. Updated Architectural Plans shall be provided to the Planning Department *prior to a building permit being issued*.
9. An updated Photometric Plan shall be provided to and approved by Planning Department *prior building permit issuance*.
10. An updated Landscaping Plan shall be provided to and approved by the Planning Department *prior building permit issuance*.
11. A SESC Permit will be required from the Kalamazoo County Drain Commission.

Attachments: Site Plan, Lighting Plan, Floor Plans, Original site plan (approved July 2020), Elevations (approved July 2020)

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MILL AND OVERLAY ALL EXISTING BITUMINOUS PAVEMENT WHERE SAWCUTTING IS PROPOSED SEE DETAIL C-5023/C402

ASSUMED LOCATION OF EXISTING WATER MAIN (NOT SURVEYED) TO REMAIN. CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH

GENERAL NOTES

1. ALL EXISTING INFORMATION TAKEN FROM SURVEY BY GLASS CITY ENGINEERS & SURVEYING LLC. BACKGROUND SURVEY ON THESE DRAWINGS IS FOR REFERENCE ONLY. EXISTING WATER MAIN INFORMATION PER BID DOCUMENTS, DATED 10/30/92, BY PROGRESSIVE, FILE NO. 9109-13A.
2. SUBSURFACE GEOTECHNICAL INVESTIGATION IS NOT AVAILABLE AT THIS TIME.
3. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING PUBLIC AND PRIVATE UTILITIES, AND NOTIFY IMMEDIATELY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
4. ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO KEEP FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE AT OWN EXPENSE.
6. ALL WORK TO CONFORM WITH OSHTEMO TOWNSHIP AND STATE OF MICHIGAN STANDARDS AND REGULATIONS.
7. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. CATCHBASINS AND MANHOLES ARE SHOWN ON PLAN LARGER THAN ACTUAL SIZE. COORDINATE LOCATION OF MANHOLE COVER AND CASTING SO THAT IT IS PROPERLY LOCATED AT THE BACK OF CURBLINE FOR THE CURB INLETS OR CENTERED IN THE AREA AS SHOWN ON THE PLAN FOR THE AREA DRAINS AND MANHOLE COVERS.
9. PROVIDE TRAFFIC CONTROL AT STREETS AND SIDEWALKS PER OSHTEMO TOWNSHIP AND MUTCD REQUIREMENTS. AS REQUIRED; TRAFFIC CONTROL DESIGN, RELATED PERMITTING, AND DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ANY WORK PERFORMED OUTSIDE THE PROPERTY BOUNDARIES MUST BE APPROVED BY OWNER AND ALL REGULATING GOVERNMENT AGENCIES AND APPROPRIATE PERMITS MUST BE OBTAINED.

REMOVAL NOTES

1. ALL UTILITY DEMOLITION AND/OR ABANDONMENT TO BE PERFORMED IN ACCORDANCE WITH OSHTEMO TOWNSHIP AND STATE OF MICHIGAN REGULATIONS AND STANDARDS.
2. EXISTING KNOWN UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER AND WATERMAIN. CONTRACTOR TO CONTACT 811 BEFORE EXCAVATING.
3. ALL ELECTRICAL POLE AND LIGHT REMOVAL SHALL BE COORDINATED WITH THE OWNER AND AUTHORITY HAVING JURISDICTION PRIOR TO DEMOLITION.

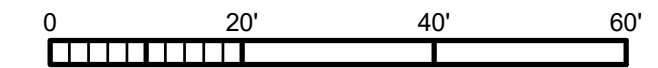
LEGEND

	LIMITS OF DISTURBANCE
	PROPOSED SAWCUT LINE
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WATER MAIN (NOT SURVEYED)
	EXISTING CURB AND GUTTER
	EXISTING TREE LINE
	EXISTING CURB INLET
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING TELEPHONE PEDESTAL
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING BITUMINOUS PAVEMENT
	EXISTING PAVEMENT MARKING
	EXISTING PAVEMENT MARKING TO BE REMOVED
	EXISTING CURB AND GUTTER TO BE REMOVED
	EXISTING LIGHT POLE TO BE REMOVED
	EXISTING BITUMINOUS PAVEMENT TO BE REMOVED

EXISTING CONDITIONS AND REMOVALS PLAN



1
C101



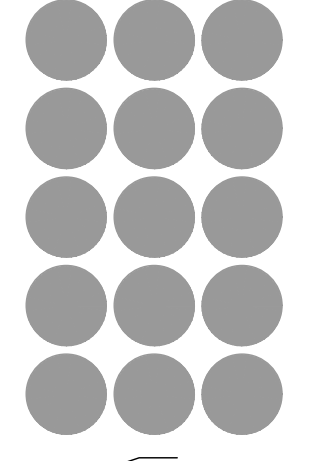
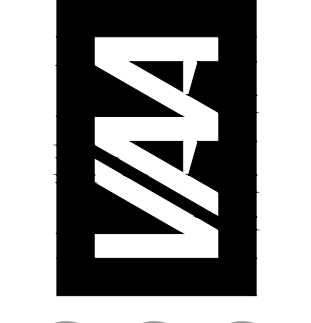
WISCONSIN DIGGERS
HOTLINE
811
OR
800-242-8111



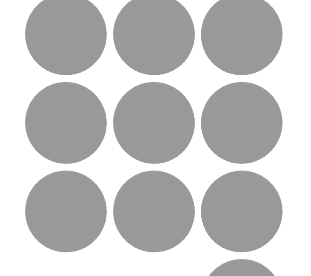
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DATE:
● 11/13/20
REVISION:
● IFC
●
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DRAWN BY:
● RCQ
CHECKED BY:
● AMB
SHEET NO.

C101

VAA, LLC
2900 Barkshire Lane N.
Suite 200 Plymouth, MN
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www.vaang.com
info@vaang.com

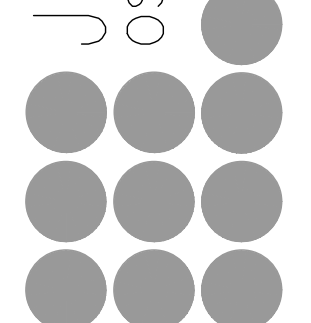


phoenix design group



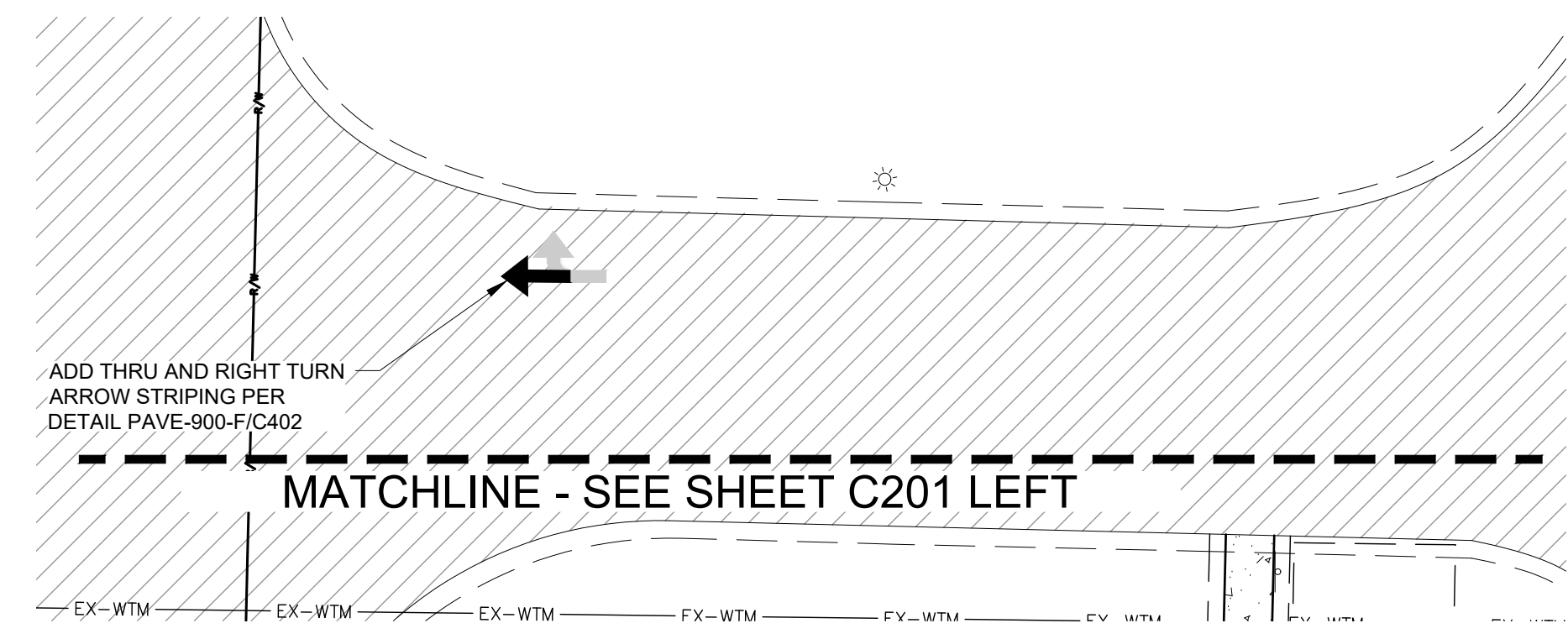
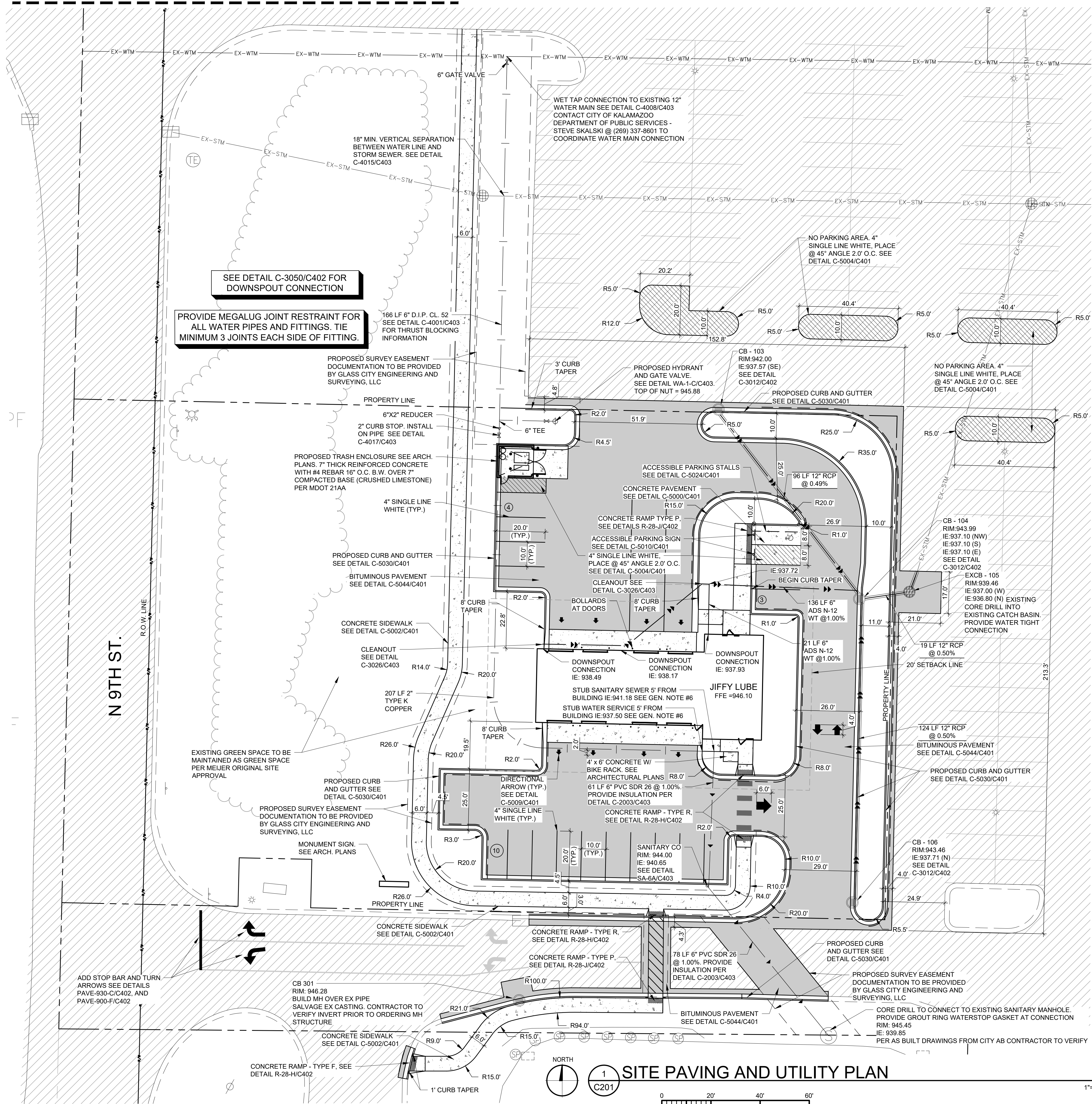
JIFFY LUBE NEW BUILDING
OSHTEMO TOWNSHIP, MI

EXISTING CONDITIONS AND REMOVALS PLAN



8222 S 48th Street Suite 238 Phoenix Arizona 85044 480 461 9773

MATCHLINE - SEE SHEET C201 RIGHT



CONNECTIONS TO THE PUBLIC UTILITIES SHALL BE COORDINATED IN ADVANCE WITH THE PUBLIC UTILITY TO IDENTIFY ANY SPECIAL REQUIREMENTS THE UTILITY MAY HAVE. CONSTRUCTION OBSERVATION AND INSPECTION BY A PUBLIC UTILITY REPRESENTATIVE IS REQUIRED. FOR PUBLIC WATER, PLEASE CONTACT/COORDINATE WITH THE CITY OF KALAMAZOO (STEVE SKALSKI @ (269) 337-8601). FOR PUBLIC SEWER, PLEASE CONTACT/COORDINATE WITH PREIN&NEWHOF AS FIELD REPRESENTATIVES OF OSHTEMO TOWNSHIP (RYAN RUSSELL AT RRUSSELL@PREINNEWHOF.COM OR (231) 690-4917)

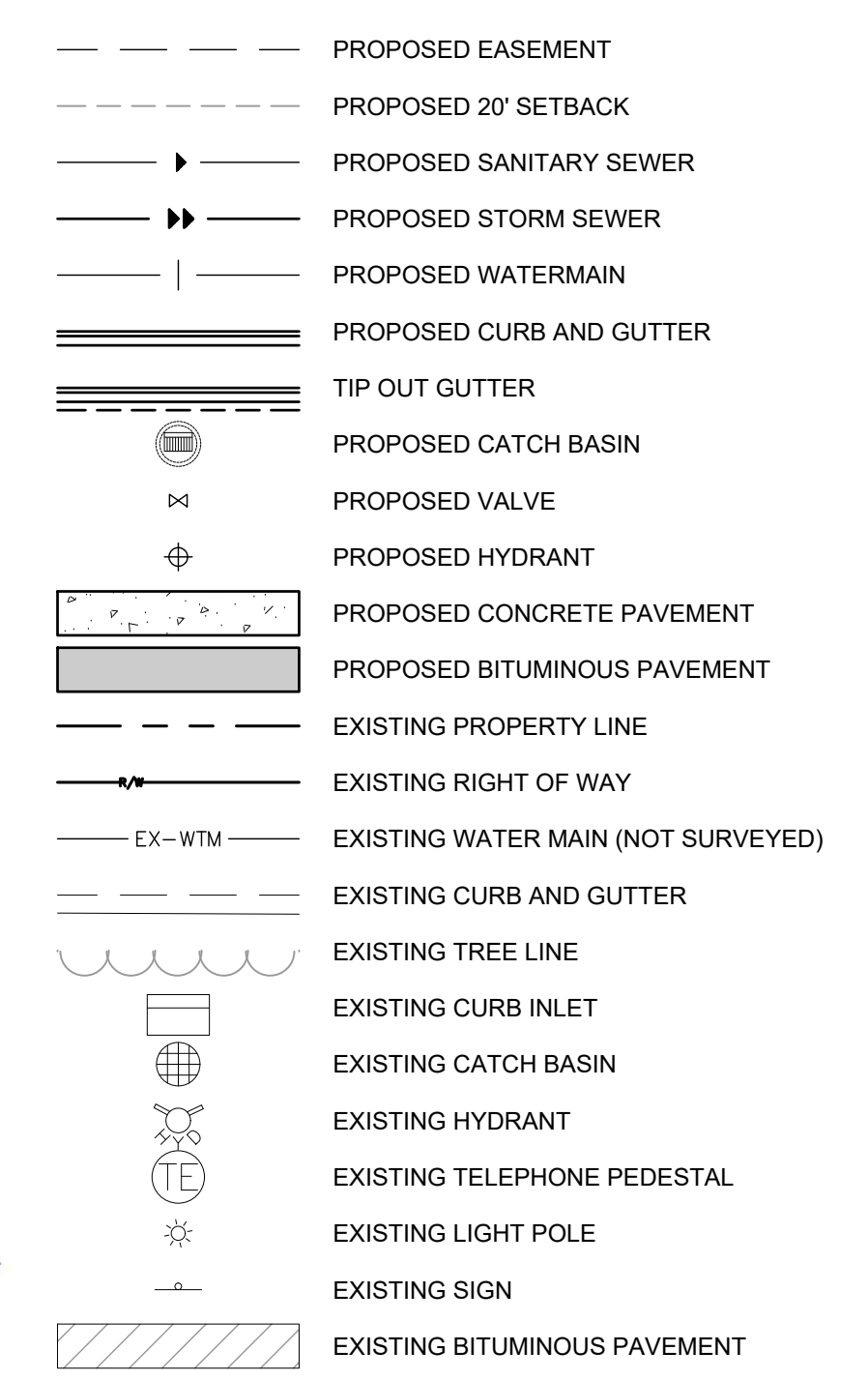
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UTILITY NOTES

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3. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION. CLEAN PAVED ROADWAYS BY SHOVELING OR SWEEPING. STREET WASHING IS ALLOWED ONLY AFTER SHOVELING OR SWEEPING HAS REMOVED SEDIMENT. SEE OSHTEMO TOWNSHIP STANDARDS AND REGULATIONS.
4. ALL RCP PIPE SHALL BE CL. V.
5. PROVIDE THE FOLLOWING MINIMUM COVER OVER THE TOP OF PIPE AS FOLLOWS:
 - A. 5' OVER WATERMAIN
 - B. 5' OVER SANITARY SEWER
 - C. 1.5' OVER STORM SEWER
6. PROVIDE INSULATION PER DETAIL C-2003/C403 TO SANITARY PIPE WHERE MINIMUM COVER IS NOT MET.
7. ALL WATER SERVICE SHALL CONFORM TO CITY OF KALAMAZOO DEPARTMENT OF PUBLIC STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION.
8. ALL LINEAR AND RADI DIMENSIONS ARE TO BACK OF CURB UNLESS NOTES OTHERWISE.

LEGEND



SITE DATA

CURRENT ZONING: "C" LOCAL BUSINESS DISTRICT
 GENERAL DESCRIPTION: LOT IS CURRENTLY UNDER USE AS PARKING FOR THE MEIJER GROCERY
 SOILS INFO OBTAINED FROM US CONSERVATION SERVICE:
 30% OF SITE - KALAMAZOO LOAM
 70% OF SITE - OSHTEMO SANDY LOAM

TOTAL SITE AREA	61,782 SF
EXISTING GREEN SPACE	26,275 SF
EXISTING PAVEMENT	35,507 SF
PERCENT GREEN SPACE	42.5%
PROPOSED GREEN SPACE	33,044 SF
PROPOSED PAVEMENT	25,718 SF
PROPOSED BUILDING	3,020 SF
PERCENT GREEN SPACE	53.4%

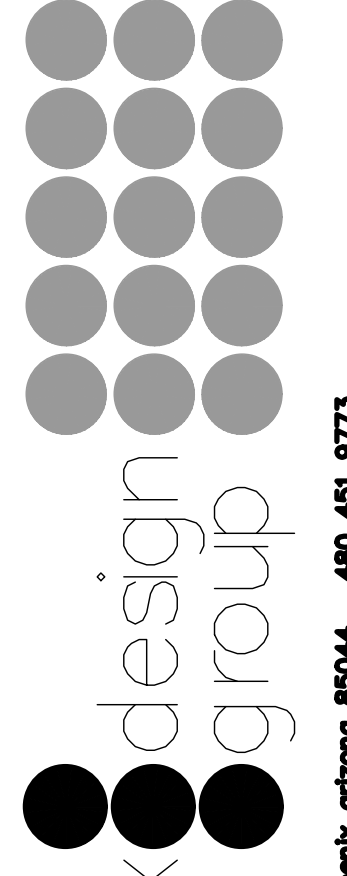
MEIJER PARKING 1456 STALLS
 MEIJER PARKING LOST TO JL (118) STALLS
 MEIJER PARKING AFTER DEVELOPMENT 1338 STALLS
 BUILDING SIZE *224,000 SF
 PARKING RATIO (STALLS/500 SF) 3.1 ST/500

JIFFY LUBE PARKING
 STANDARD PARKING ADDED 16 STALLS
 ADA PARKING ADDED 1 STALLS
 TOTAL 17 STALLS

SITE PAVING AND UTILITY PLAN



VAA, LLC
 2900 Berkshire Lane N.
 Plymouth, MN 55424
 763.559.9100
 www.vaaeng.com
 info@vaaeng.com

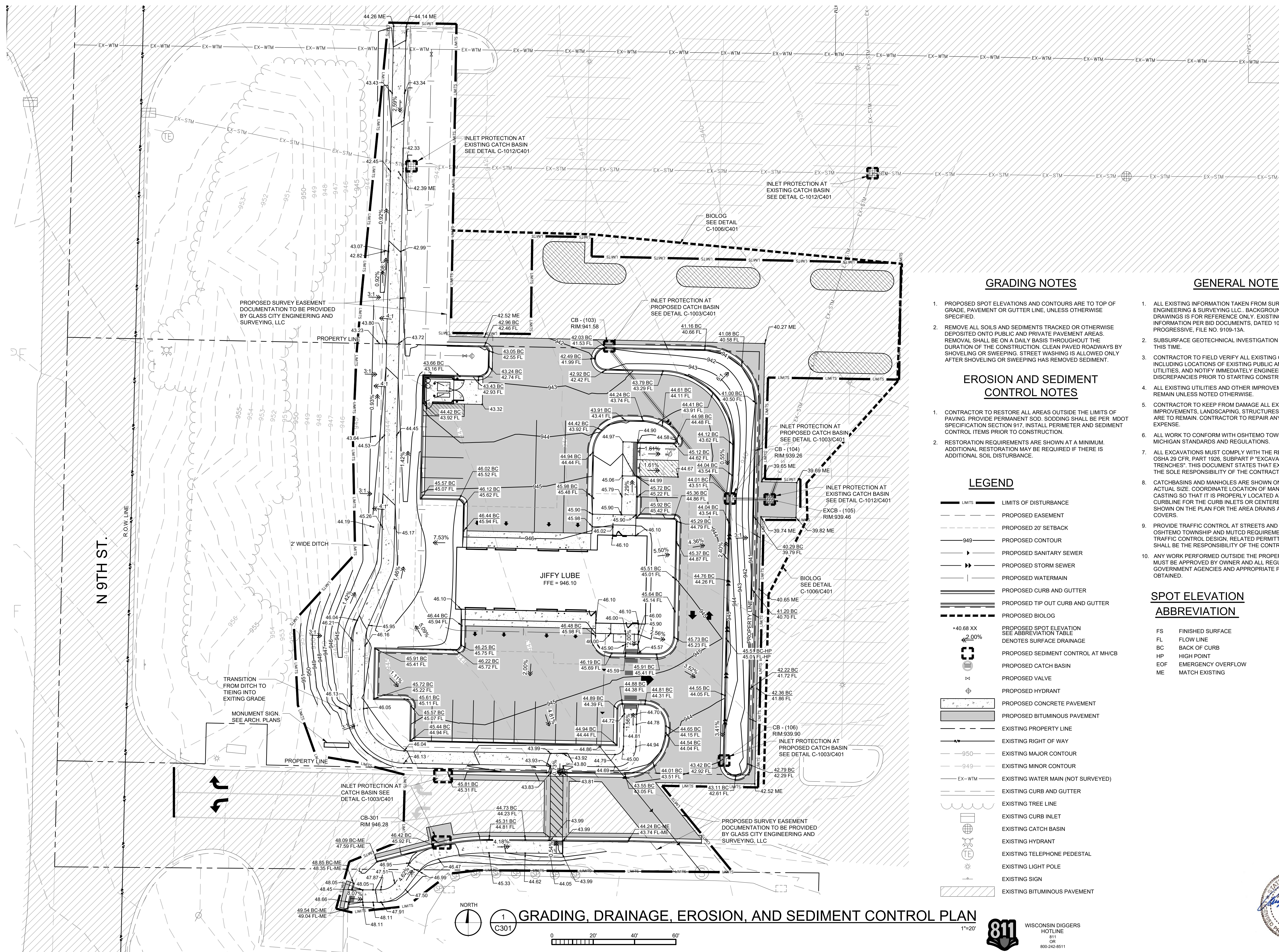


8022 S 48th Street, Suite 208 Phoenix, Arizona 85044 480.461.9773

JIFFY LUBE NEW BUILDING
 OSHTEMO TOWNSHIP, MI
 SITE PAVING AND UTILITY PLAN

JOB NO.: 190685
 DATE: 11/13/20
 REVISION:
 IFC
 DRAWN BY: RCQ
 CHECKED BY: AMB
 SHEET NO.

C201



GRADING NOTES

1. PROPOSED SPOT ELEVATIONS AND CONTOURS ARE TO TOP OF GRADE, PAVEMENT OR GUTTER LINE, UNLESS OTHERWISE SPECIFIED.
2. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION. CLEAN PAVED ROADWAYS BY SHOVELING OR SWEEPING. STREET WASHING IS ALLOWED ONLY AFTER SHOVELING OR SWEEPING HAS REMOVED SEDIMENT.

EROSION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR TO RESTORE ALL AREAS OUTSIDE THE LIMITS OF PAVING. PROVIDE PERMANENT SOD. SODDING SHALL BE PER MDOT SPECIFICATION SECTION 917. INSTALL PERIMETER AND SEDIMENT CONTROL ITEMS PRIOR TO CONSTRUCTION.
2. RESTORATION REQUIREMENTS ARE SHOWN AT A MINIMUM. ADDITIONAL RESTORATION MAY BE REQUIRED IF THERE IS ADDITIONAL SOIL DISTURBANCE.

LEGEND

	LIMITS OF DISTURBANCE
	PROPOSED EASEMENT
	PROPOSED 20' SETBACK
	PROPOSED CONTOUR
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATERMAIN
	PROPOSED CURB AND GUTTER
	PROPOSED TIP OUT CURB AND GUTTER
	PROPOSED BIOLOG
	PROPOSED SPOT ELEVATION SEE ABBREVIATION TABLE
	DENOTES SURFACE DRAINAGE
	PROPOSED SEDIMENT CONTROL AT MH/ICB
	PROPOSED CATCH BASIN
	PROPOSED VALVE
	PROPOSED HYDRANT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WATER MAIN (NOT SURVEYED)
	EXISTING CURB AND GUTTER
	EXISTING TREE LINE
	EXISTING CURB INLET
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING TELEPHONE PEDESTAL
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING BITUMINOUS PAVEMENT

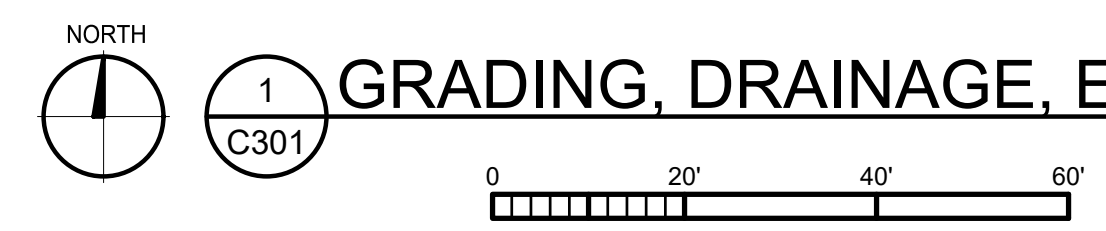
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SPOT ELEVATION ABBREVIATION

FS	FINISHED SURFACE
FL	FLOW LINE
BC	BACK OF CURB
HP	HIGH POINT
EOF	EMERGENCY OVERTURN
ME	MATCH EXISTING

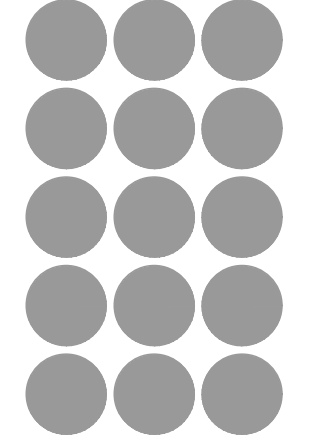
1 GRADING, DRAINAGE, EROSION, AND SEDIMENT CONTROL PLAN



JOB NO.: 190685
 DATE: 11/13/20
 REVISION: IFC
 DRAWN BY: RCQ
 CHECKED BY: AMB
 SHEET NO. C301

C301

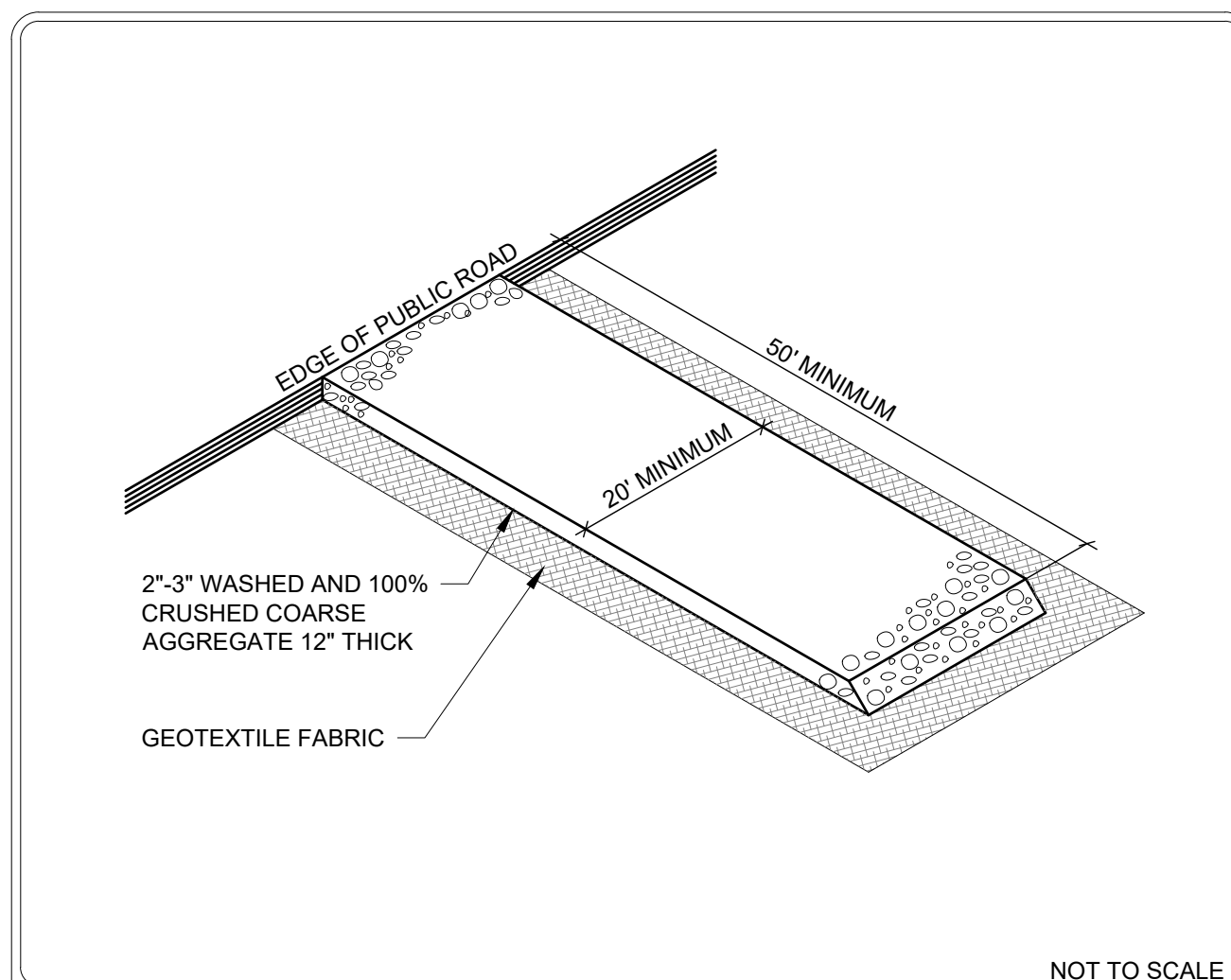
VAA, LLC
 2900 Berkshire Lane N.
 55427 Plymouth, MN
 763.559.9100
 www.vaaeng.com
 info@vaaeng.com



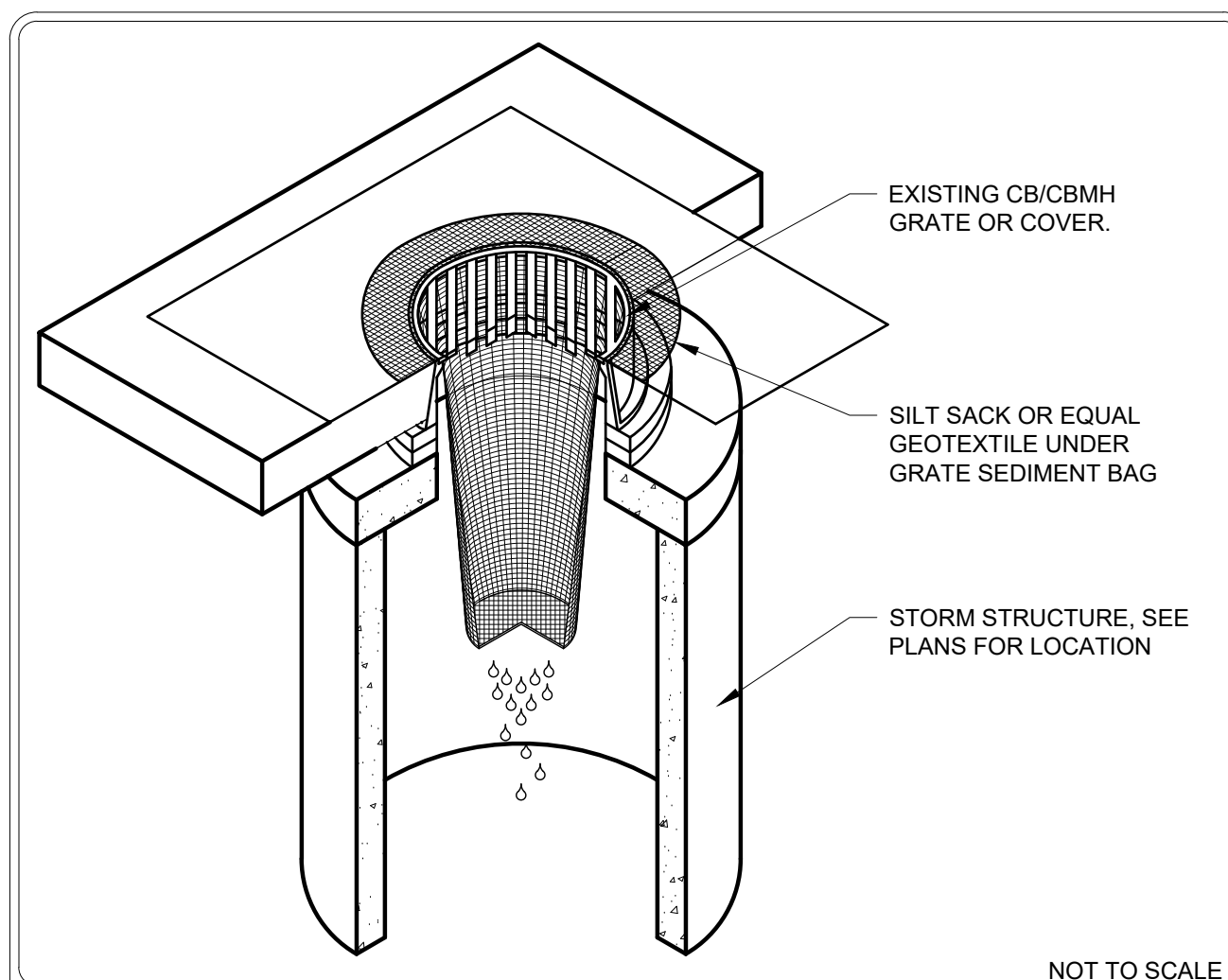
8222 S 48th Street, Suite 238, Phoenix, Arizona 85044 480.451.9773

JIFFY LUBE NEW BUILDING
 OSHTEMO TOWNSHIP, MI

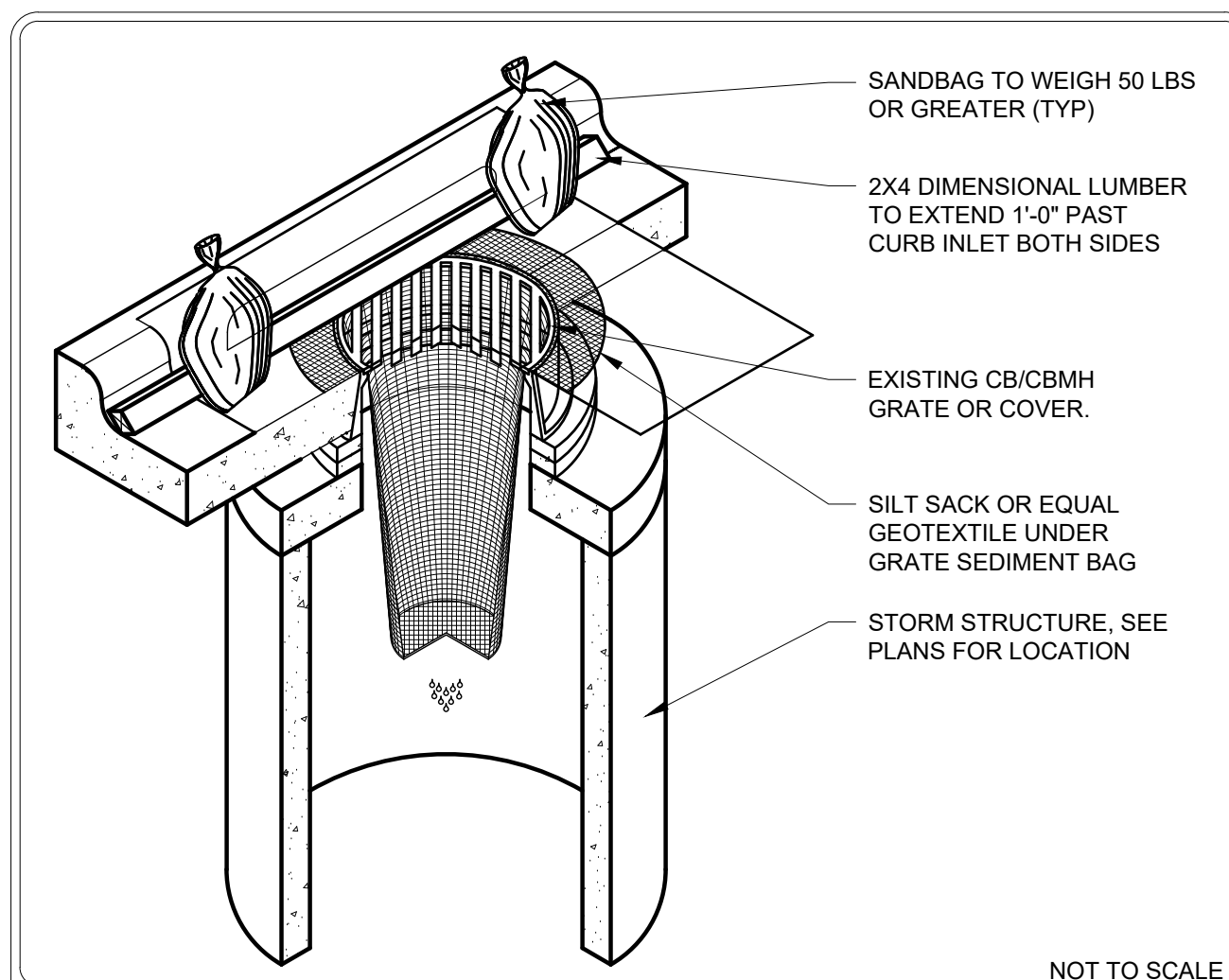
GRADING, DRAINAGE, EROSION, AND SEDIMENT CONTROL PLAN



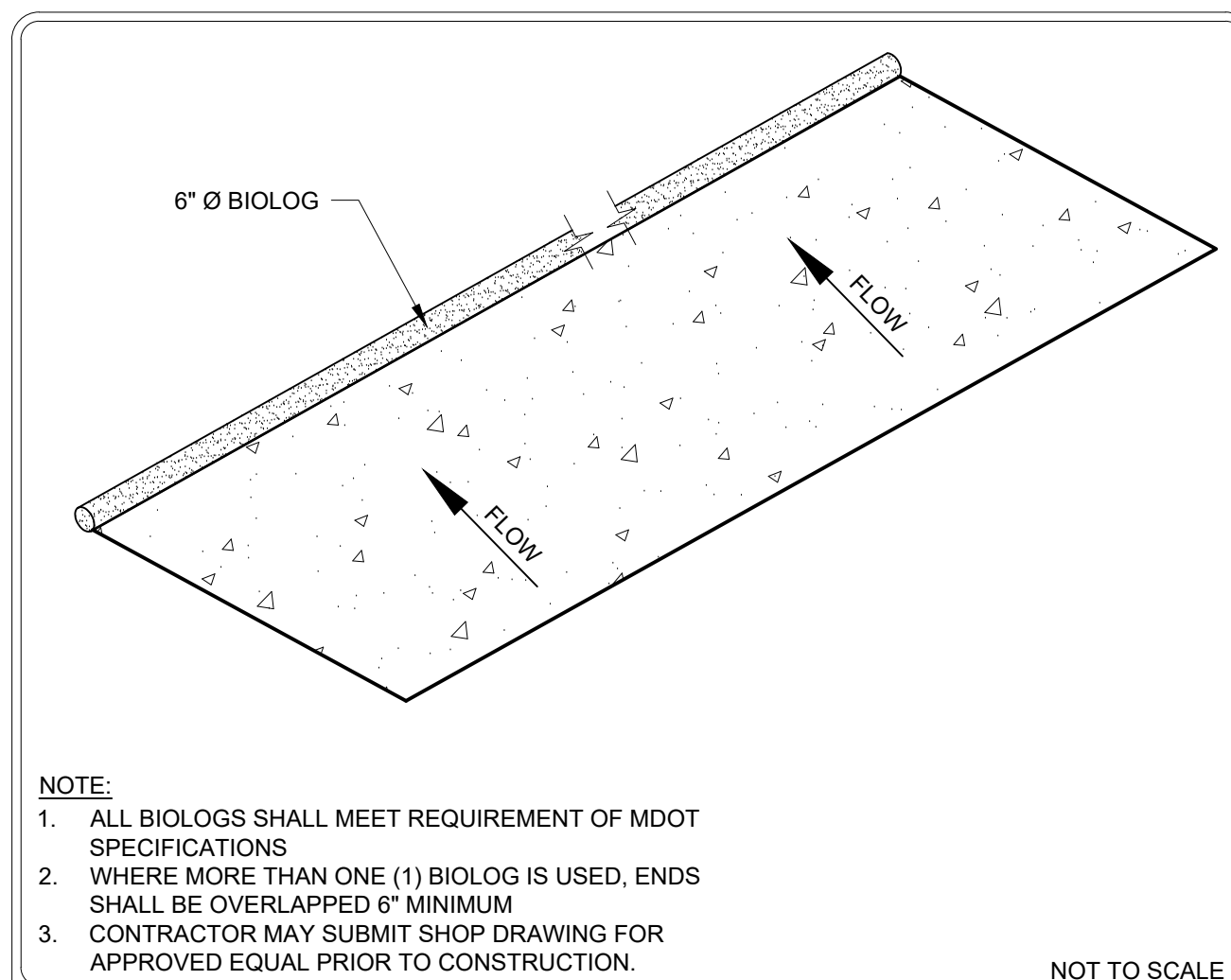
VAA ROCK CONSTRUCTION ENTRANCE DETAIL
 *CONTRACTOR TO FIELD LOCATE
 PLATE NO. C-1005



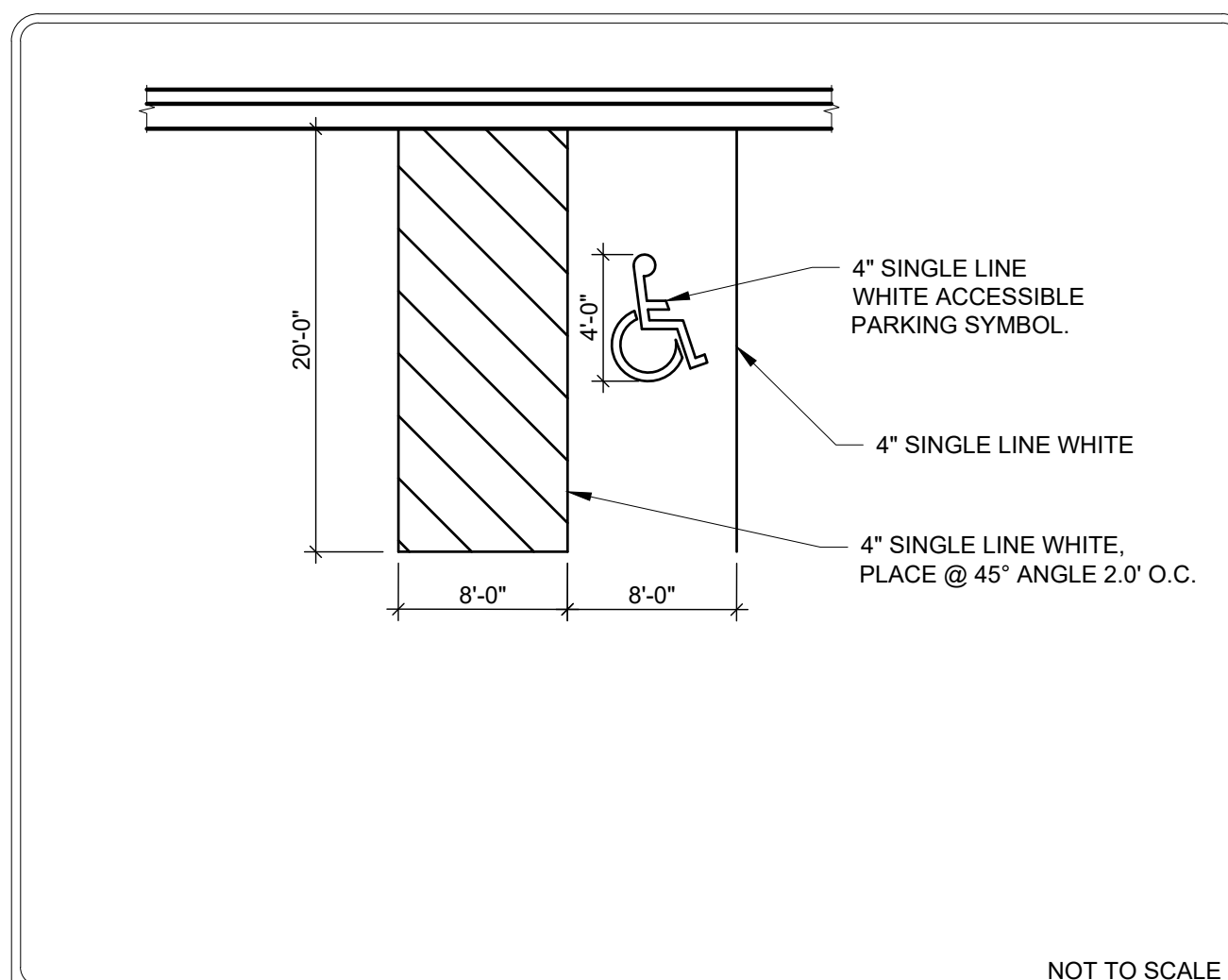
VAA SEDIMENT CONTROL AT CB/CBMH DETAIL
 PLATE NO. C-1012



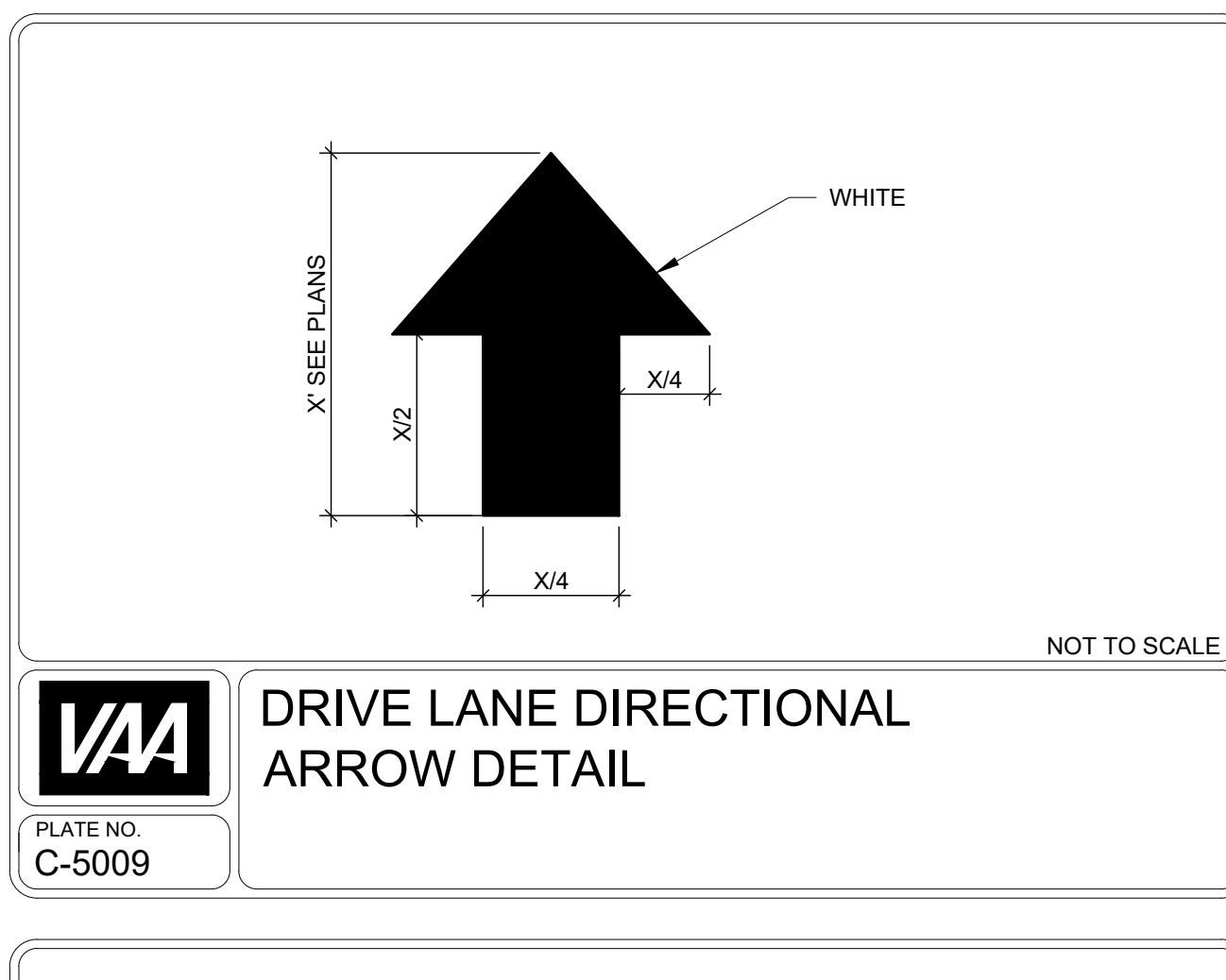
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 PLATE NO. C-1003



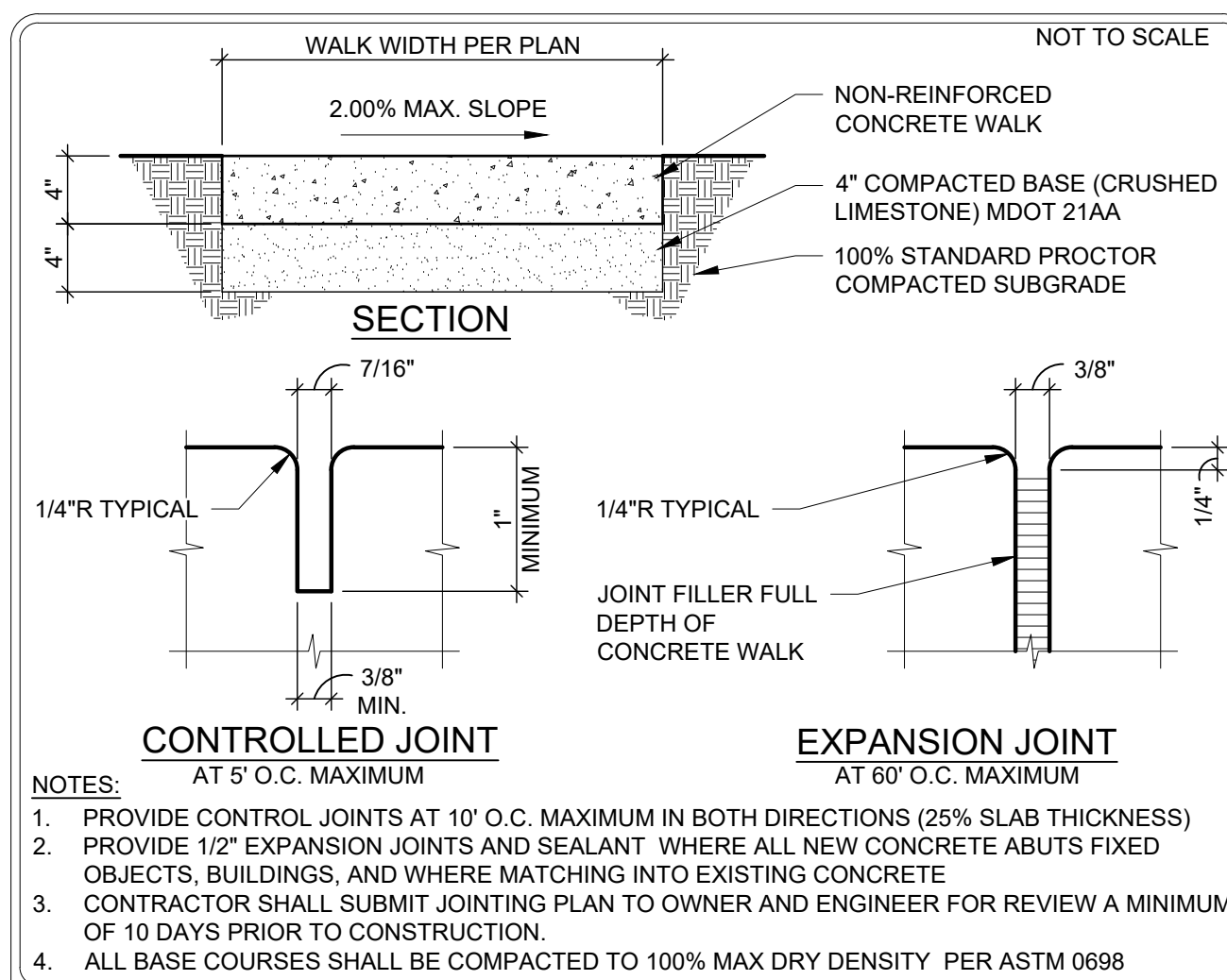
VAA BIOLOG DETAIL (PERIMETER PROTECTION)
 NOTE:
 1. ALL BIOLOGS SHALL MEET REQUIREMENT OF MDOT SPECIFICATIONS
 2. WHERE MORE THAN ONE (1) BIOLOG IS USED, ENDS SHALL BE OVERLAPPED 6\"/>



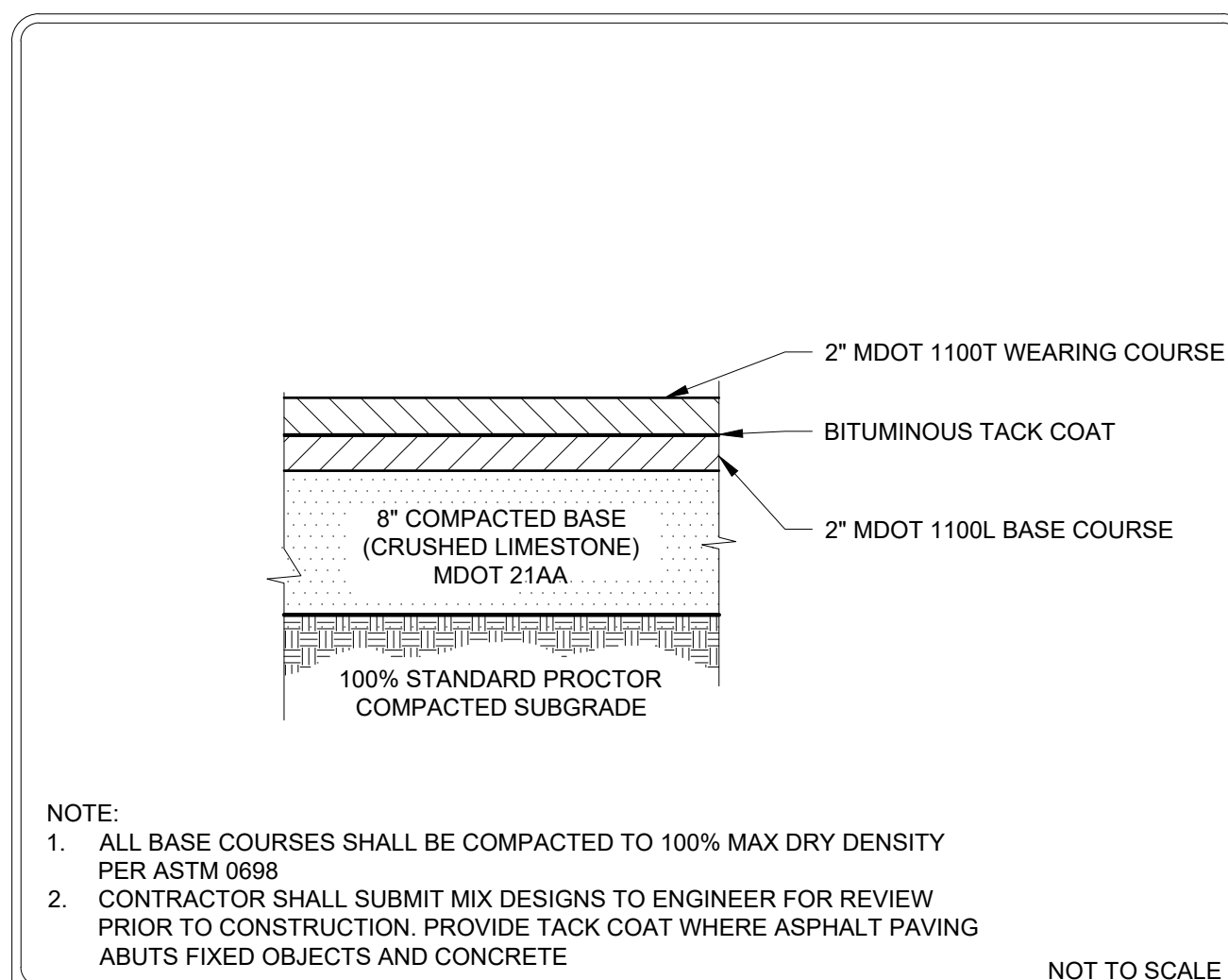
VAA ACCESSIBLE PARKING STALL(S) DETAIL
 PLATE NO. C-5024



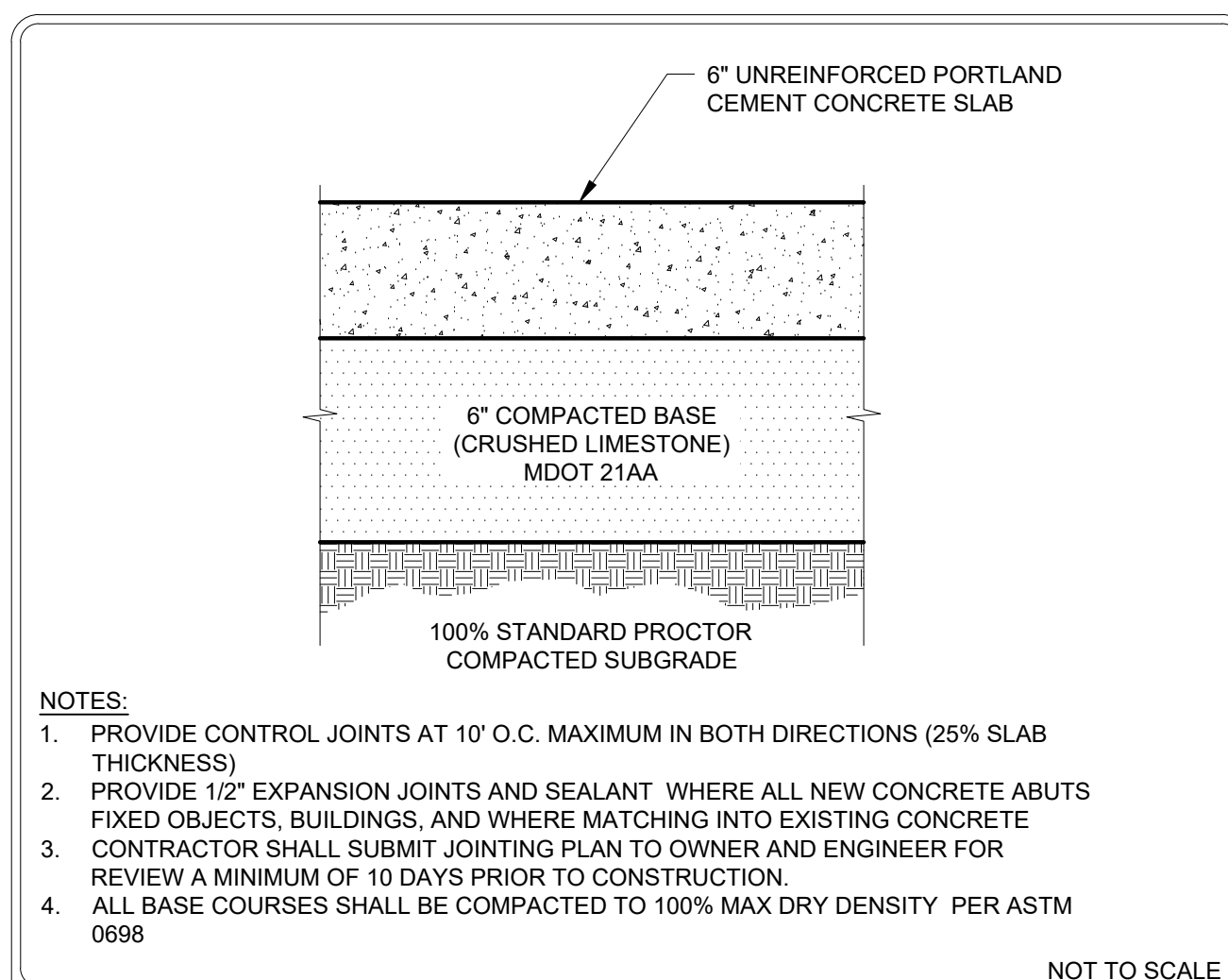
VAA DRIVE LANE DIRECTIONAL ARROW DETAIL
 PLATE NO. C-5009



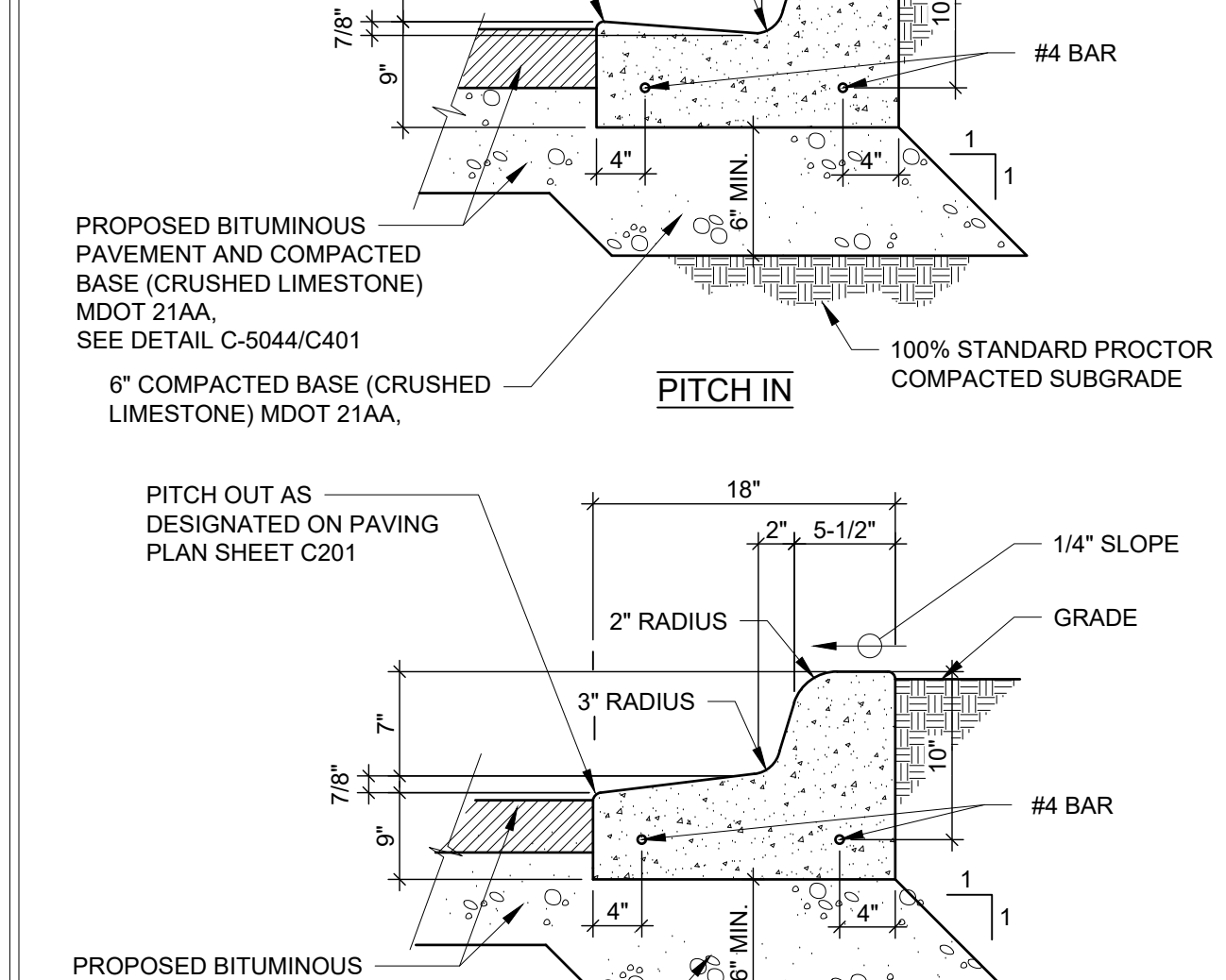
VAA CONCRETE WALK AND JOINT DETAIL
 PLATE NO. C-5002



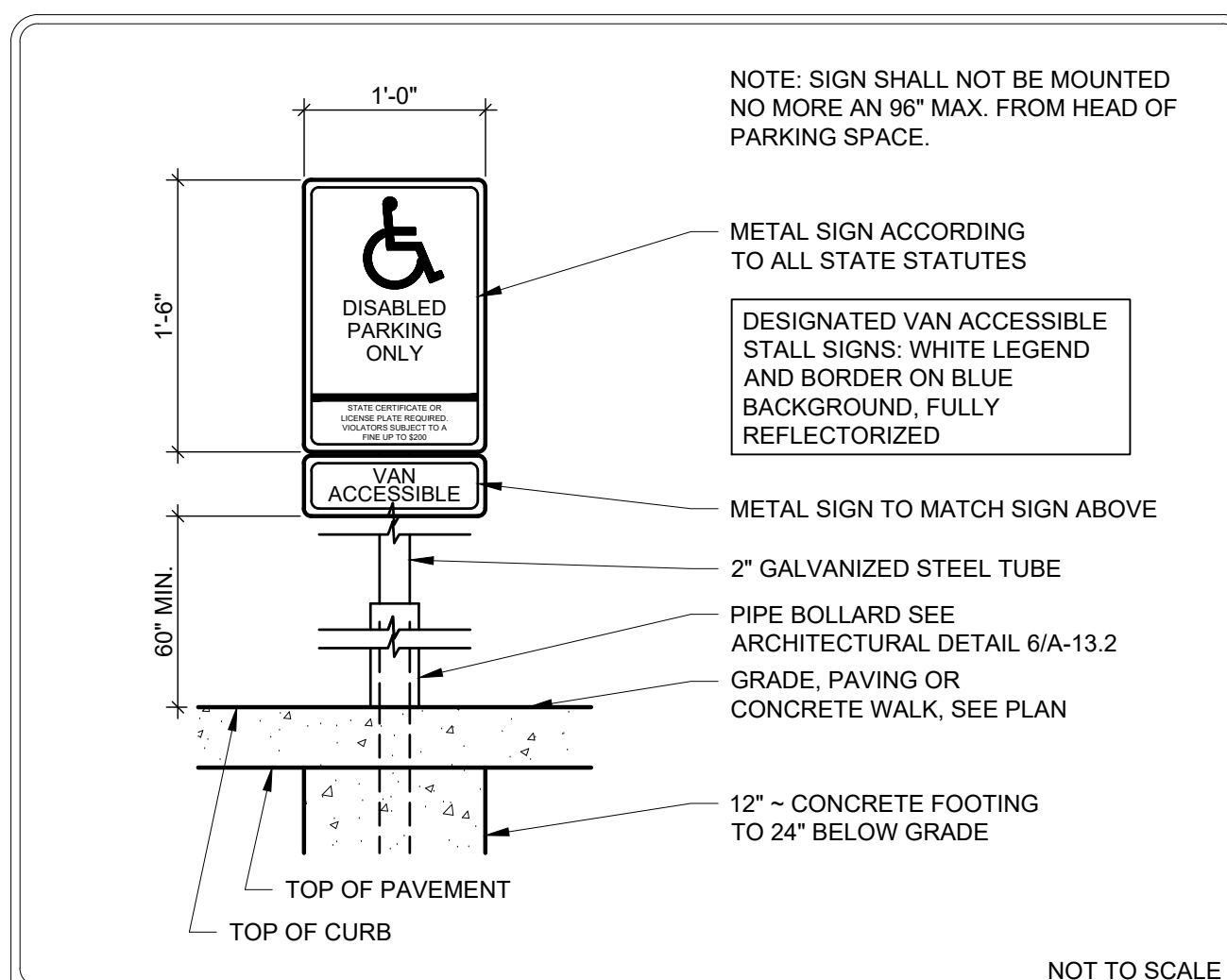
VAA BITUMINOUS DETAIL
 NOTE:
 1. ALL BASE COURSES SHALL BE COMPACTED TO 100% MAX DRY DENSITY PER ASTM 0698
 2. CONTRACTOR SHALL SUBMIT MIX DESIGNS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. PROVIDE TACK COAT WHERE ASPHALT PAVING ABUTS FIXED OBJECTS AND CONCRETE



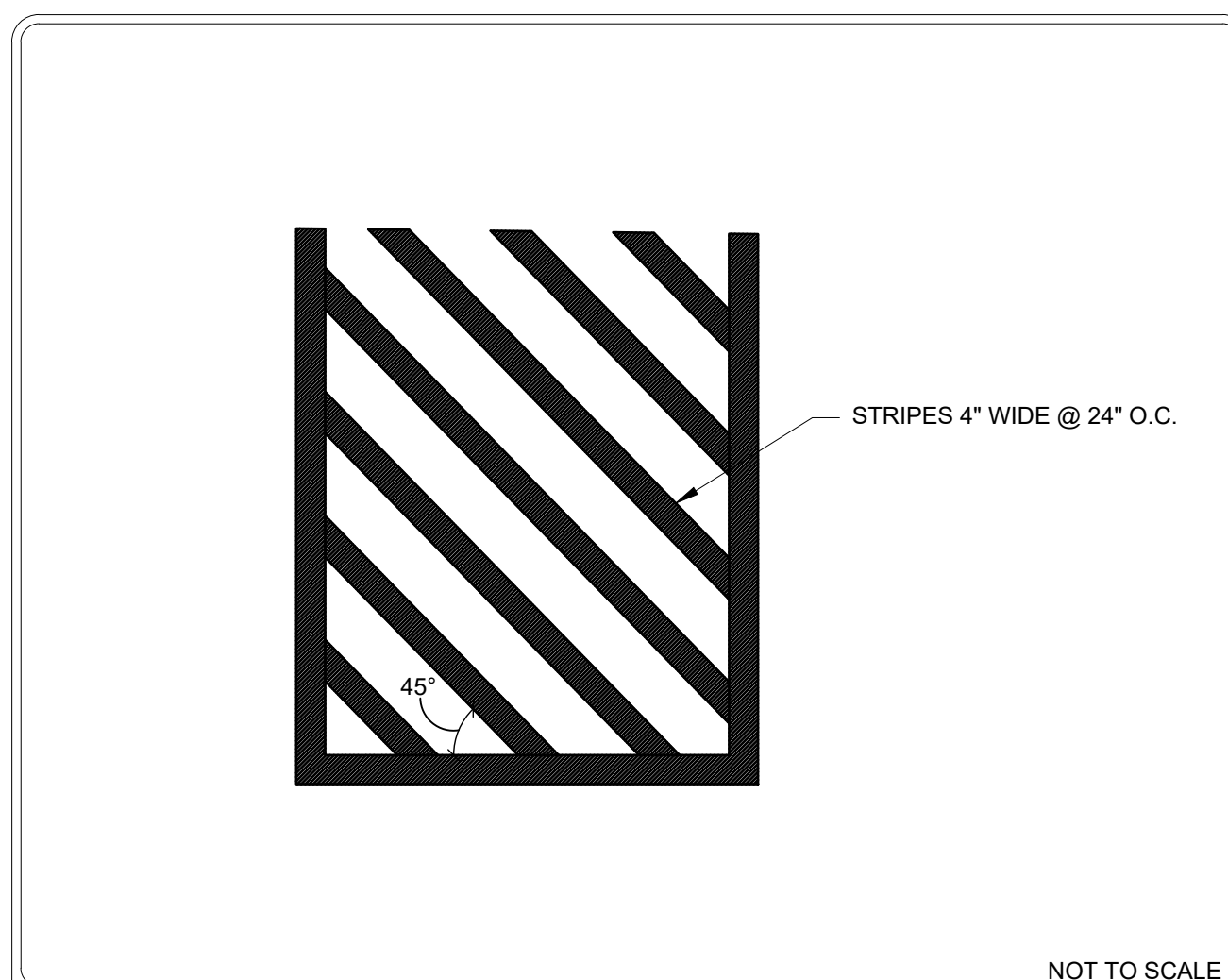
VAA UNREINFORCED CONCRETE PAVEMENT DETAIL
 PLATE NO. C-5000



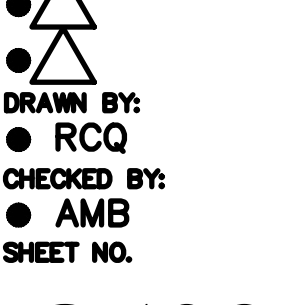
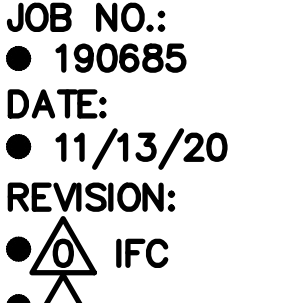
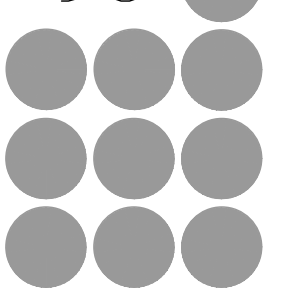
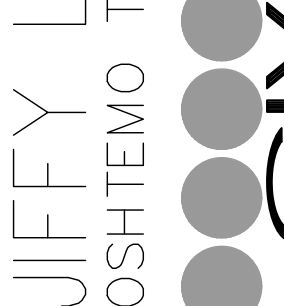
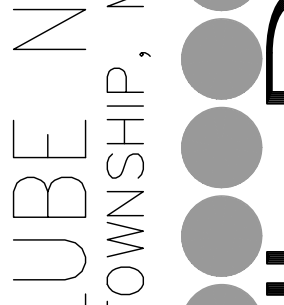
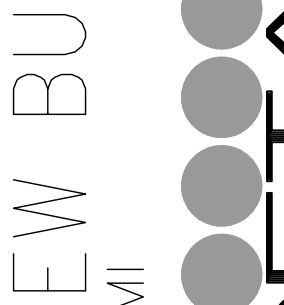
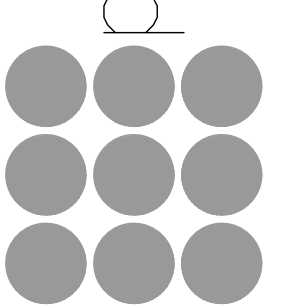
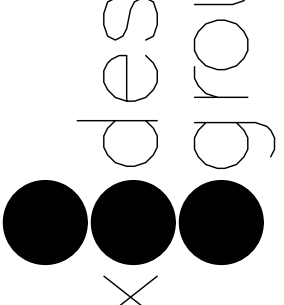
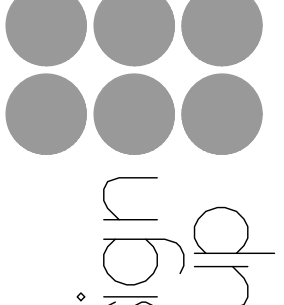
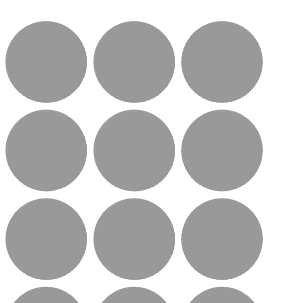
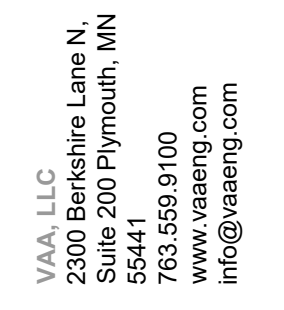
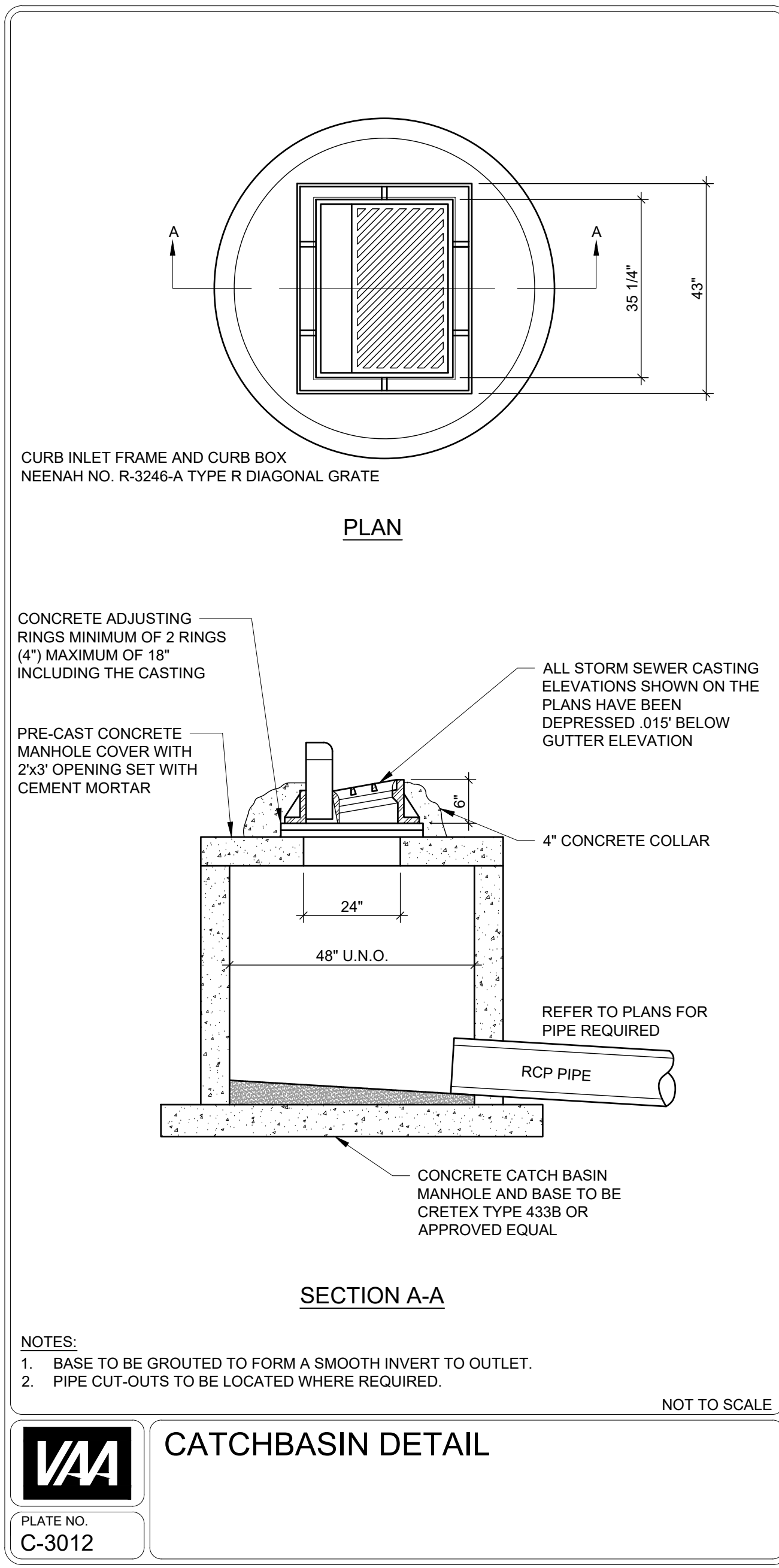
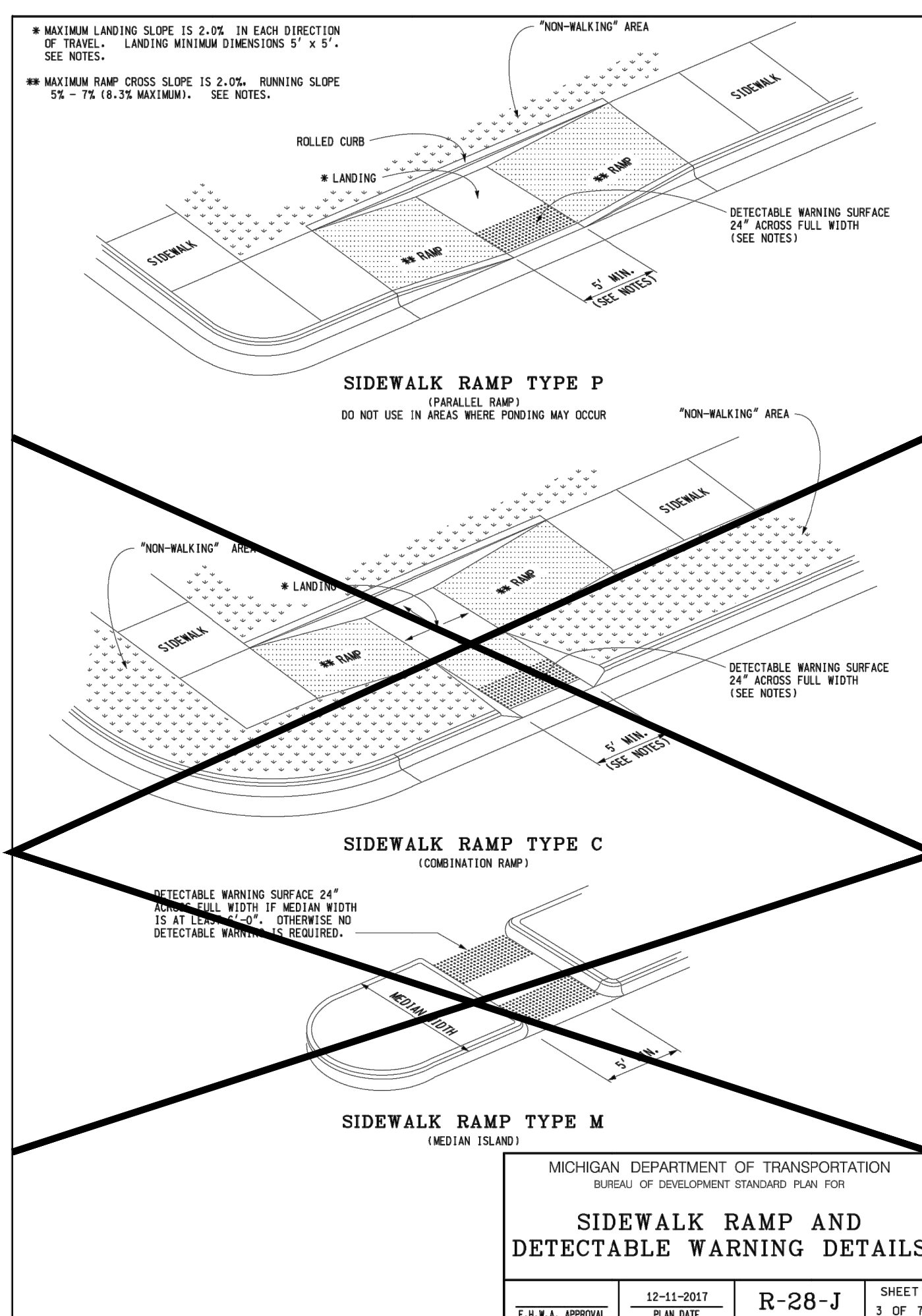
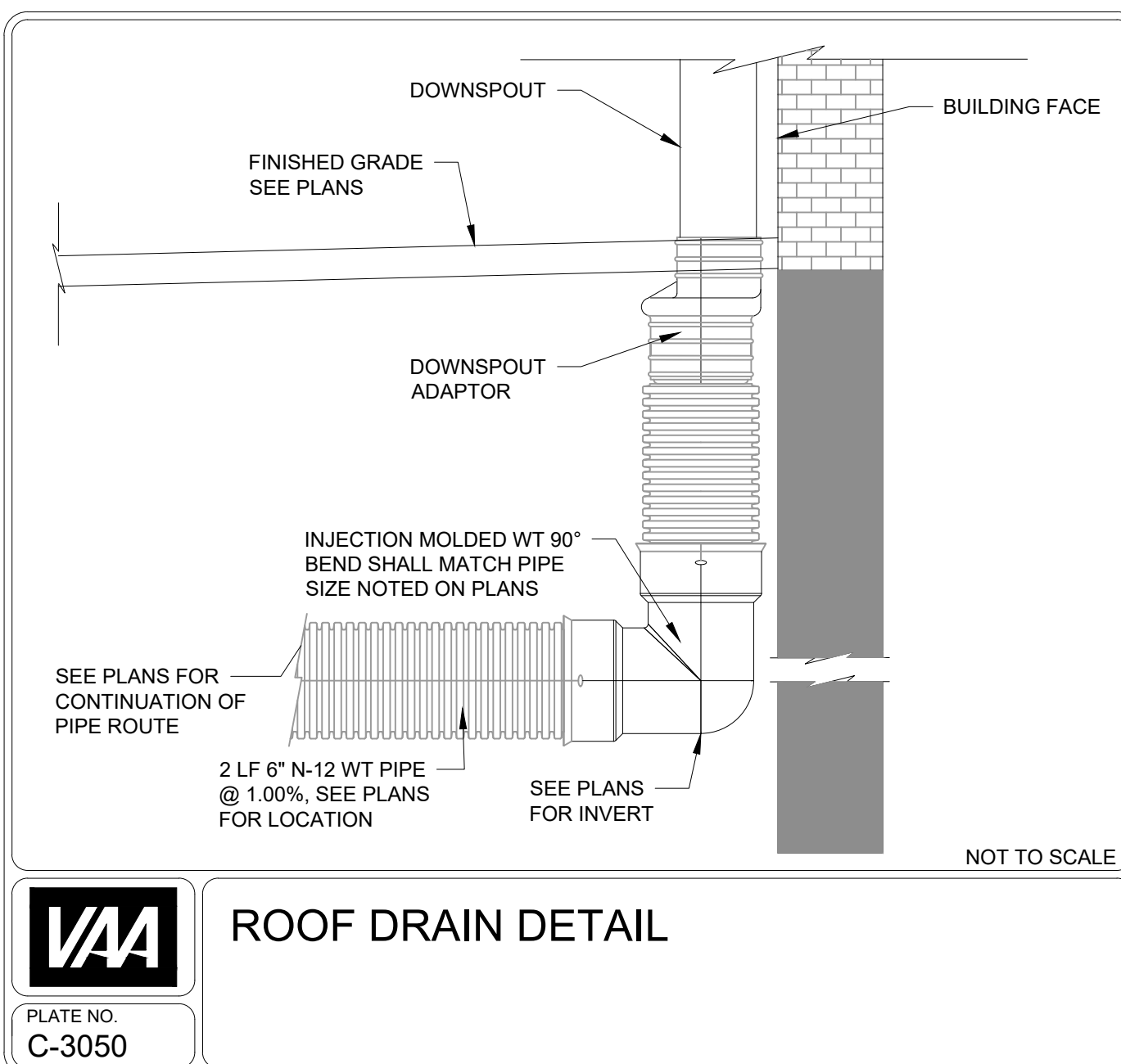
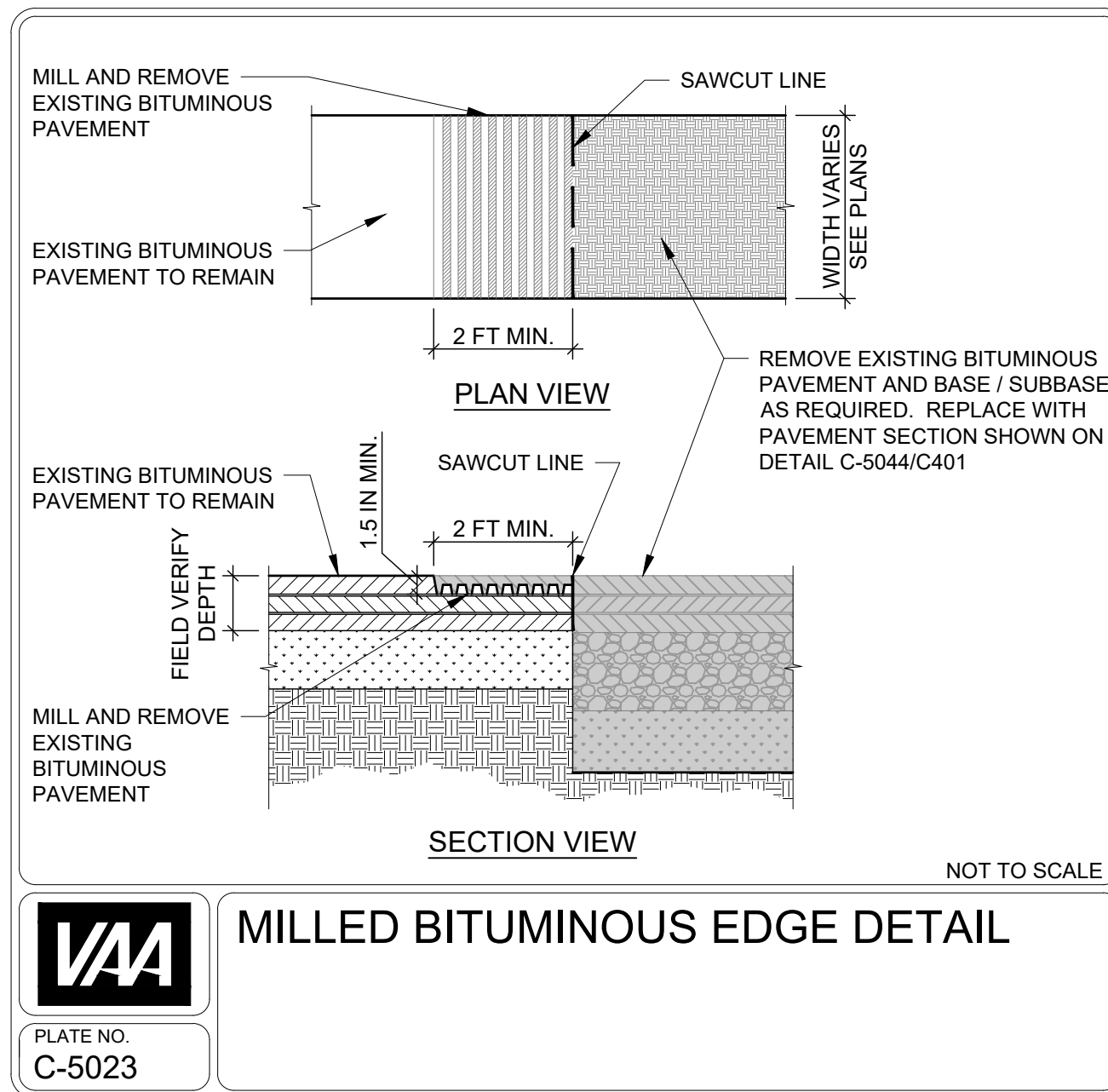
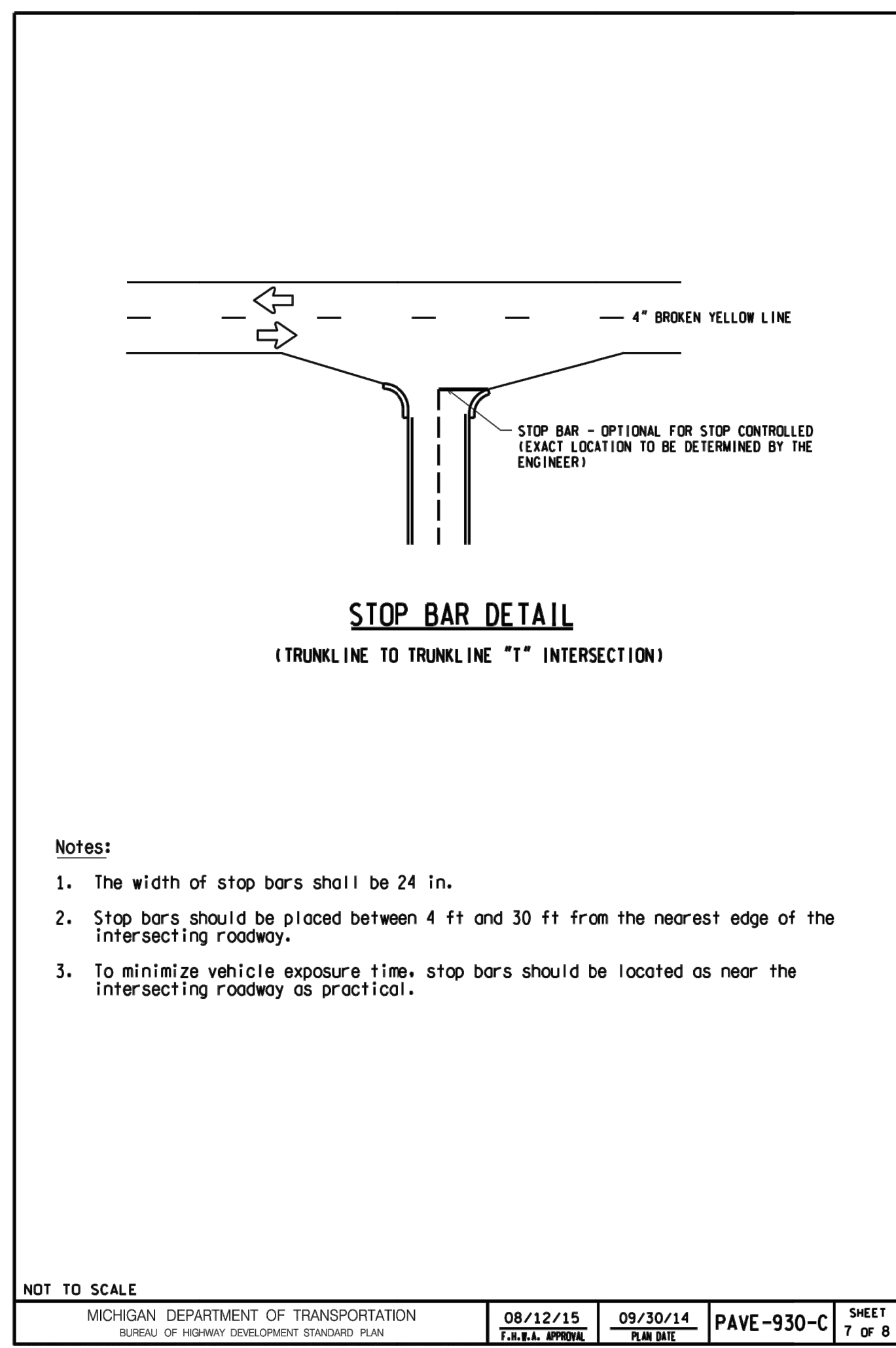
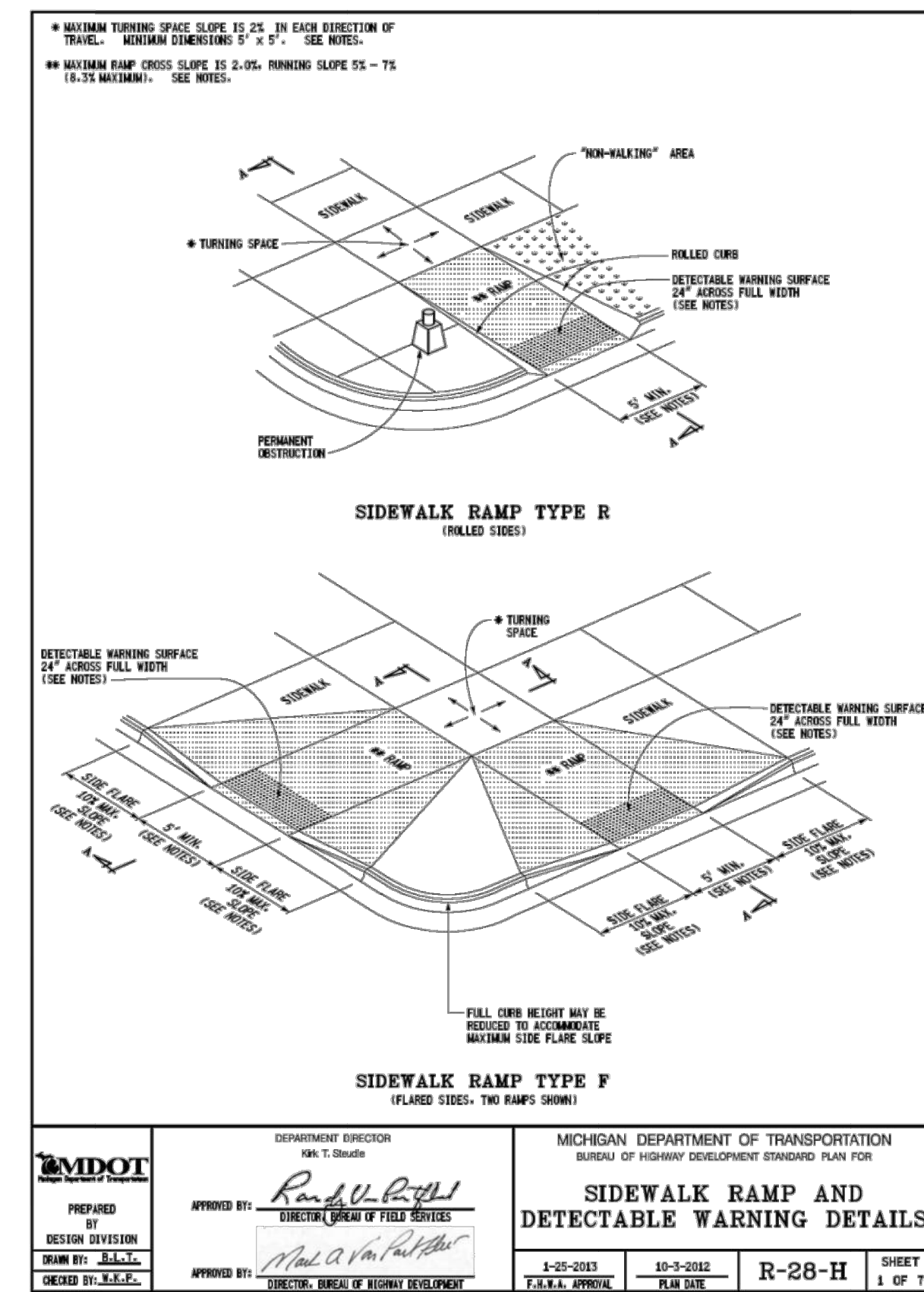
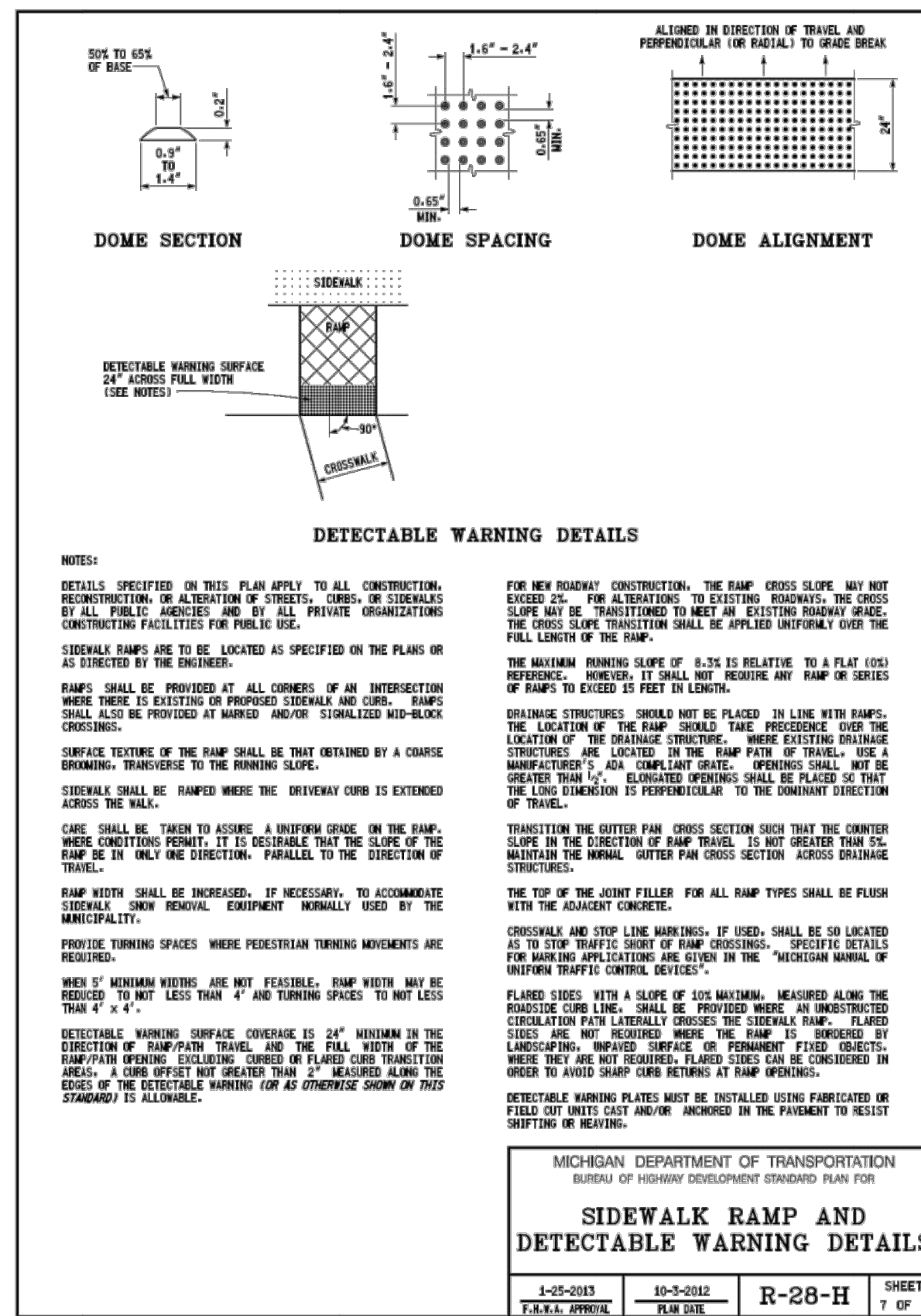
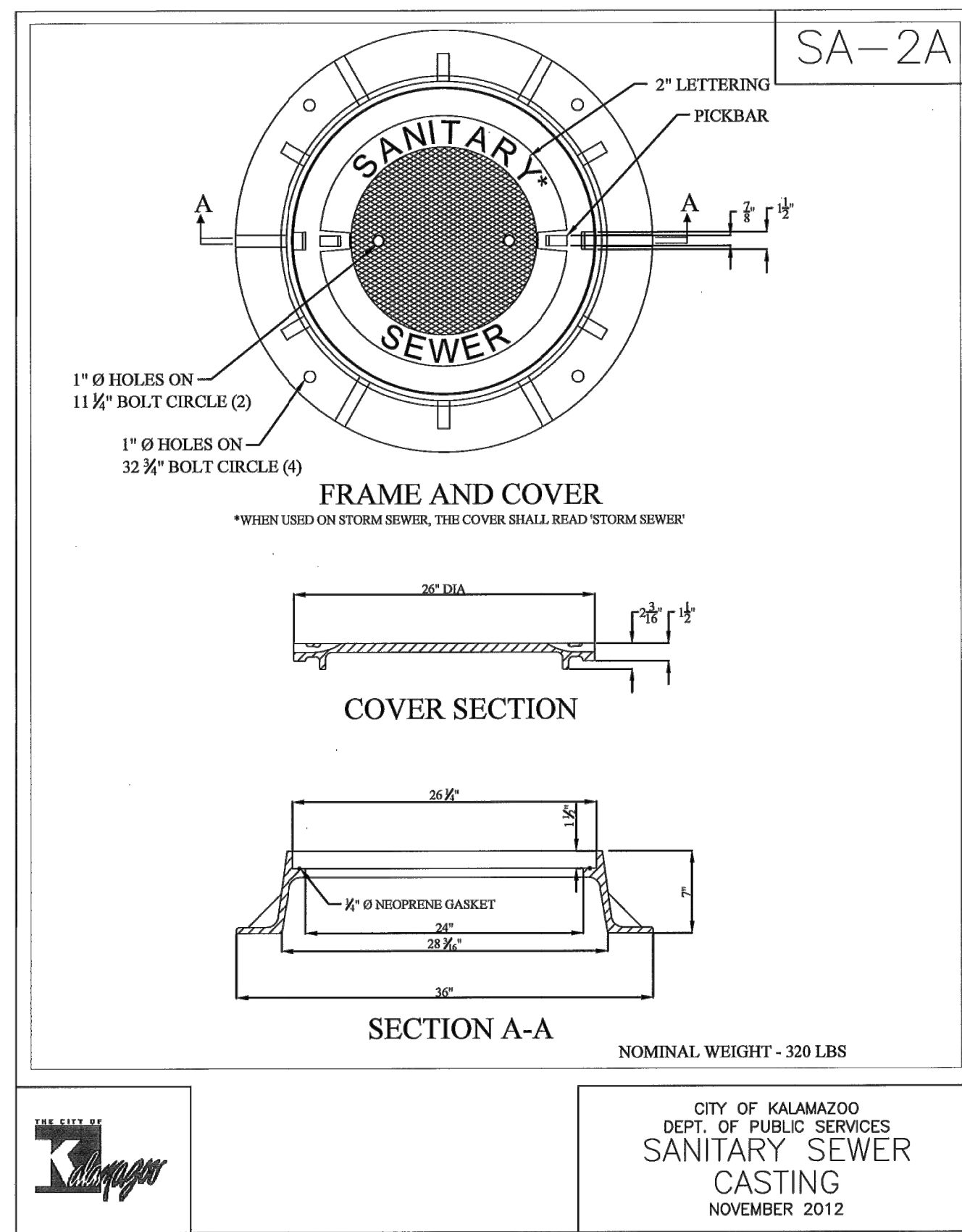
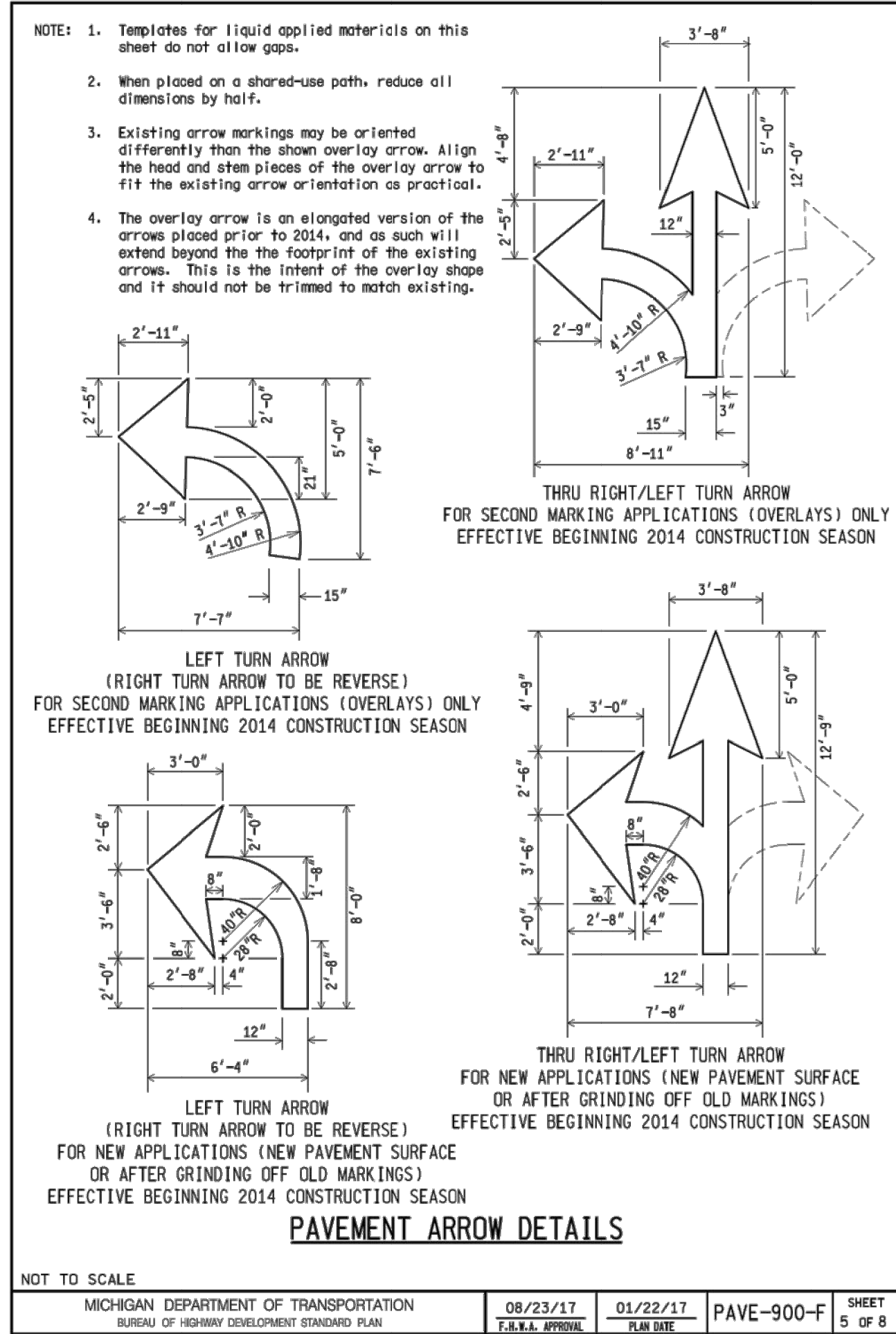
VAA CONCRETE CURB AND GUTTER (MDOT C2) DETAIL
 PLATE NO. C-5030

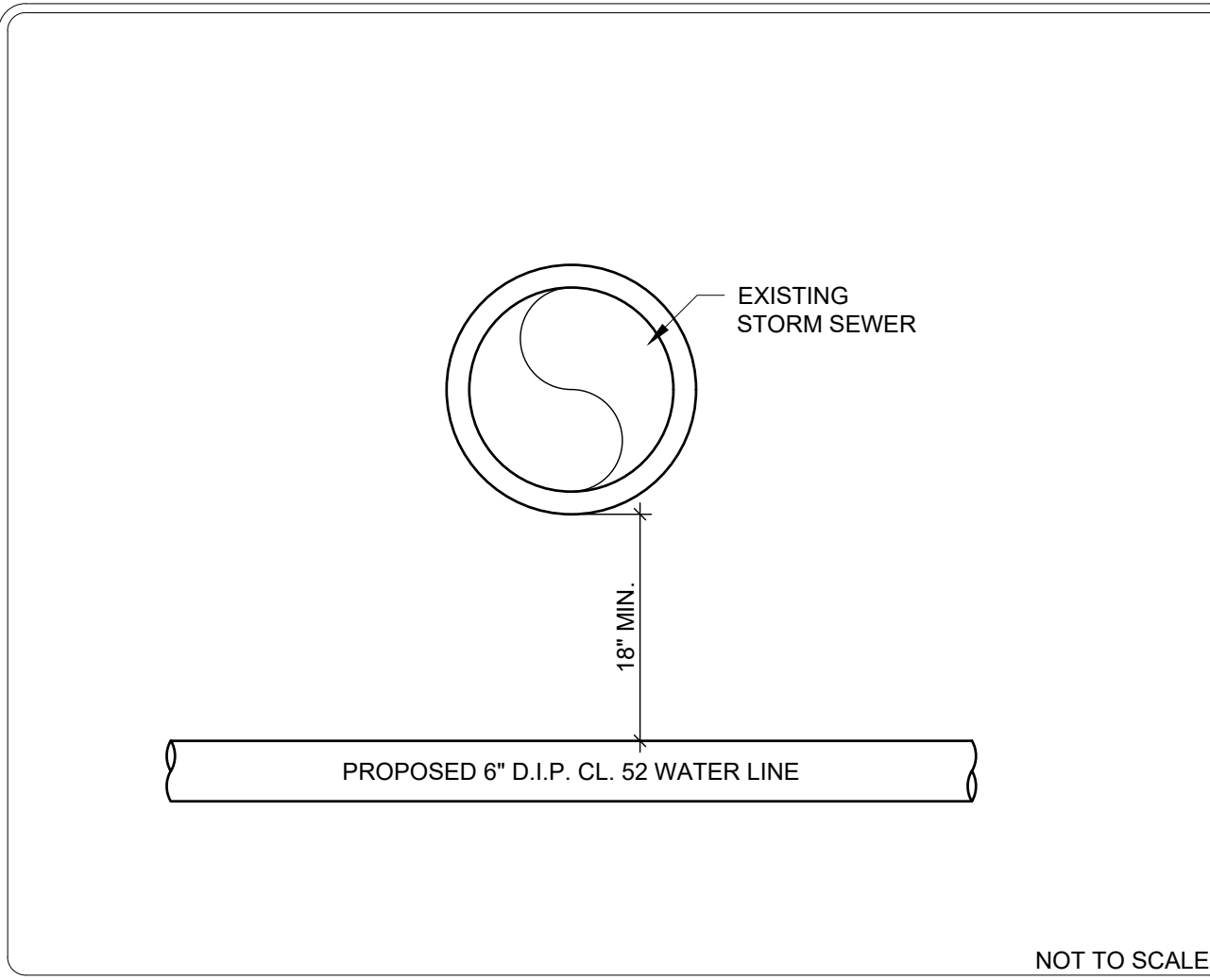


VAA ACCESSIBLE PARKING SIGN DETAIL
 PLATE NO. C-5010

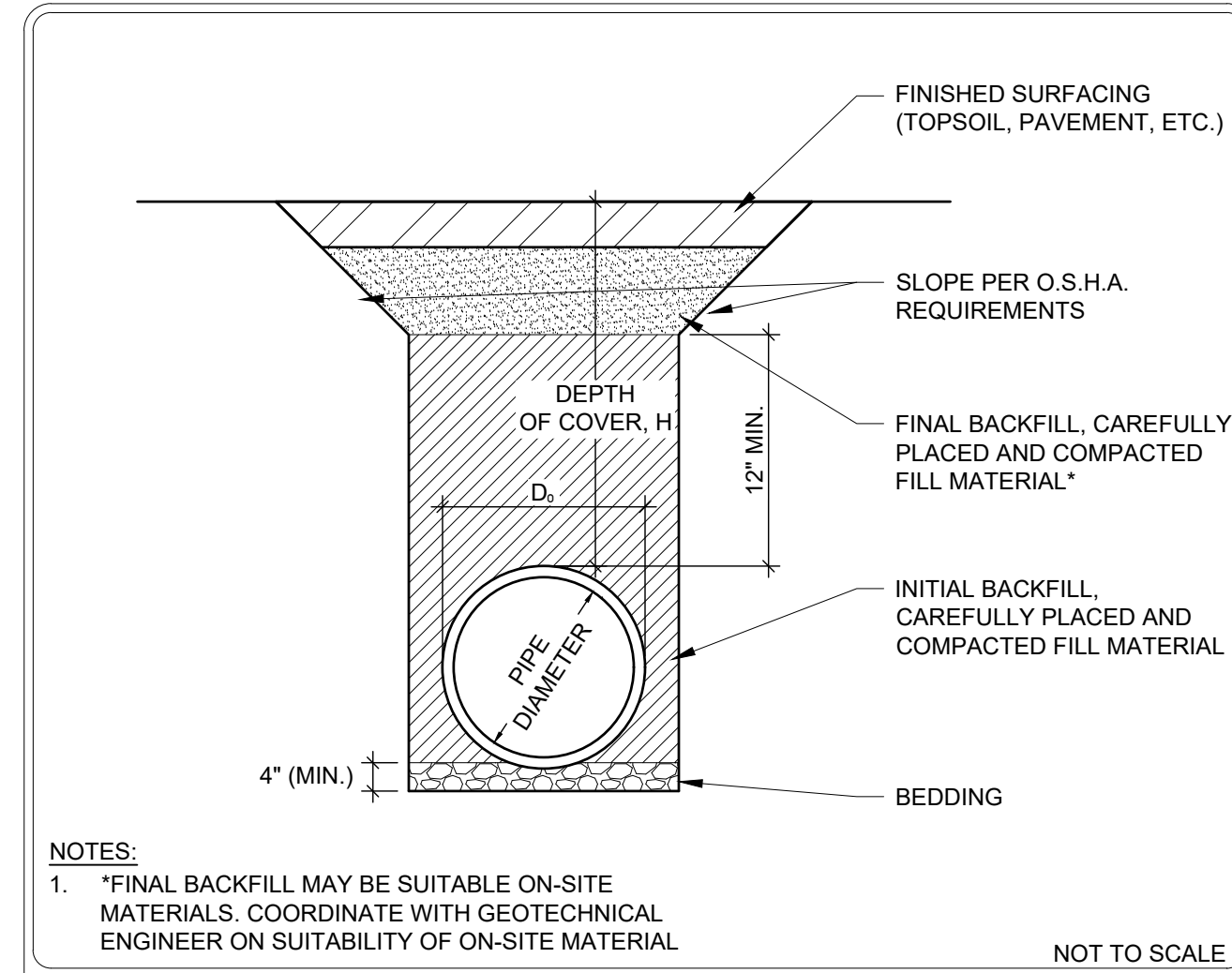


VAA ADA ACCESS STRIPPING / NO PARKING AREA
 PLATE NO. C-5004

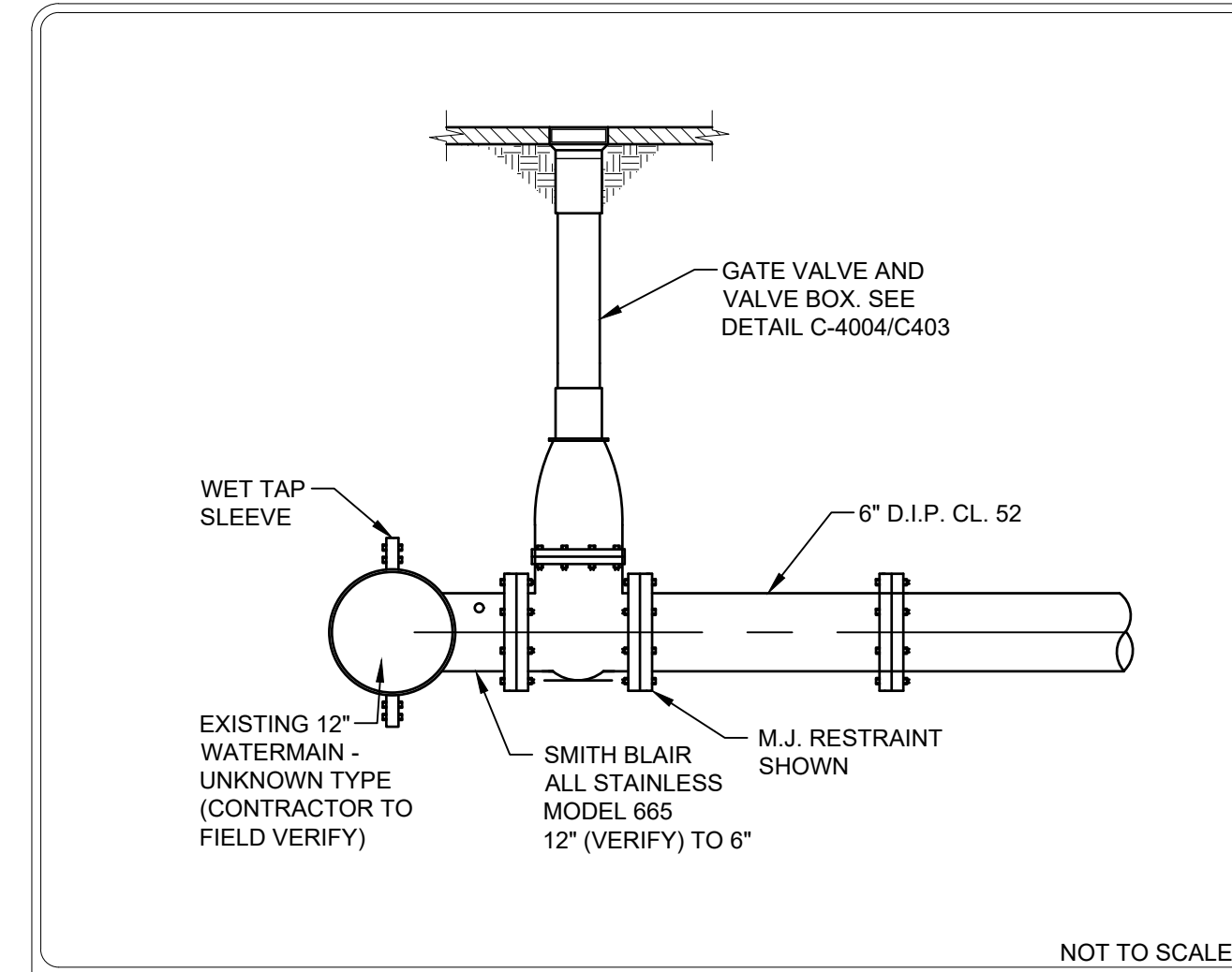




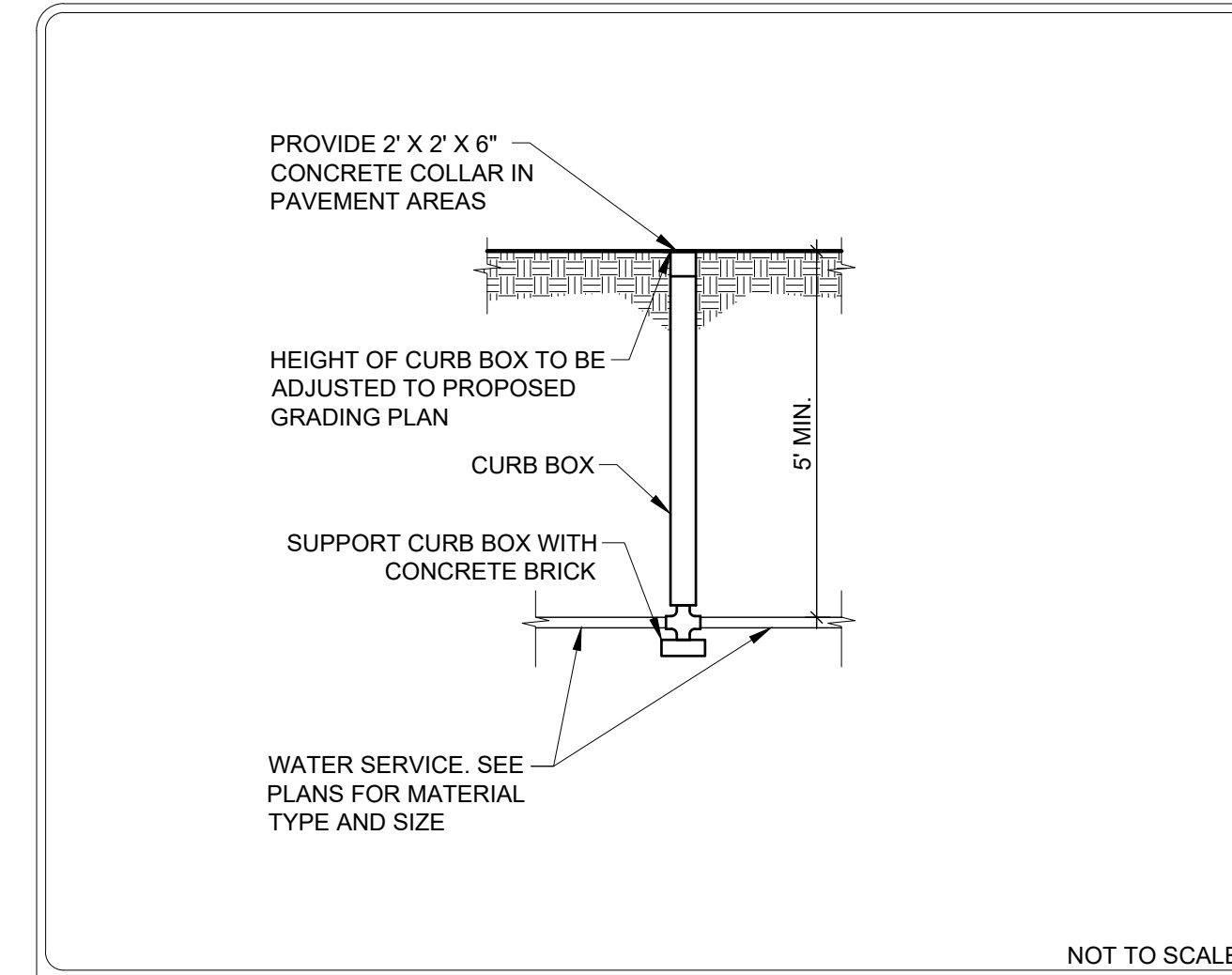
VAA VERTICAL SEPARATION AT WATERMAIN AND STORM SEWER
 PLATE NO. C-4015



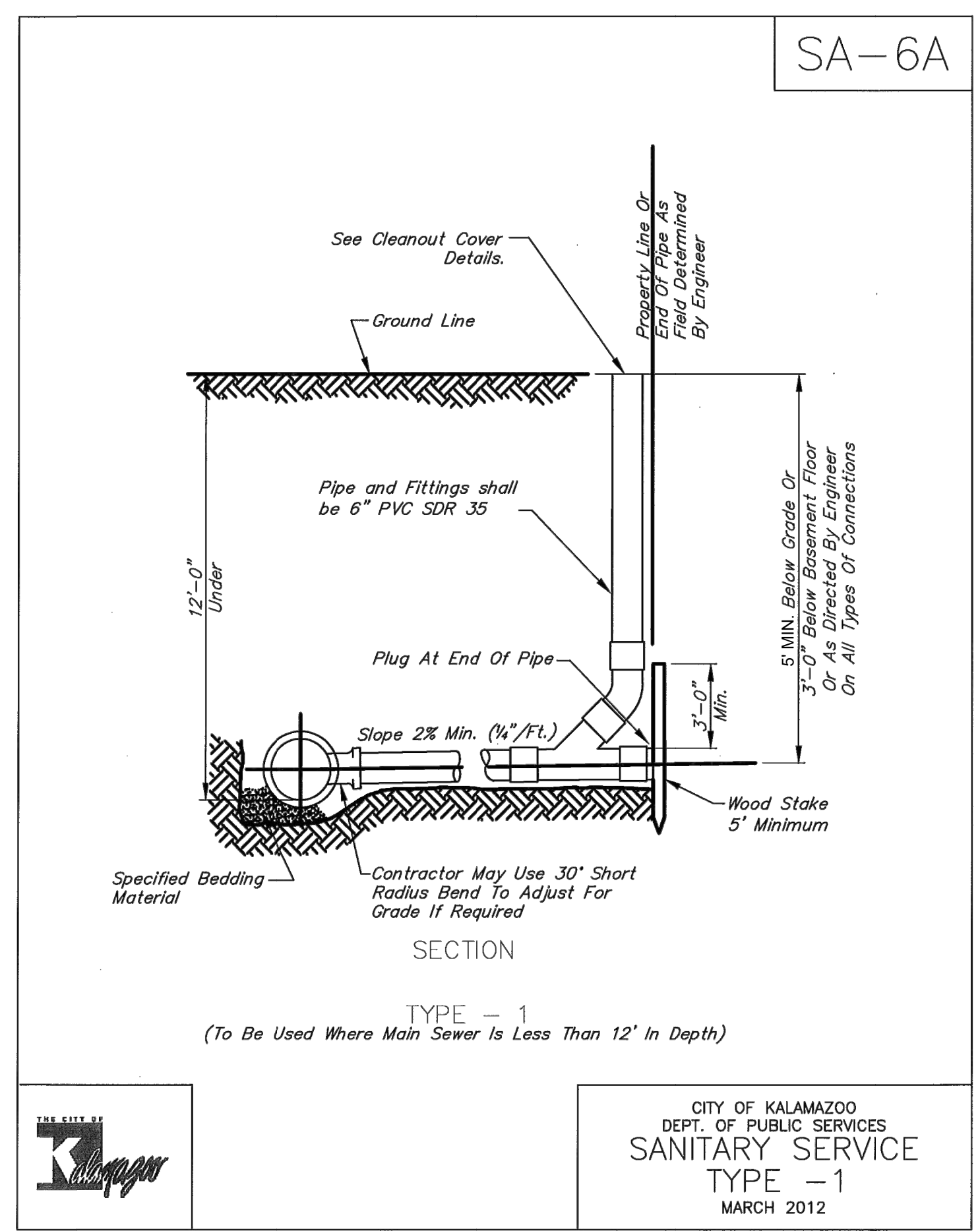
VAA PVC/HDPE PIPE BEDDING - CATEGORY II SOILS DETAIL
 PLATE NO. C-6220



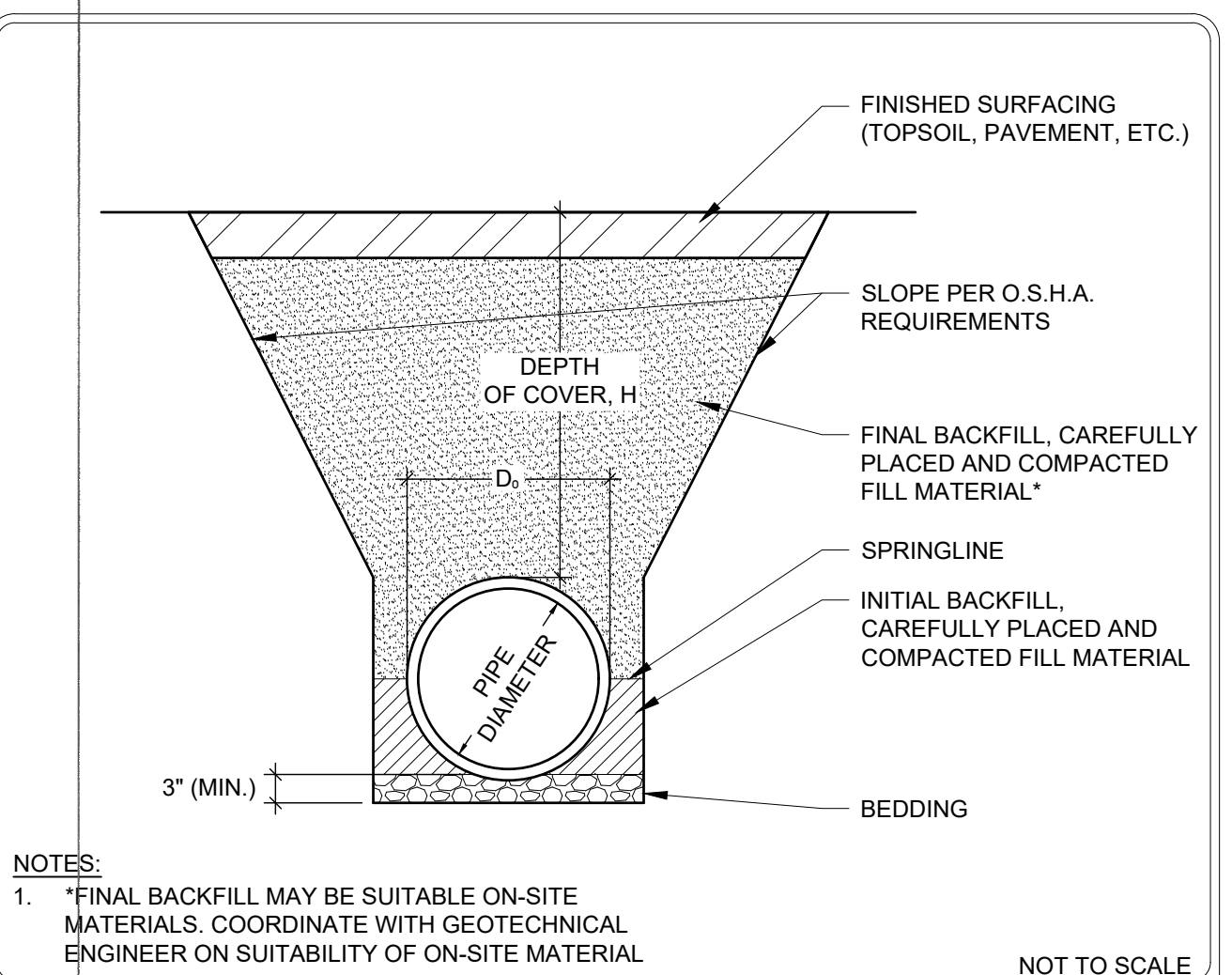
VAA WET TAP DETAIL
 PLATE NO. C-4008



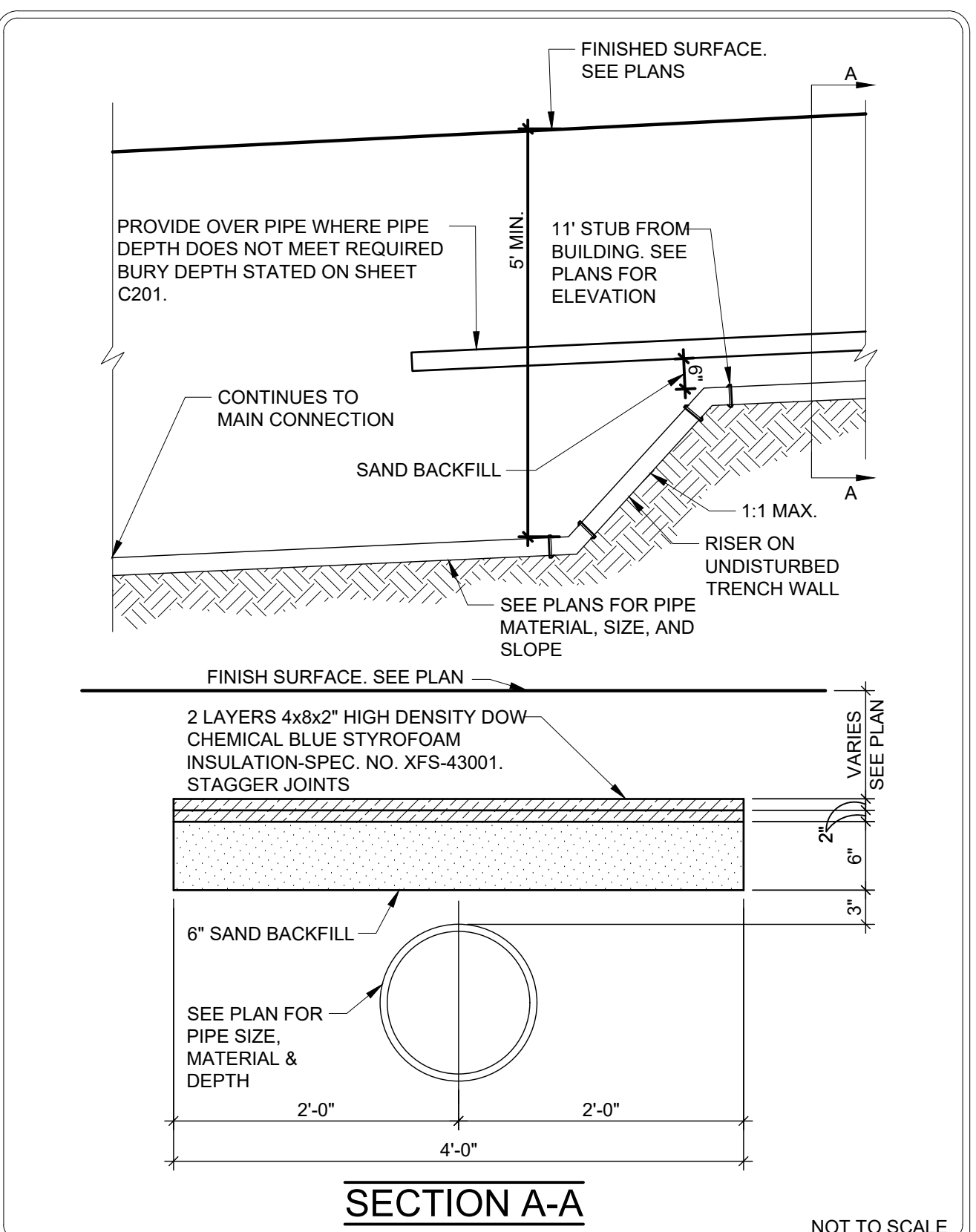
VAA CURB STOP AND BOX DETAIL
 PLATE NO. C-4017



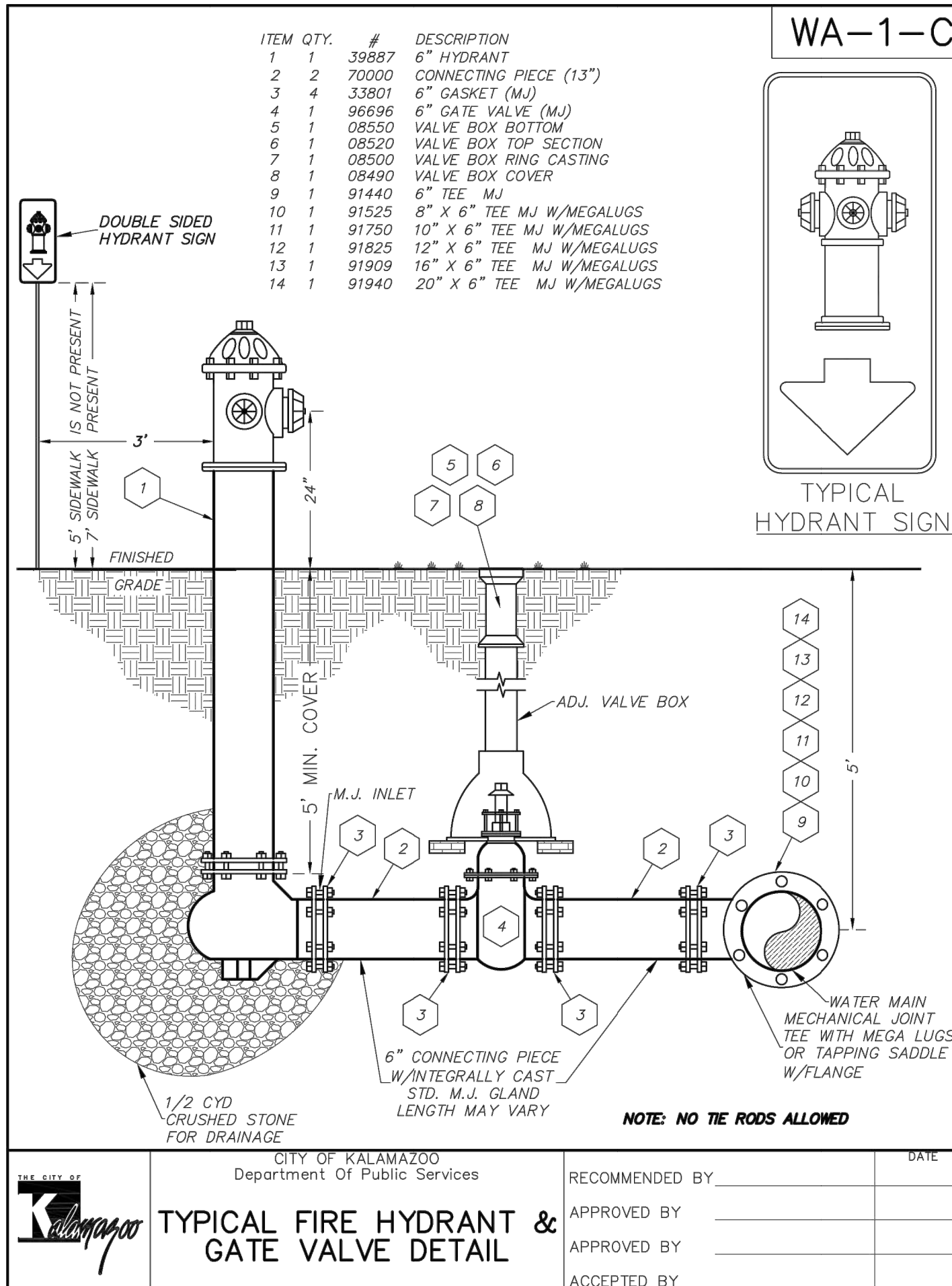
VAA SANITARY SERVICE TYPE - 1
 PLATE NO. C-6200



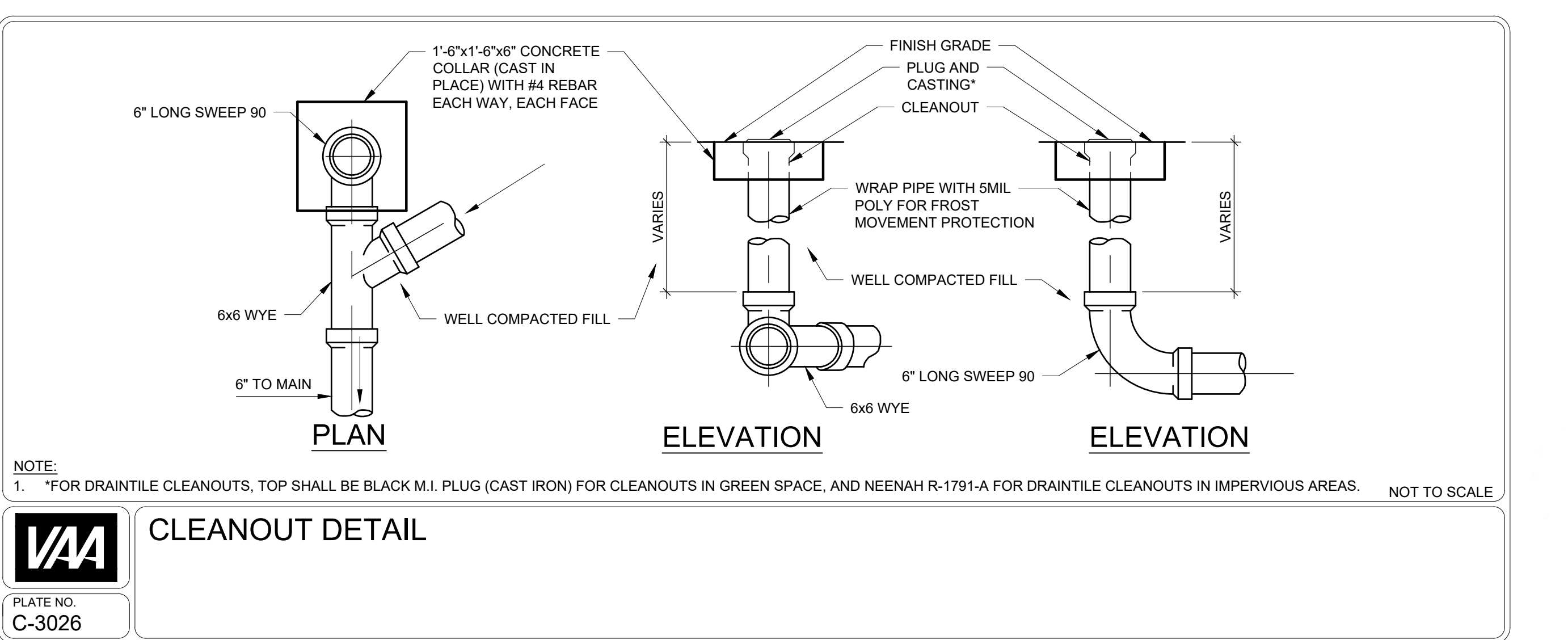
VAA RCP PIPE BEDDING - CATEGORY II SOILS DETAIL
 PLATE NO. C-6200



VAA SANITARY SERVICE INSULATION DETAIL
 PLATE NO. C-2003

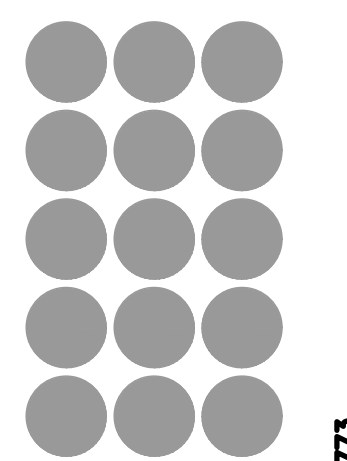


VAA TYPICAL FIRE HYDRANT & GATE VALVE DETAIL
 PLATE NO. C-4017

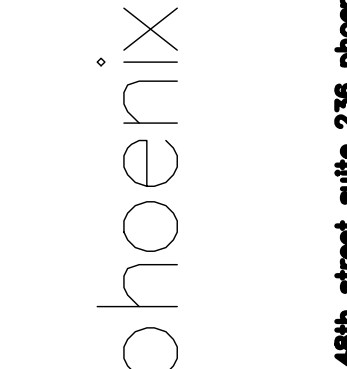


VAA CLEANOUT DETAIL
 PLATE NO. C-3026

VAA, LLC
 2900 Berkshire Lane N.
 55427 Plymouth, MN
 763.559.9100
 www.vaaeng.com
 info@vaaeng.com



8022 S 48th Street Suite 238 Phoenix Arizona 85044 480 461 9773



JIFFY LUBE NEW BUILDING
 OSHTEMO TOWNSHIP, MI

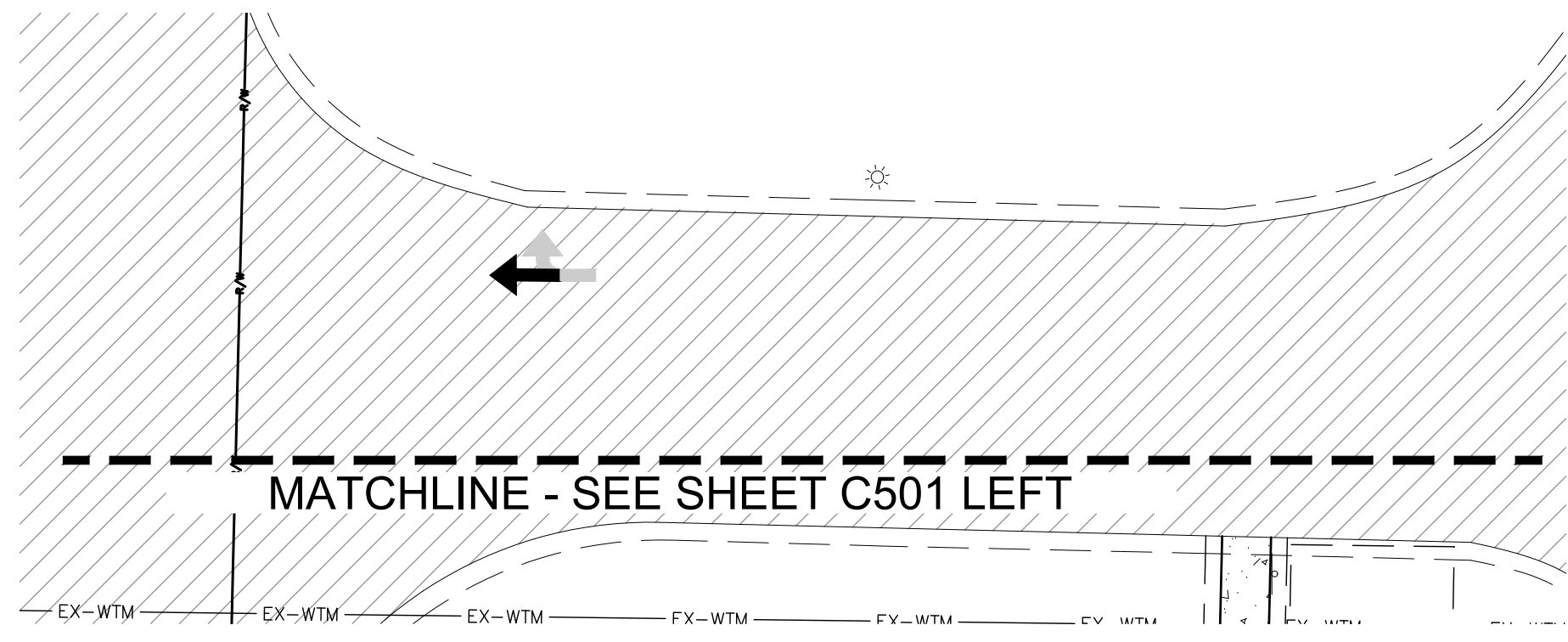
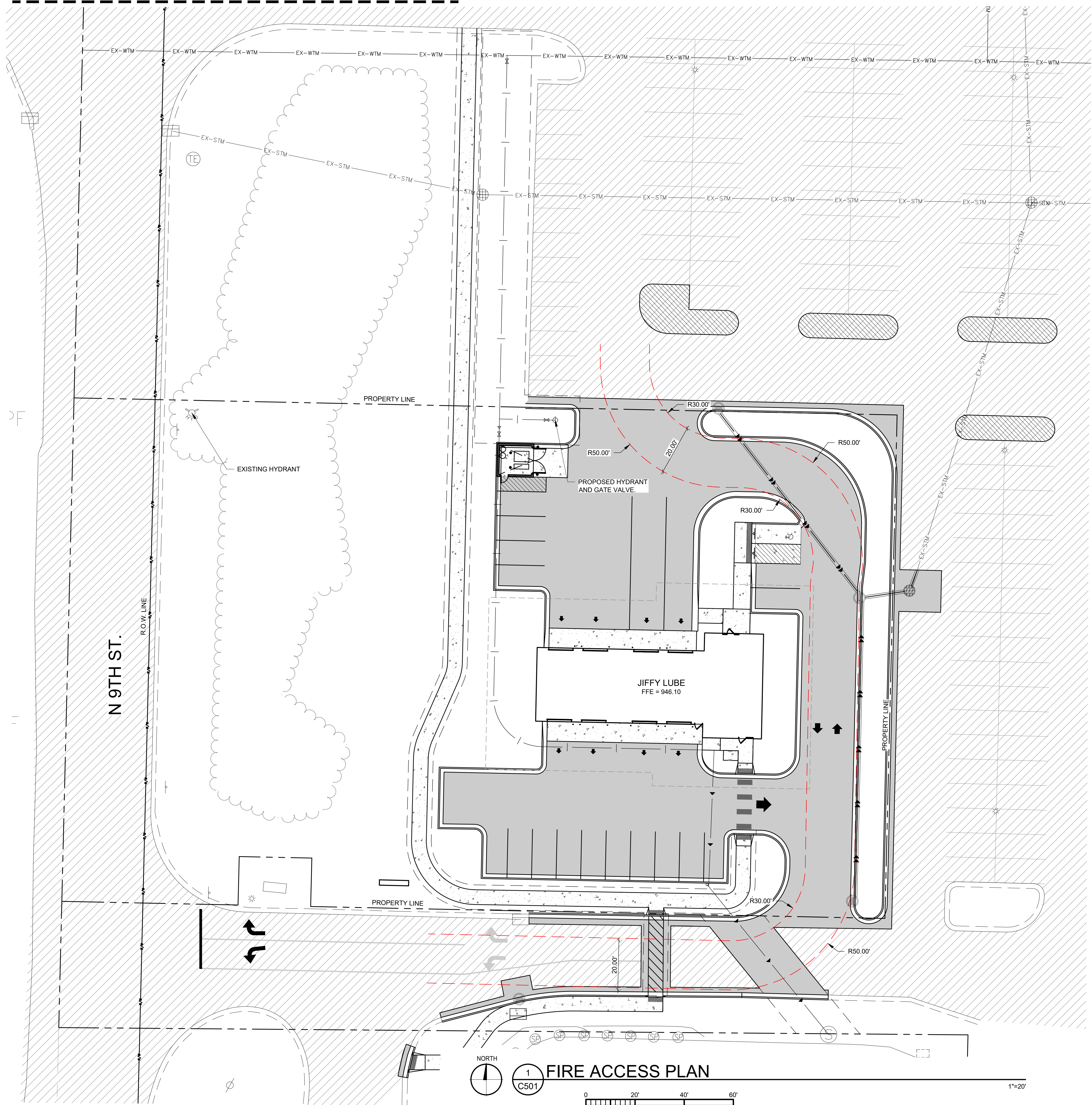
CIVIL DETAILS

JOB NO.: 190685
 DATE: 11/13/20
 REVISION: IFC

DRAWN BY: RCQ
 CHECKED BY: AMB
 SHEET NO. C403



MATCHLINE - SEE SHEET C501 RIGHT



MATCHLINE - SEE SHEET C501 LEFT

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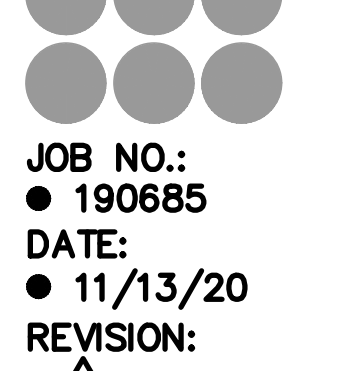
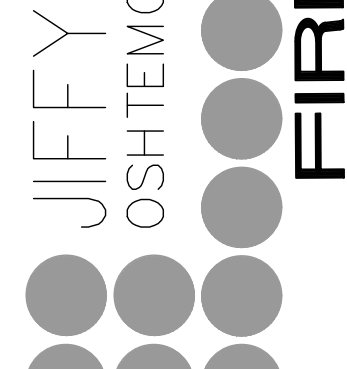
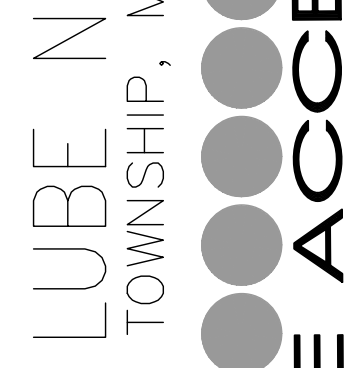
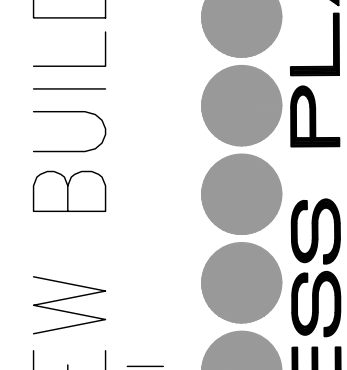
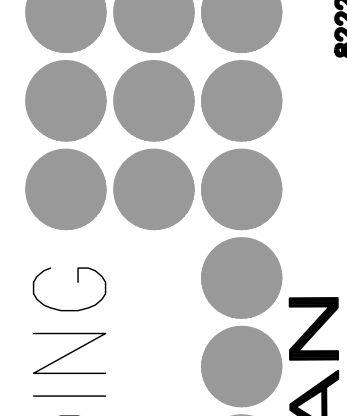
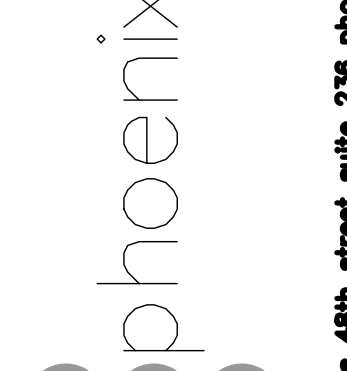
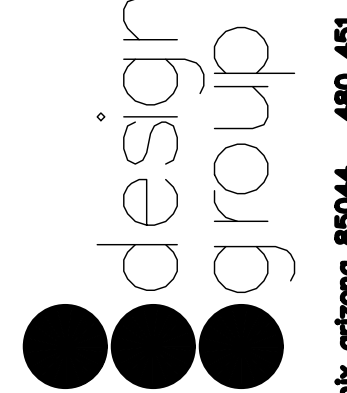
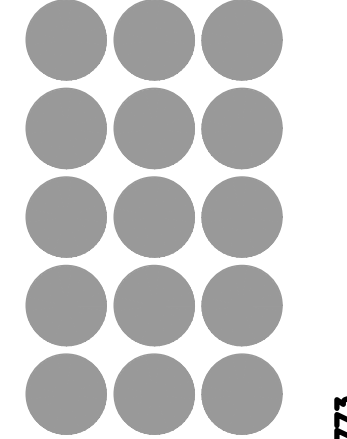
LEGEND

	PROPOSED FIRE LANE
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATERMAIN
	PROPOSED CURB AND GUTTER
	PROPOSED CATCH BASIN
	PROPOSED VALVE
	PROPOSED HYDRANT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING WATER MAIN (NOT SURVEYED)
	EXISTING CURB AND GUTTER
	EXISTING TREE LINE
	EXISTING CURB INLET
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING TELEPHONE PEDESTAL
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING BITUMINOUS PAVEMENT

1 FIRE ACCESS PLAN



VAA, LLC
2900 Barkshire Lane N.
55427 200 Plymouth, MN
55454
763.559.9100
www.vaaeng.com
info@vaaeng.com



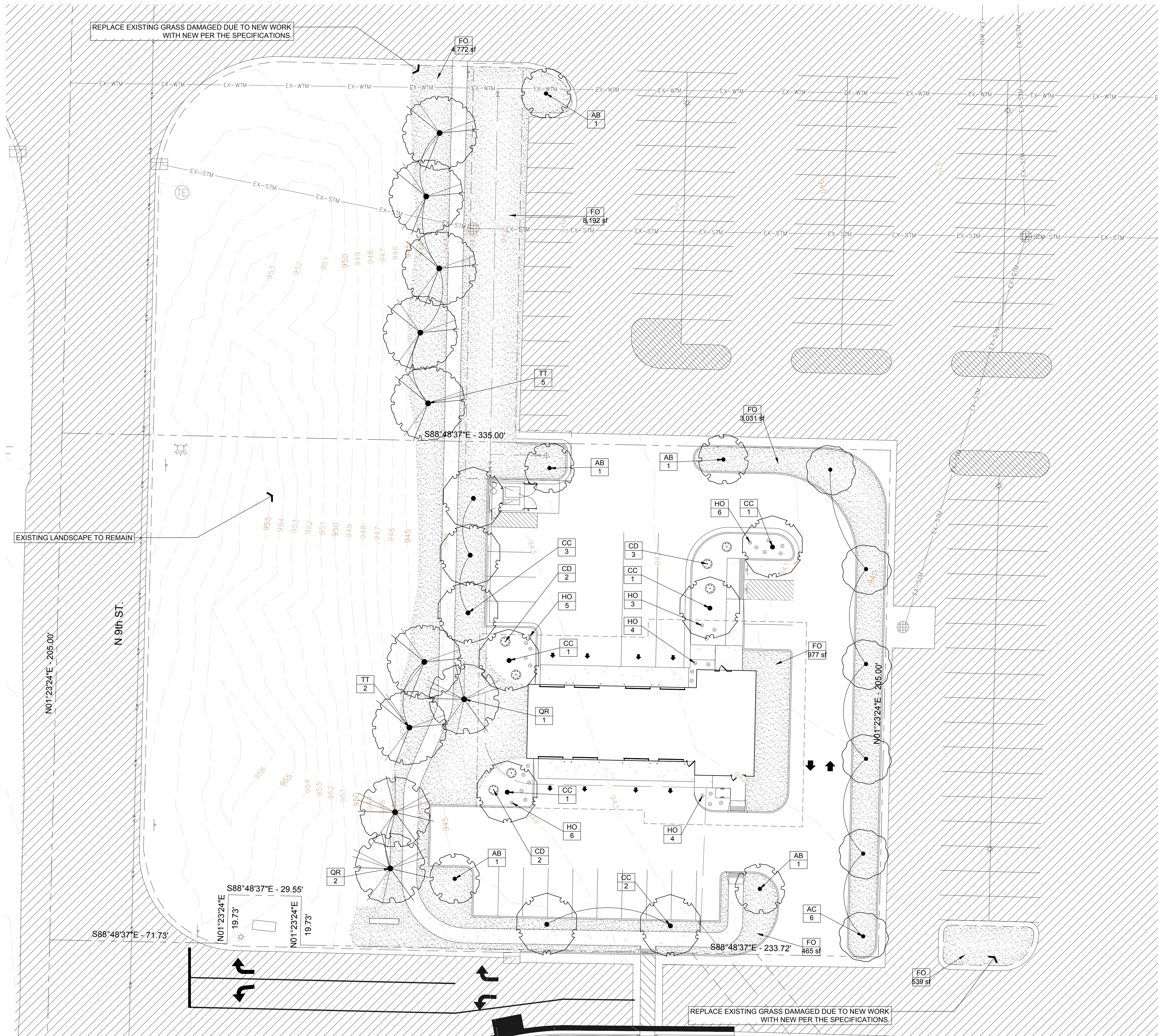
JIFFY LUBE NEW BUILDING
OSHTEMO TOWNSHIP, MI
FIRE ACCESS PLAN

JOB NO.: 190685
DATE: 11/13/20
REVISION:
● IFC
● RCQ
● AMB
SHEET NO.



C501

8222 S 48th Street Suite 238 Phoenix Arizona 85044 480 461 9773



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	QTY.
AB	AB	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	8" Trunk		5
AC	AC	Amelanchier canadensis 'Shadow'	Shadow Serviceberry	8" Trunk		6
CC	CC	Cercis canadensis	Eastern Redbud	8" Trunk		9
QR	QR	Quercus rubra	Red Oak		2"	3
TT	TT	Tilia tomentosa 'PN 6551 TM'	Green Mountain Silver Linden		2"	7
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	
CD	CD	Caryopteris x candoneis 'Dark Knight'	Dark Knight Bluebeard	#3 Pot		7
HO	HO	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	#1 Can		28
TURFLAWN	CODE	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	
FO	FO	Fast Grow Lawn Mixture 50% Perennial Ryegrass 20% Kentucky Bluegrass 15% Turf Type Tall Fescue 15% Annual Ryegrass	Perennial Ryegrass / Kentucky Bluegrass Hybridseed		17,877 sf	

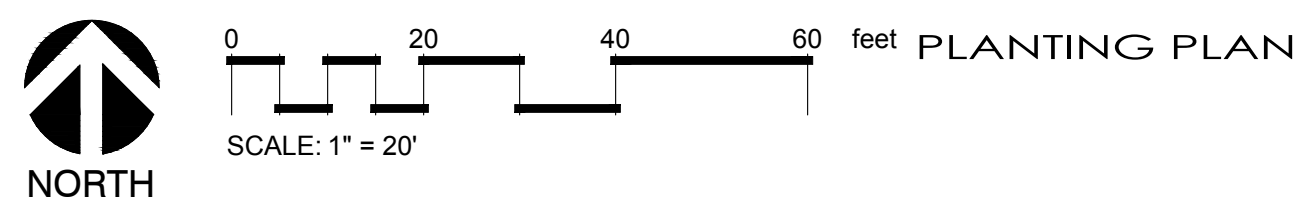
- LANDSCAPE NOTES:**
- PLACE SHREDDED HARDWOOD BARK MULCH ON TOA UNIFORM 4" DEPTH IN ALL TREE & SHRUB BEDS & TO A DEPTH OF 2" IN PERENNIAL L / GROUND COVER AREAS.
 - NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH DEVELOPED BRANCHING SYSTEMS AND VIGOROUS, HEALTHY ROOT SYSTEMS.
 - STAKING/GUYING TREES SHALL TAKE PLACE WHERE PLANTS ARE EXPOSED TO DIRECT WEST WIND OR HAVE A ROOT SYSTEM THAT WHEN PLANTED BECOMES LOOSE AFTER WATERING BACKFILL WHEN PLANTING. THIS SHALL BE AT THE DISCRETION OF THE LANDSCAPE CONTRACTOR.
 - PLANT MIX BACKFILL SHALL BE A BLEND OF 1/3 TOPSOIL, 1/3 SAND, 1/3 PEAT OR COMPOST.
 - ALL EDGING IS TO BE STANDARD COMMERCIAL EDGING 1 1/2" x 4" MILL FINISH EDGING AND INSTALL PER DETAIL. ALL AREAS WHERE TURF BED MEETS PLANTING BEDS OR MAINTENANCE STRIP IS TO HAVE EDGING.
 - ALL PLANTING BEDS ADJACENT TO TURF HAVE 1/2" x 4" ALUMINUM EDGING UNLESS NOTED.
 - ALL MAINTENANCE STRIP STONE IS TO BE CLEAN WASHED 3/4" CRUSHED NATURAL STONE ON DEWITT WEED BARRIER OR DUPONT TYKOR OR EQUAL HEAVY FABRIC FOR WEED CONTROL.
 - ALL PLANT MATERIALS HAVE A ONE YEAR WARRANTY WHICH STARTS UPON AGREED UPON SUBSTANTIAL COMPLETION DATE BY OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS WHICH INCLUDES BUT IS NOT LIMITED TO WATERING, CONTROLLING WEED GROWTH, FERTILIZING, PRUNING, TRIMMING FOR DURATION OF CONSTRUCTION AND UNTIL AGREED UPON SUBSTANTIAL COMPLETION.
 - ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF PLANTING AND REPEATED AS NECESSARY TO ENSURE HEALTHY NURSERY STOCK.
 - MAINTAIN ALL PLANT MATERIALS DURING THE ENTIRE DURATION OF CONSTRUCTION THROUGH SUBSTANTIAL COMPLETION.
 - CONTRACTOR TO CARRY ONE YEAR WARRANTY ON ALL PLANT MATERIALS.
 - ALL PLANTING BEDS TO HAVE 4" HARDWOOD BARK MULCH UNLESS NOTED AND REQUIRED 6" PLANT MIX (1% SAND, 1/3 TOPSOIL, 1/3 COMPOST) FILLED INTO NATIVE SOIL.
 - ALL PROPOSED TREES ARE TO BE STAKED IF OPEN EXPOSURE TO DIRECT WEST WIND OR UPON INSTALLATION APPEAR TO BE UNSTABLE IN ROOTBALL.
 - ONE YEAR WARRANTY ON PLANT MATERIALS WHICH STARTS AFTER SUBSTANTIAL COMPLETION AND 60 DAY MAINTENANCE ON TURF UNTIL FINAL ACCEPTANCE.

- SEEDING:**
- PRIOR TO ANY SEEDING, CONTRACTOR MUST OBTAIN A MINIMUM OF THREE SOIL SAMPLES OF DIFFERENT TOPSOIL AREAS ON SITE TO DETERMINE IF ANY AMENDMENTS ARE NEEDED FOR SEEDING AREAS.
 - ALL MOHABLE CLASS A LAWN AREAS SHALL BE HYDROSEED WITH THE FOLLOWING MIXTURE:
50% PERENNIAL RYEGRASS
20% KENTUCKY BLUEGRASS
15% TURF-TYPE TALL FESCUE
15% ANNUAL RYEGRASS
AT A RATE OF 8 LBS./1,000 S.F.
 - ALL DISTURBED ARE TO BE HYDROSEED WITH SPARTAN GRADE TURF MIX USE 19-19-2+ STARTER FERTILIZER
 - ALL NATIVE SEED AREAS SHALL BE APPLIED WITH A NO-TILL SEED DRILL AT A RATE PER SEED MIX SPECIFICATION AND MULCHED WITH CLEAN STRAW MULCH APPLIED AT 2 TON/ACRE.
 - ALL LOW MAINTENANCE FESCUE SHALL BE HYDROSEED OR STRAW MULCHED AND APPLIED WITH A TACKIFIER TO HOLD IN PLACE.
 - ALL AREAS GREATER THAN 1:3 SHALL BE SEED AND MATTED WITH EROSION CONTROL MATTING
 - PROTECT ADJACENT AND ADJOINING SIDEWALKS, PAVEMENTS AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS
 - PRIOR TO PLANTING APPLY GLYPHOSPHATE HERBICIDE TO EXISTING WEED GROWTH IN AREAS TO BE PLANTED WITH NATIVE SEED AND ALL SEED. REPEAT TREATMENT AS NEEDED TO WITHIN FOUR OR FIVE DAYS OF PLANTING FOR ADEQUATE ERADICATION OF WEED GROWTH. BRACKENING OF EXISTING SOIL WEED GROWTH.
 - REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE ANY STICKS, ROOTS, RUBBISH PRIOR TO SEEDING
 - MAINTAIN LAWN AREAS UNTIL A HEALTHY, UNIFORM CLOSE STAND OF GRASS HAS BEEN ESTABLISHED. FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90%.
 - MAINTAIN ALL AREAS FROM EROSION AND RESEED ANY AREAS THAT DO NOT HAVE PROPER GROWTH.
 - LANDSCAPE CONTRACTOR TO PROVIDE PRICE FOR IRRIGATING PROPERTY FOR LAWN AND PLANTING BEDS EFFICIENTLY

PLANTING REQUIREMENTS:

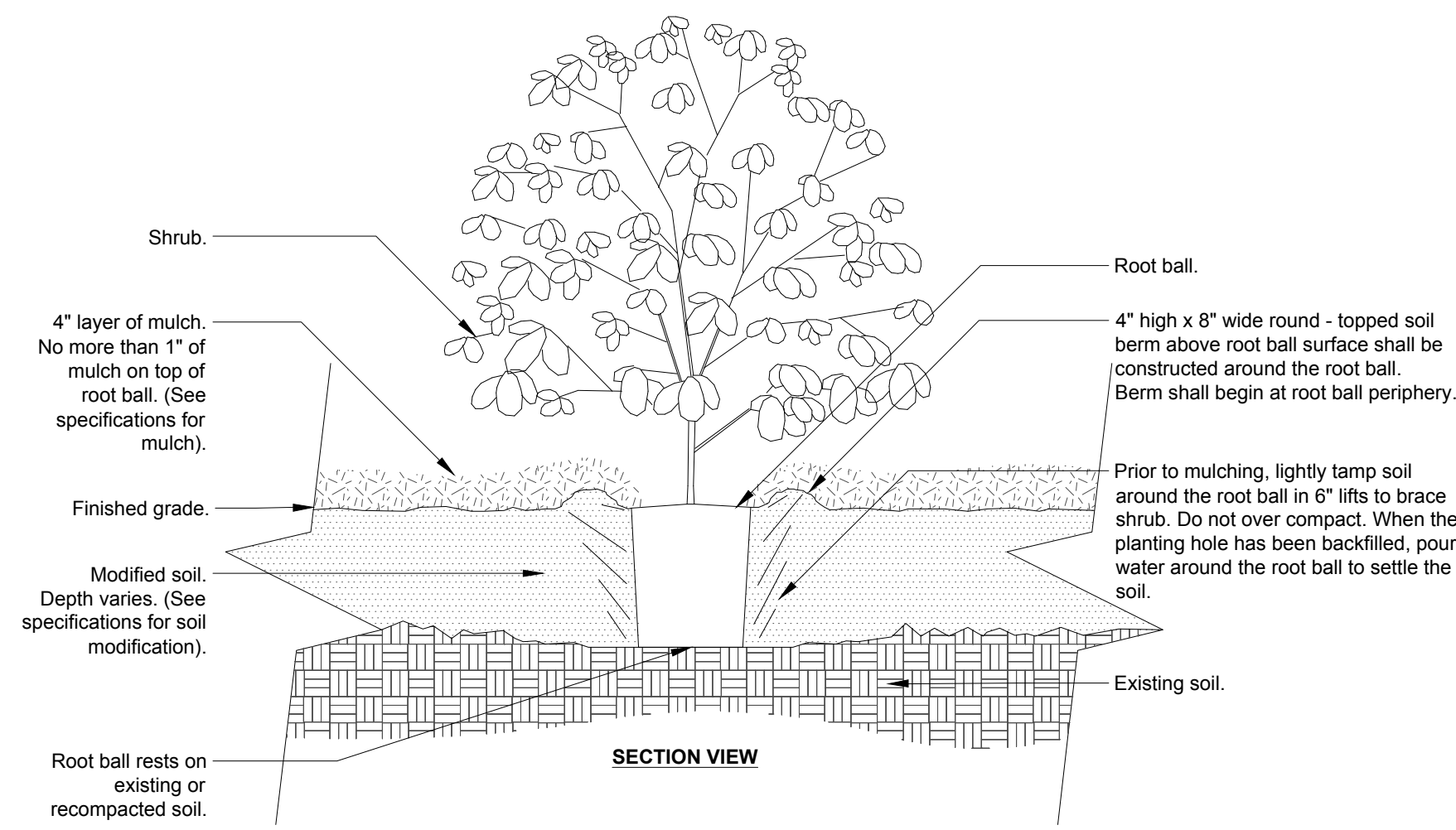
Trees and Shrubs Required:
10 canopy trees
20 understory trees
4 shrubs

Trees and Shrubs Provided:
10 canopy trees
20 understory trees
28 shrubs



phoenix design group
JIFFY LUBE NEW BUILDING
OSHTEMO TOWNSHIP, MI
 JOB NO.: 190625
 DATE: 01/07/21
 REVISION: IFC
 DRAWN BY: RC
 CHECKED BY: RLC
 SHEET NO.

8222 s 48th street suite 236 phoenix, arizona 85044 480 451 9773

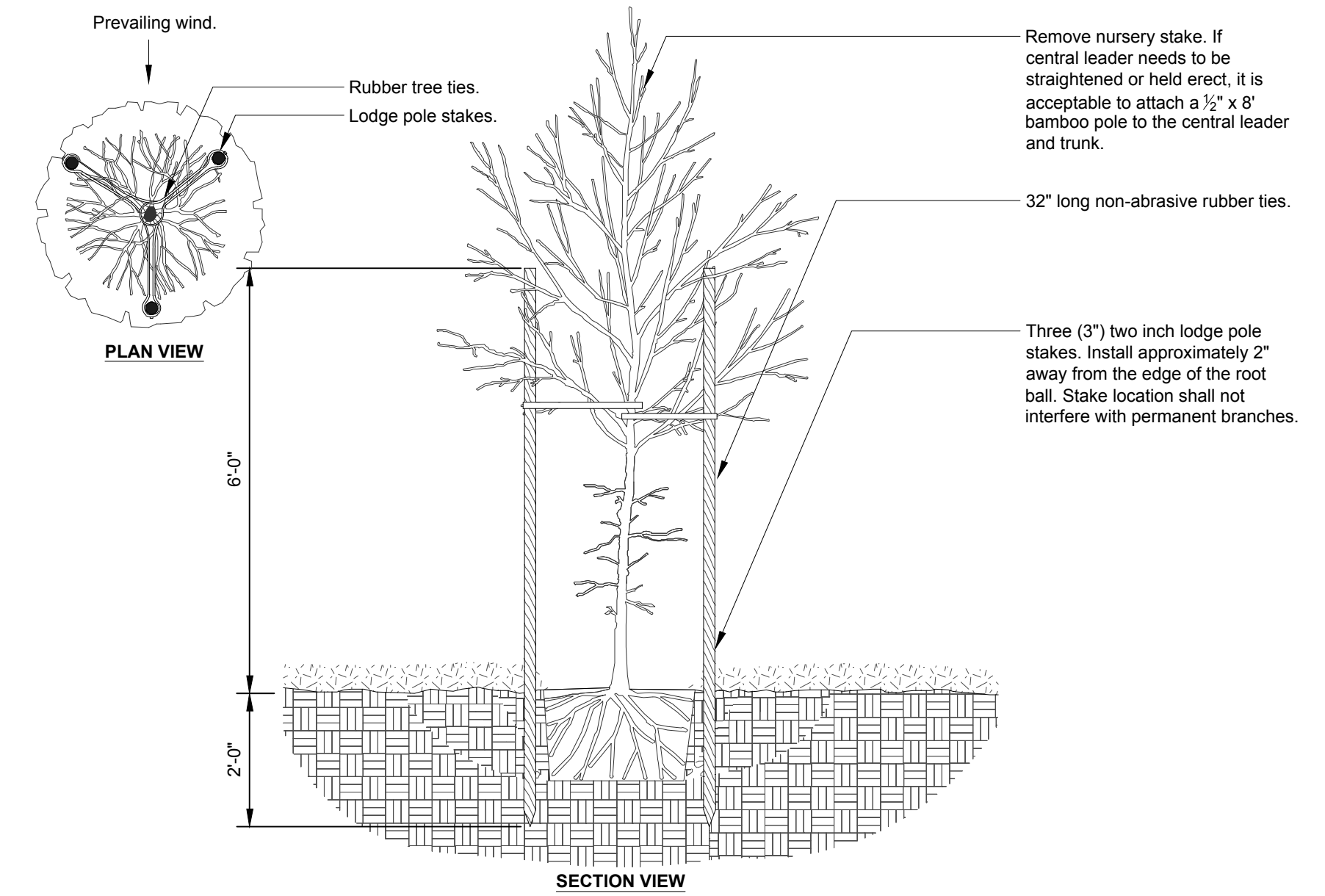


- Notes:
- 1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
 - 2- See specifications for further requirements related to this detail.

1 SHRUB - MODIFIED SOIL

3/4" = 1'-0"

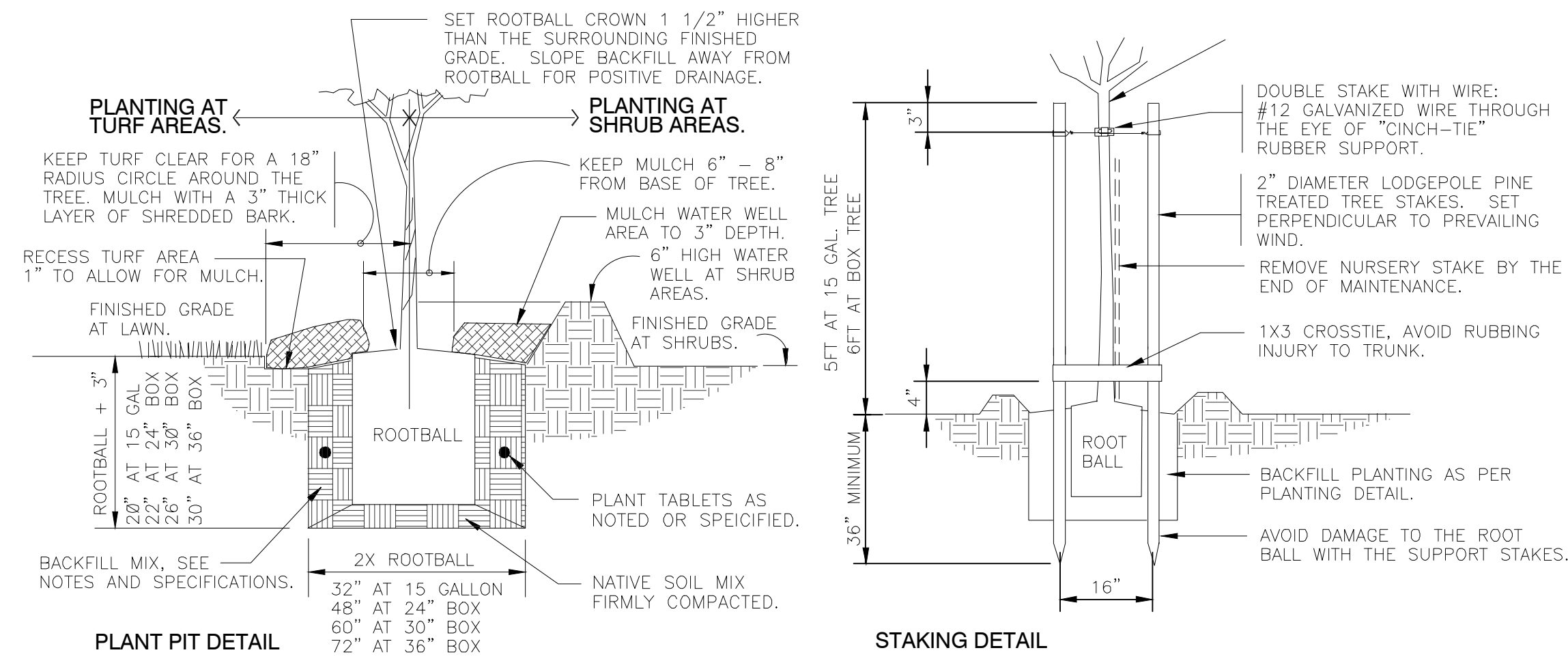
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P-CO-20.20231-03



4 TREE STAKING - LODGE POLES (3)

1/2" = 1'-0"

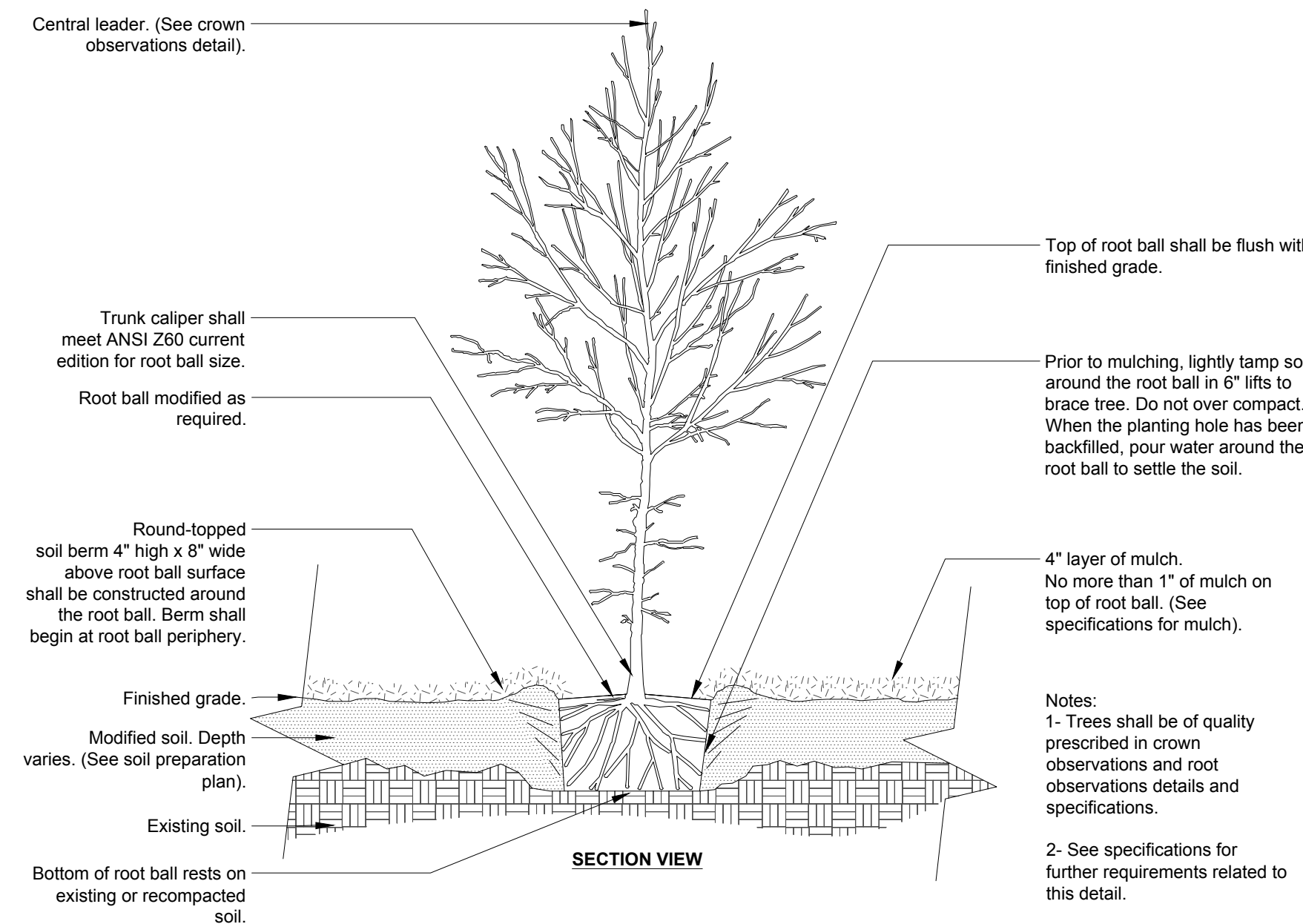
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P-CO-20.20231-26



2 TREE DOUBLE STAKE PLANTING

1" = 1'-0"

P-CO-20.20231-11

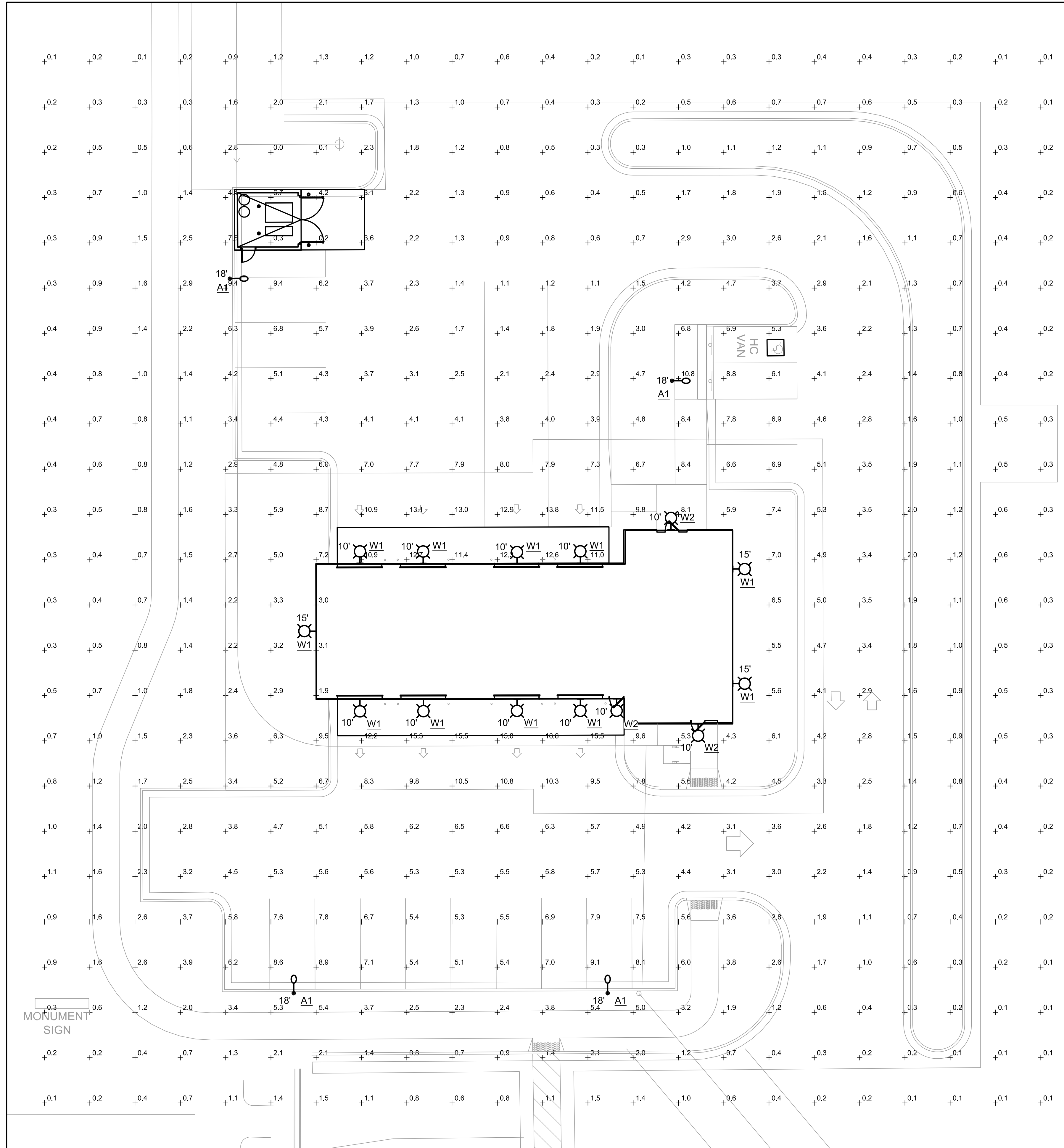


- Notes:
- 1- Trees shall be of quality prescribed in crown observations and root observations details and specifications.
 - 2- See specifications for further requirements related to this detail.

3 TREE W/ BERM (EXISTING SOIL MODIFIED)

1/2" = 1'-0"

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1 LIGHTING PHOTOMETRICS

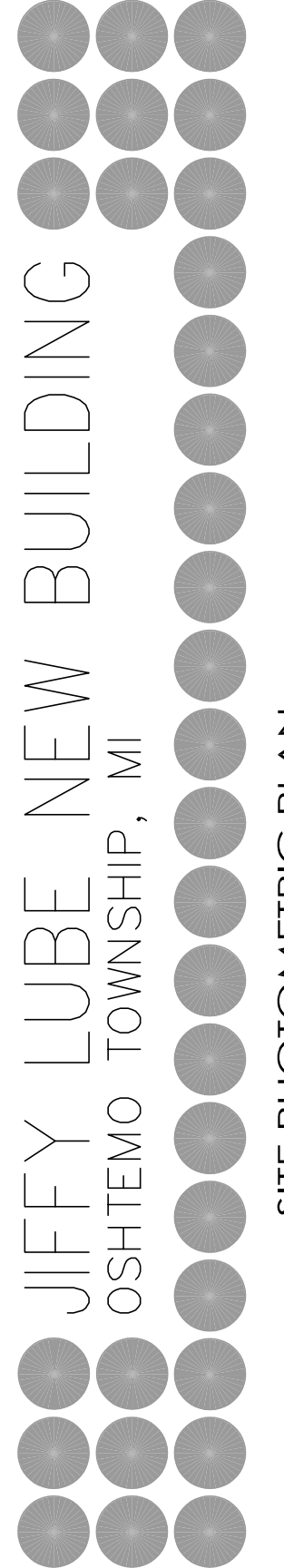
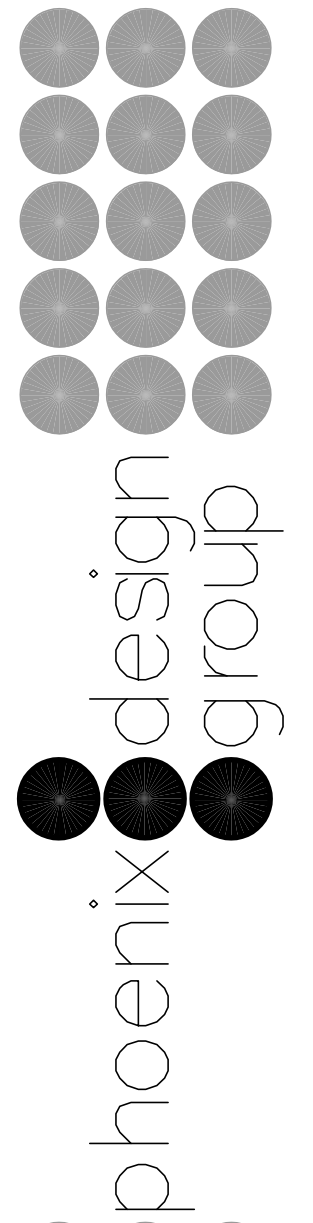
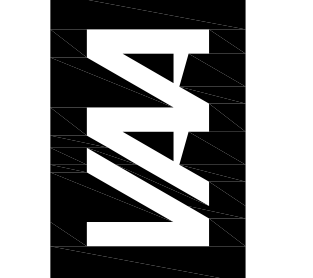
LIGHTING FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	MFR. / CAT. NO.	QUANTITY / LAMP TYPE	INPUT POWER / VOLT	REMARKS/ACCESSORIES
A1	ROADWAY "COBRA HEAD" TYPE 3 DISTRIBUTION MOUNTED 18' ABOVE GRADE	AMERICAN ELECTRIC LIGHTING CAT. NO. AT10200LEDE10R4 POLE CAT. NO. BR100152Z1250RFLNDRZ/AB	LED	204 WATT / (120-277V)	
W1	WALL-PAK WET LOCATION - WALL MOUNT LED FORWARD THROW REFRACTOR (ABOVE MAN DOORS)	HOLOPHANE CAT. NO. W40LED30C100040KT3MMVOLTSPD	LED	104 WATT / MULTIVOLT (120-277V)	
W2	WALL-PAK WET LOCATION - WALL MOUNT LED FORWARD THROW REFRACTOR (ABOVE MAN DOORS)	HOLOPHANE CAT. NO. H40LED30C100040KT3MMVOLTSPD	LED	28 WATT / MULTIVOLT (120-277V)	

2 LIGHTING FIXTURE SCHEDULE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Layout	+	2.9 fc	16.8 fc	0.0 fc	N/A	N/A

3 LIGHTING RATIOS

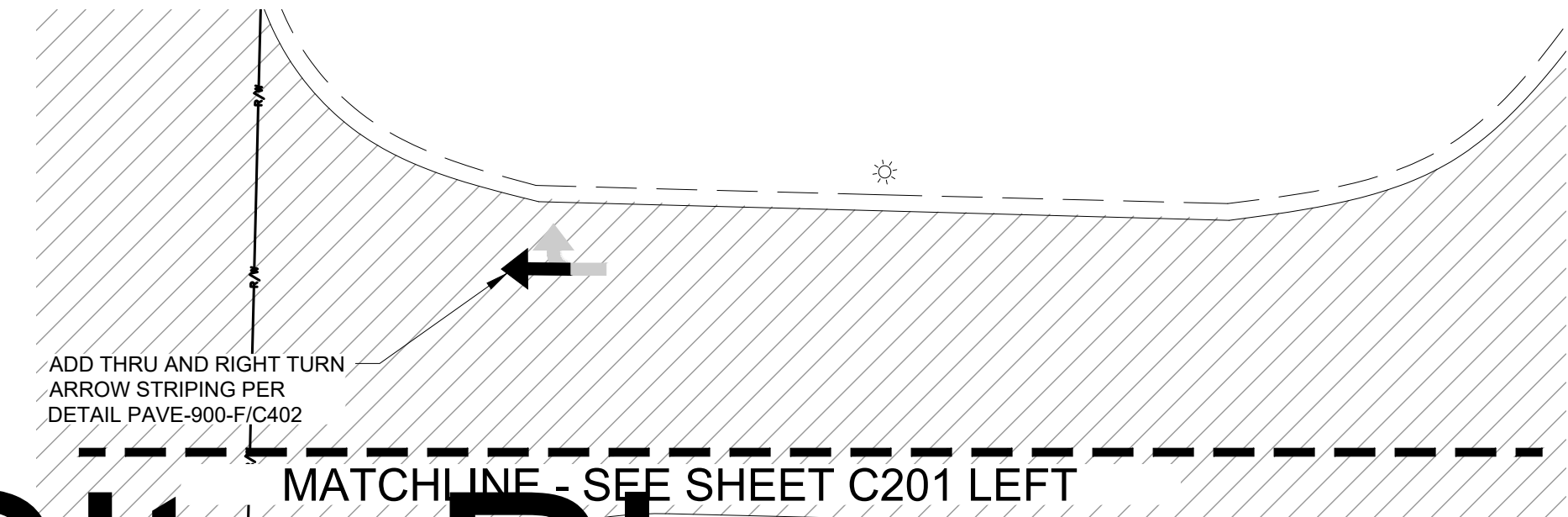
VAA, LLC
2000 Berkshire Lane N.
55441 Plymouth, MN
763.659.9100
www.vaaeng.com
info@vaaeng.com



JIFFY LUBE NEW BUILDING
OSHTOMO TOWNSHIP, MI
SITE PHOTOMETRIC PLAN

JOB NO.: 120628
DATE: 11/13/20
REVISION:
IFC
DRAIN BY: RCG
CHECKED BY: AMB
SHEET NO.: E100

8222 s 48th street suite 236 phoenix arizona 85044 480 461 9773



Previously Approved Site Plan

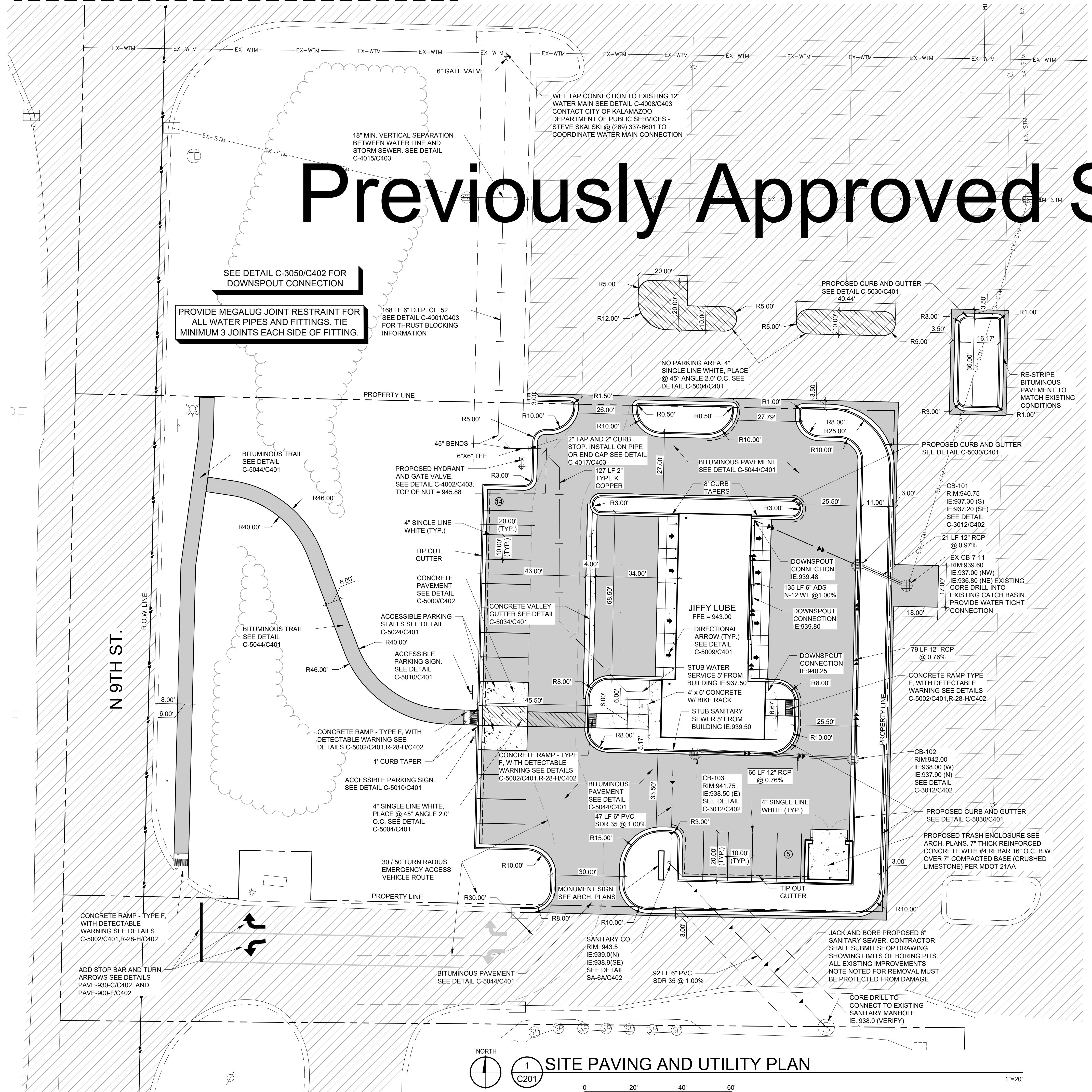
SEE DETAIL C-3050/C402 FOR DOWNSPOUT CONNECTION

PROVIDE MEGALUG JOINT RESTRAINT FOR ALL WATER PIPES AND FITTINGS. TIE MINIMUM 3 JOINTS EACH SIDE OF FITTING.

18" MIN. VERTICAL SEPARATION BETWEEN WATER LINE AND STORM SEWER. SEE DETAIL C-4015/C403

WET TAP CONNECTION TO EXISTING 12" WATER MAIN SEE DETAIL C-4008/C403 CONTACT CITY OF KALAMAZOO DEPARTMENT OF PUBLIC SERVICES - STEVE SKALSKI @ (269) 337-8801 TO COORDINATE WATER MAIN CONNECTION

MATCHLINE - SEE SHEET C201 LEFT



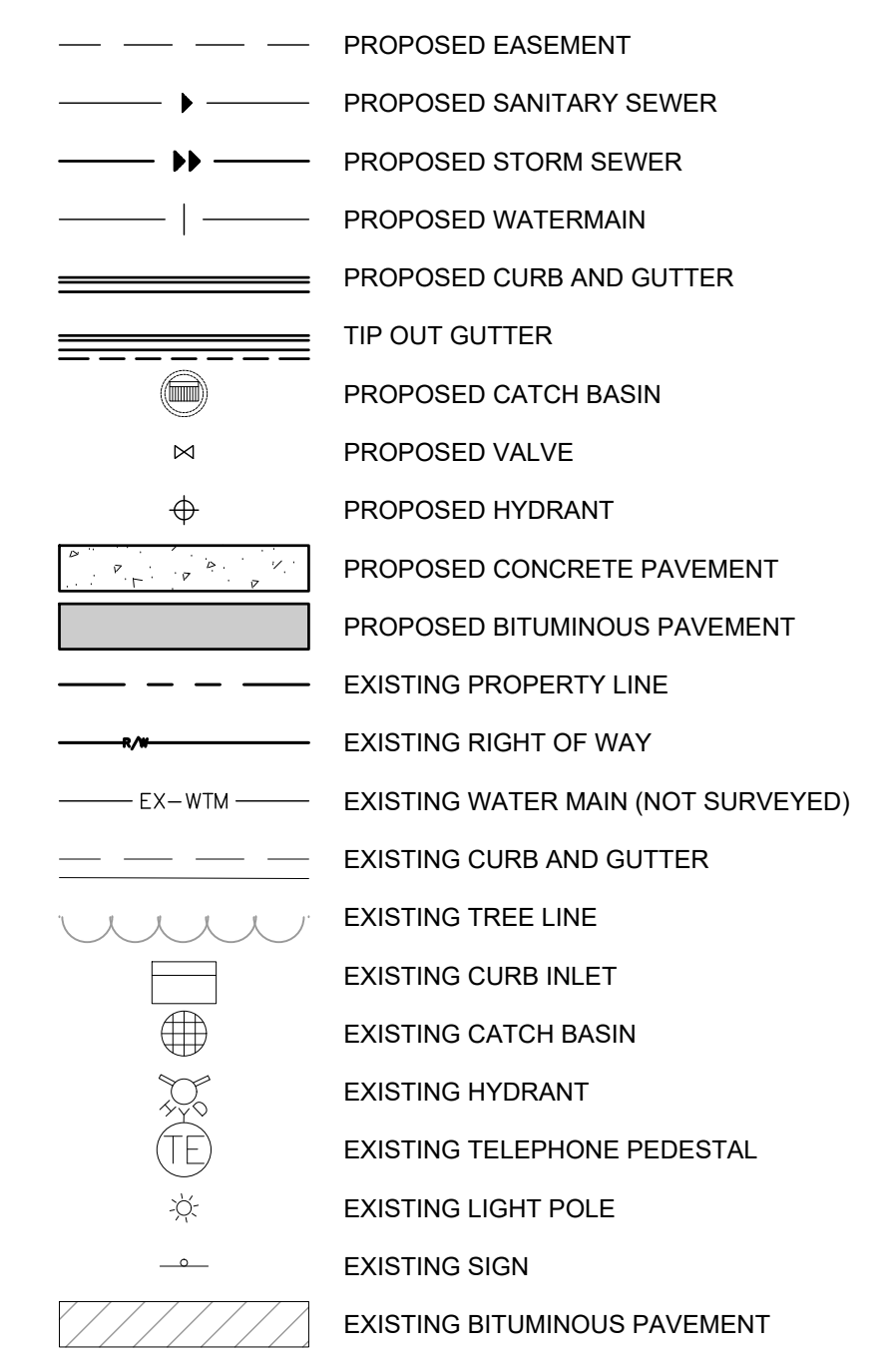
GENERAL NOTES

- ALL EXISTING INFORMATION TAKEN FROM SURVEY BY GLASS CITY SURVEY. BACKGROUND SURVEY ON THESE DRAWINGS IS FOR REFERENCE ONLY. EXISTING WATER MAIN INFORMATION PER BID DOCUMENTS, DATED 10/30/92, BY PROGRESSIVE, FILE NO. 9109-13A.
- SUBSURFACE GEOTECHNICAL INVESTIGATION IS NOT AVAILABLE AT THIS TIME.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING PUBLIC AND PRIVATE UTILITIES, AND NOTIFY IMMEDIATELY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
- CONTRACTOR TO KEEP FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE AT OWN EXPENSE.
- ALL WORK TO CONFORM WITH OSHTEMO TOWNSHIP AND STATE OF MICHIGAN STANDARDS AND REGULATIONS.
- ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CATCHBASINS AND MANHOLES ARE SHOWN ON PLAN LARGER THAN ACTUAL SIZE. COORDINATE LOCATION OF MANHOLE COVER AND CASTING SO THAT IT IS PROPERLY LOCATED AT THE BACK OF CURBLINE FOR THE CURB INLETS OR CENTERED IN THE AREA AS SHOWN ON THE PLAN FOR THE AREA DRAINS AND MANHOLE COVERS.
- PROVIDE TRAFFIC CONTROL AT STREETS AND SIDEWALKS PER OSHTEMO TOWNSHIP AND MUTCD REQUIREMENTS. AS REQUIRED, TRAFFIC CONTROL DESIGN, RELATED PERMITTING, AND DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY WORK PERFORMED OUTSIDE THE PROPERTY BOUNDARIES MUST BE APPROVED BY OWNER AND ALL REGULATING GOVERNMENT AGENCIES AND APPROPRIATE PERMITS MUST BE OBTAINED.

UTILITY NOTES

- ALL UTILITY DEMOLITION AND/OR ABANDONMENT TO BE PERFORMED IN ACCORDANCE WITH OSHTEMO TOWNSHIP AND STATE OF MICHIGAN REGULATIONS AND STANDARDS.
- EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER AND WATERMAIN. CONTRACTOR TO CONTACT 811 BEFORE EXCAVATING.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION. CLEAN PAVED ROADWAYS BY SHOVELING OR SWEEPING. STREET WASHING IS ALLOWED ONLY AFTER SHOVELING OR SWEEPING HAS REMOVED SEDIMENT. SEE OSHTEMO TOWNSHIP STANDARDS AND REGULATIONS.
- ALL RCP PIPE SHALL BE CL. V.
- PROVIDE THE FOLLOWING MINIMUM COVER OVER THE TOP OF PIPE AS FOLLOWS:
 - A. 8" OVER WATERMAIN
 - B. 8" OVER SANITARY SEWER
 - C. 1.5' OVER STORM SEWER
- PROVIDE INSULATION PER DETAIL C-2003/C403 TO WATER AND SANITARY PIPE WHERE MINIMUM COVER IS NOT MET.
- ALL LINEAR AND RADII DIMENSIONS ARE TO BACK OF CURB UNLESS NOTES OTHERWISE

LEGEND



SITE DATA

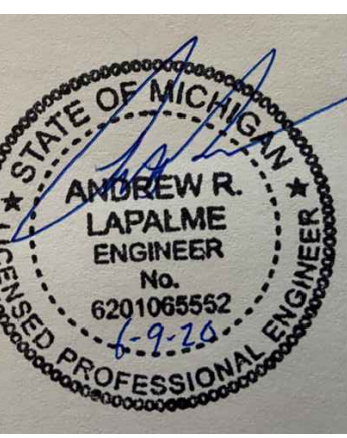
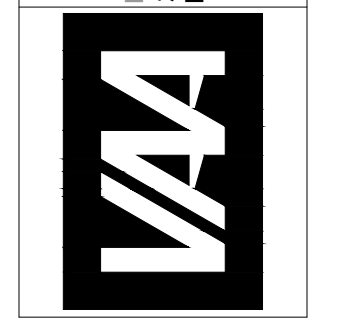
CURRENT ZONING: COMMERCIAL

GENERAL DESCRIPTION: LOT IS CURRENTLY UNDER USE AS PARKING FOR THE MEIJER GROCERY

SOILS INFO OBTAINED FROM US CONSERVATION SERVICE:
 30% OF SITE - KALAMAZOO LOAM
 70% OF SITE - OSHTEMO SANDY LOAM

TOTAL SITE AREA	61,782 SF
EXISTING GREEN SPACE	26,275 SF
EXISTING PAVEMENT	35,507 SF
PERCENT GREEN SPACE	42.5%
PROPOSED GREEN SPACE	27,637 SF
PROPOSED PAVEMENT	31,125 SF
PROPOSED BUILDING	3,020 SF
PERCENT GREEN SPACE	44.7%
MEIJER PARKING	1456 STALLS
MEIJER PARKING LOST TO JL	(114) STALLS
MEIJER PARKING AFTER DEVELOPMENT	1342 STALLS
BUILDING SIZE	*224,000 SF
PARKING RATIO (STALLS/500 SF)	3.1 ST/500
JIFFY LUBE PARKING	17 STALLS
STANDARD PARKING ADDED	2 STALLS
ADA PARKING ADDED	19 STALLS
TOTAL	

Planners and Engineers
 2300 Berkshire Lane N, Suite 200
 Plymouth, MI 48170
 765.559.9100
 www.raeeng.com
 info@raeeng.com

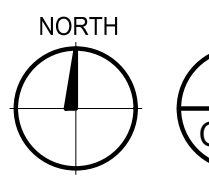


revision:

jiffy lube
 MULTI-CARE SERVICES
 CRITERIA V 2018.11-14
 OSHTEMO TOWNSHIP, MI
 MEIJER OUTLOT

SITE PAVING AND UTILITY PLAN

project # 190685
 drawn: RCQ

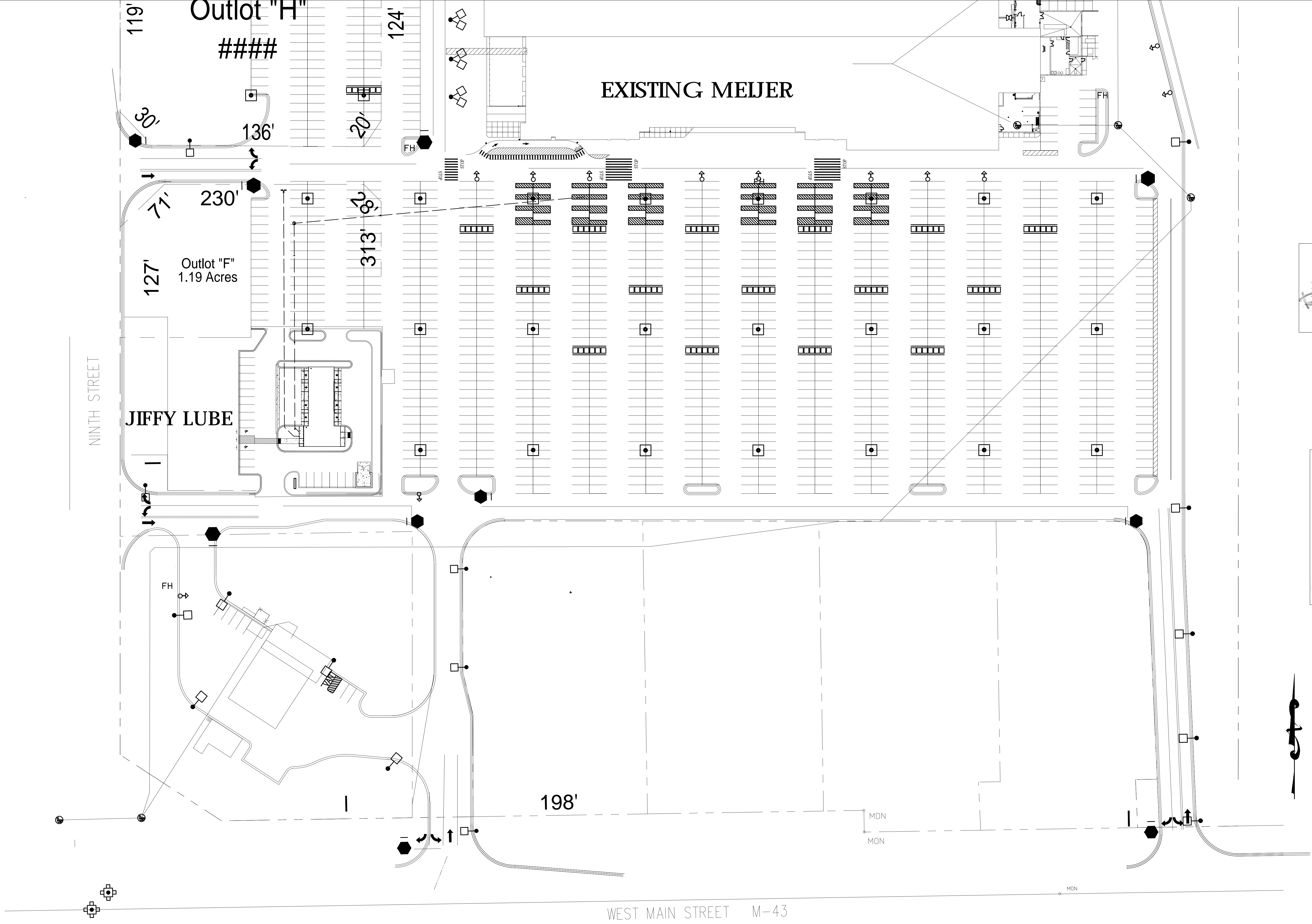


SITE PAVING AND UTILITY PLAN

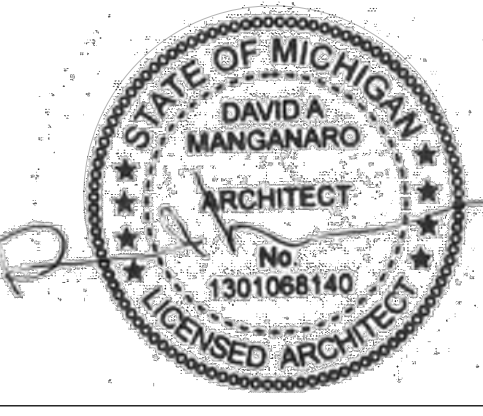


1"=20'

C201



COONAN & BONDS ARCHITECTS
 A CORPORATION
 TEXAS OFFICE:
 6808 Bridgemark Drive
 Grand Prairie, TX 75054
 949-520-0006



Architect of Record
 Dave Manganaro

revision:



Jiffy Lube
 MULTI-CARE SERVICES
 CRITERIA V2018.11-1X4
 OSHTMO TOWNSHIP, MICHIGAN
 6660 WEST MAIN ST. KALAMAZOO

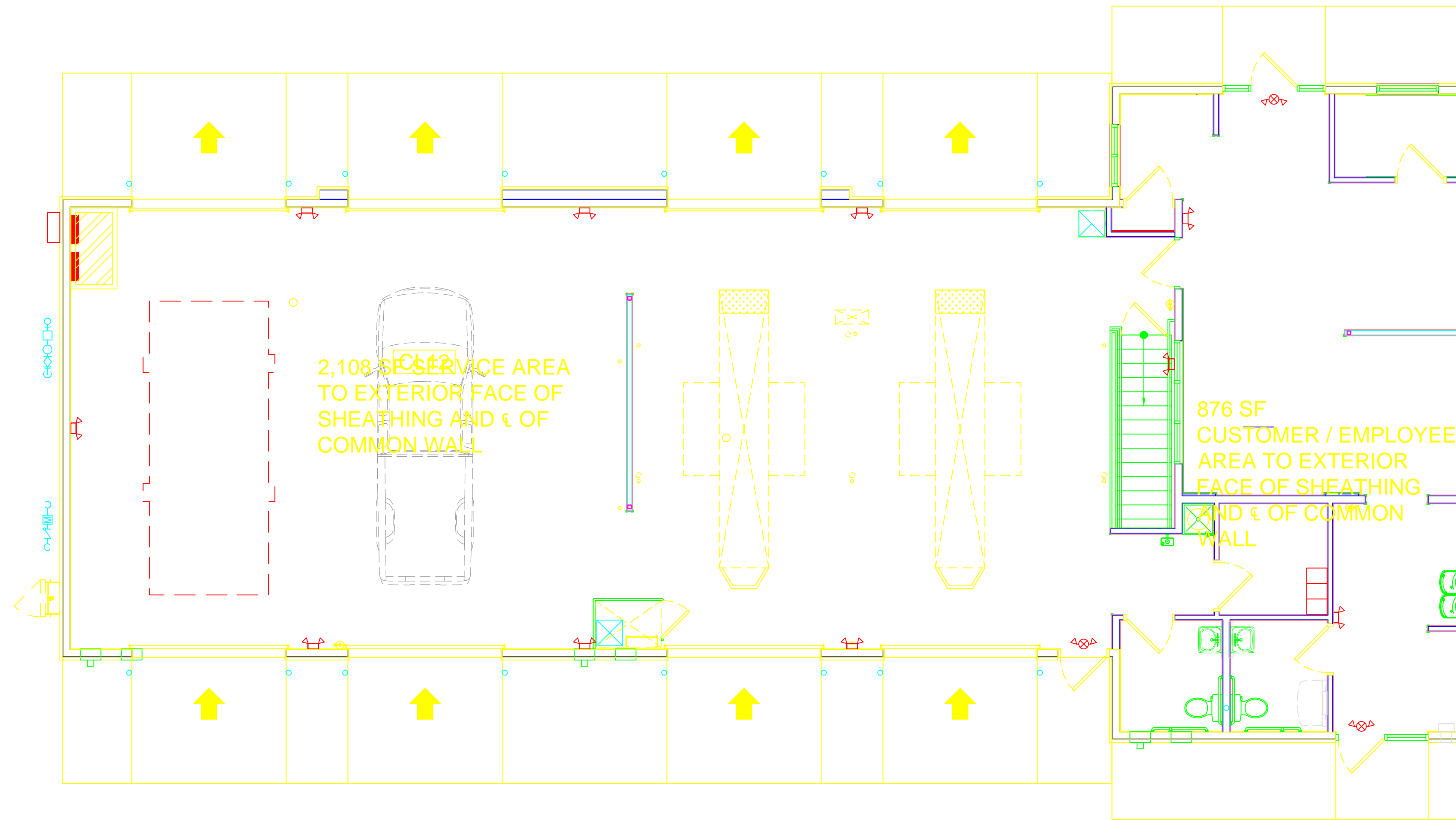
OVERALL SITE PLAN

project #
 2020-2
 drawn: d.a.m.

FEB. 10, 2020
 DESIGN PRINCIPAL
 CHRISTOPHER COONAN

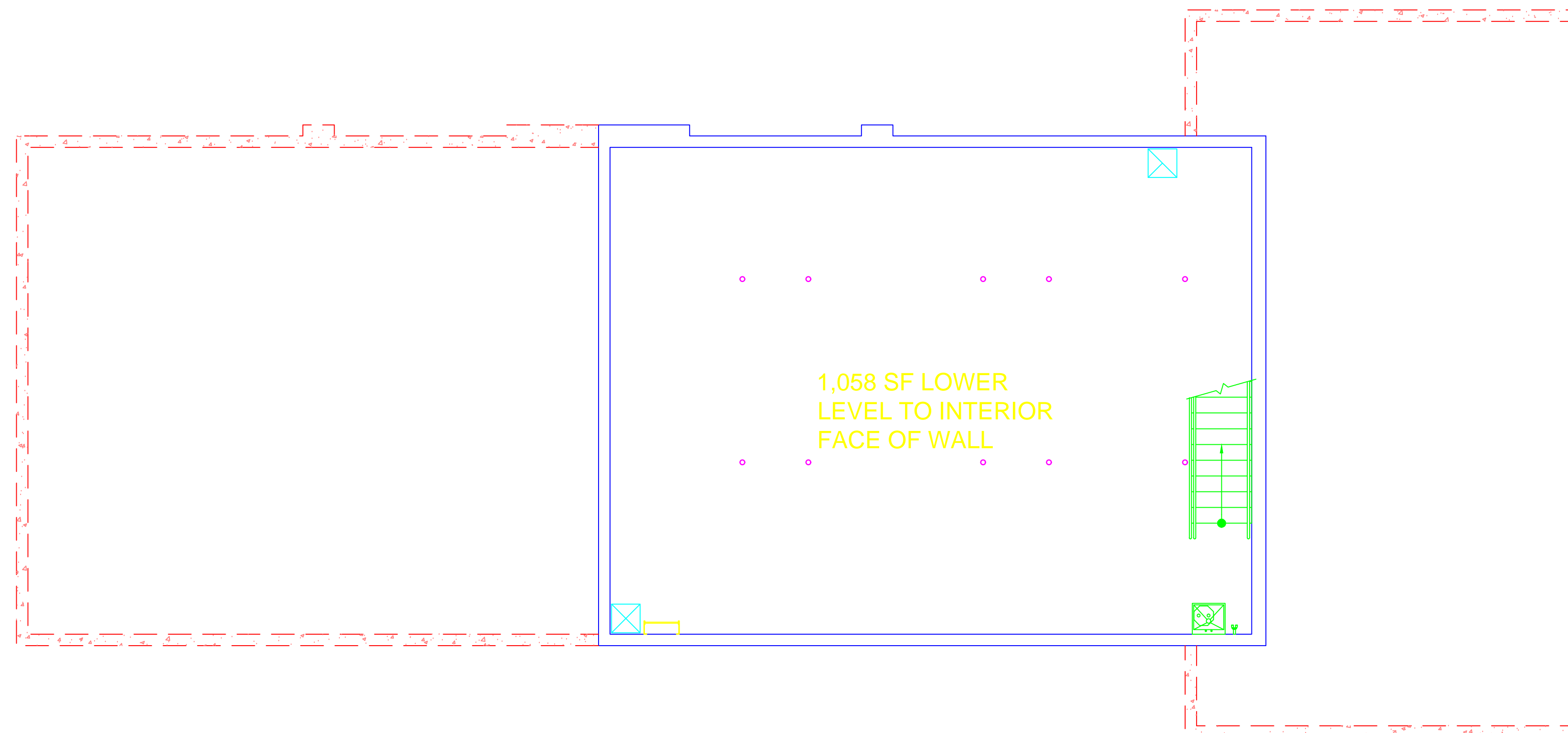


A-1



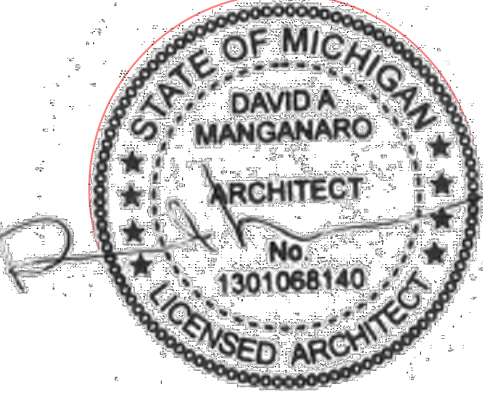
SQUARE FOOTAGE
 2,984 SF = MAIN LEVEL
 1,058 SF = LOWER LEVEL
 4,042 SF = TOTAL

1st Floor Plan - ground level



Basement Floor Plan

COONAN & BONDS ARCHITECTS
 TEXAS OFFICE
 6988 Bridgemark Drive
 Grand Prairie, TX 75054
 949-520-0006



Architect of Record
 Dave Manganaro

revision:

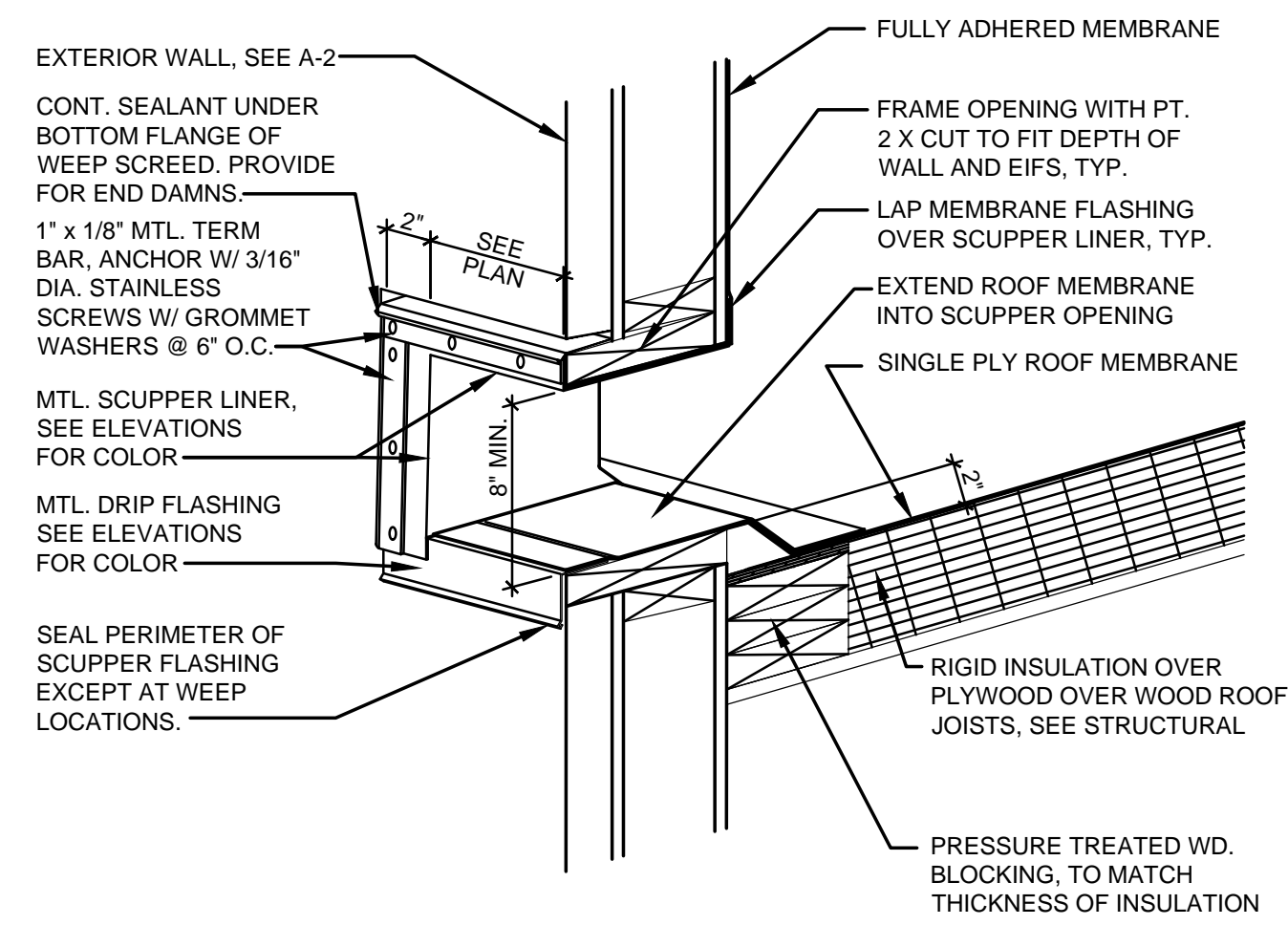
Traditional Brand
 DEVELOPMENT PARTNERS

Jimmylube • MULTI-CARE SERVICES
 CRITERIA V018 11.1X4
 OSHTMEMO TOWNSHIP, MICHIGAN
 6660 WEST MAIN ST. KALAMAZOO

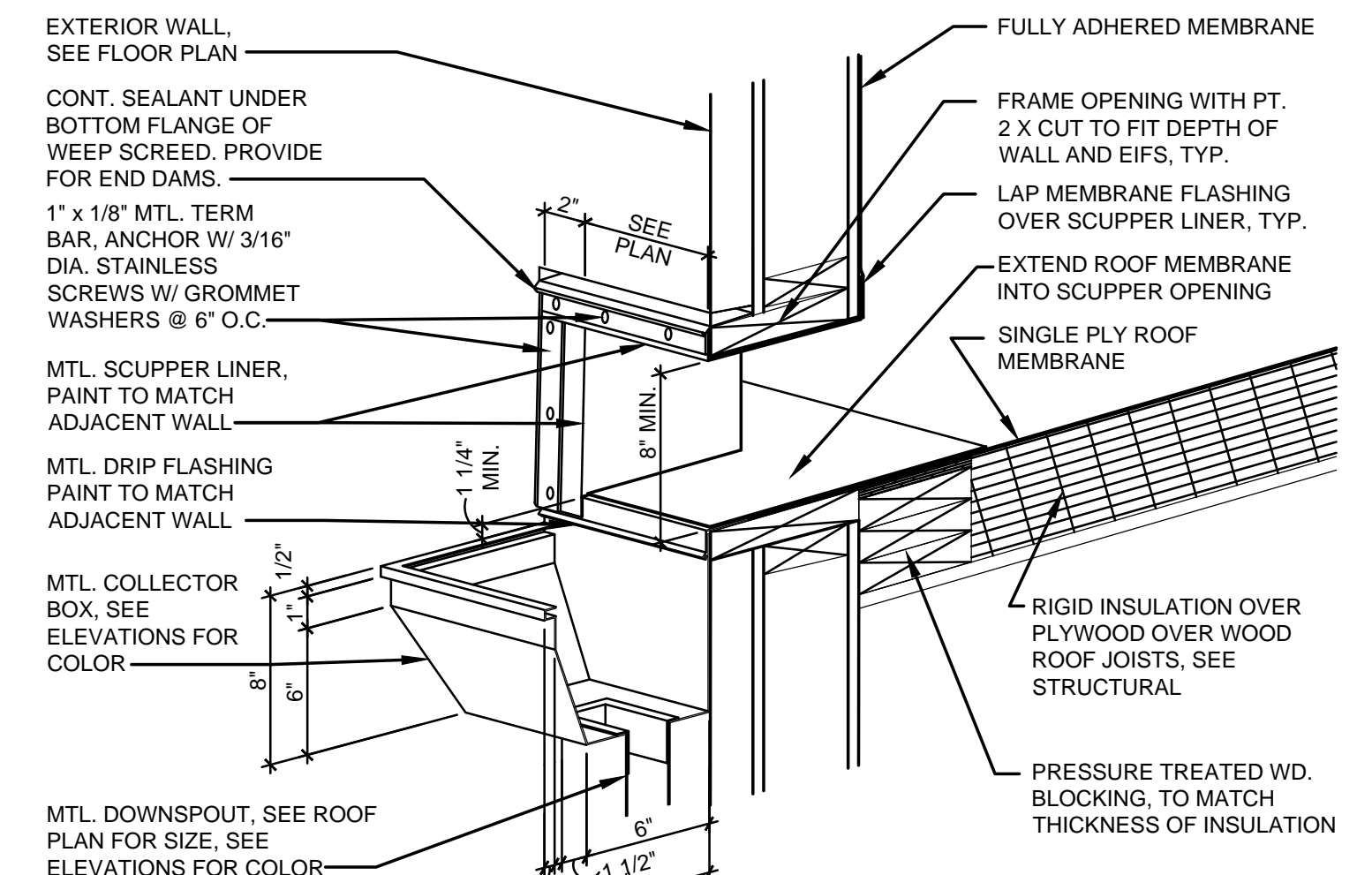
FLOOR PLANS

project #
 2020-2
 drawn: d.a.m.

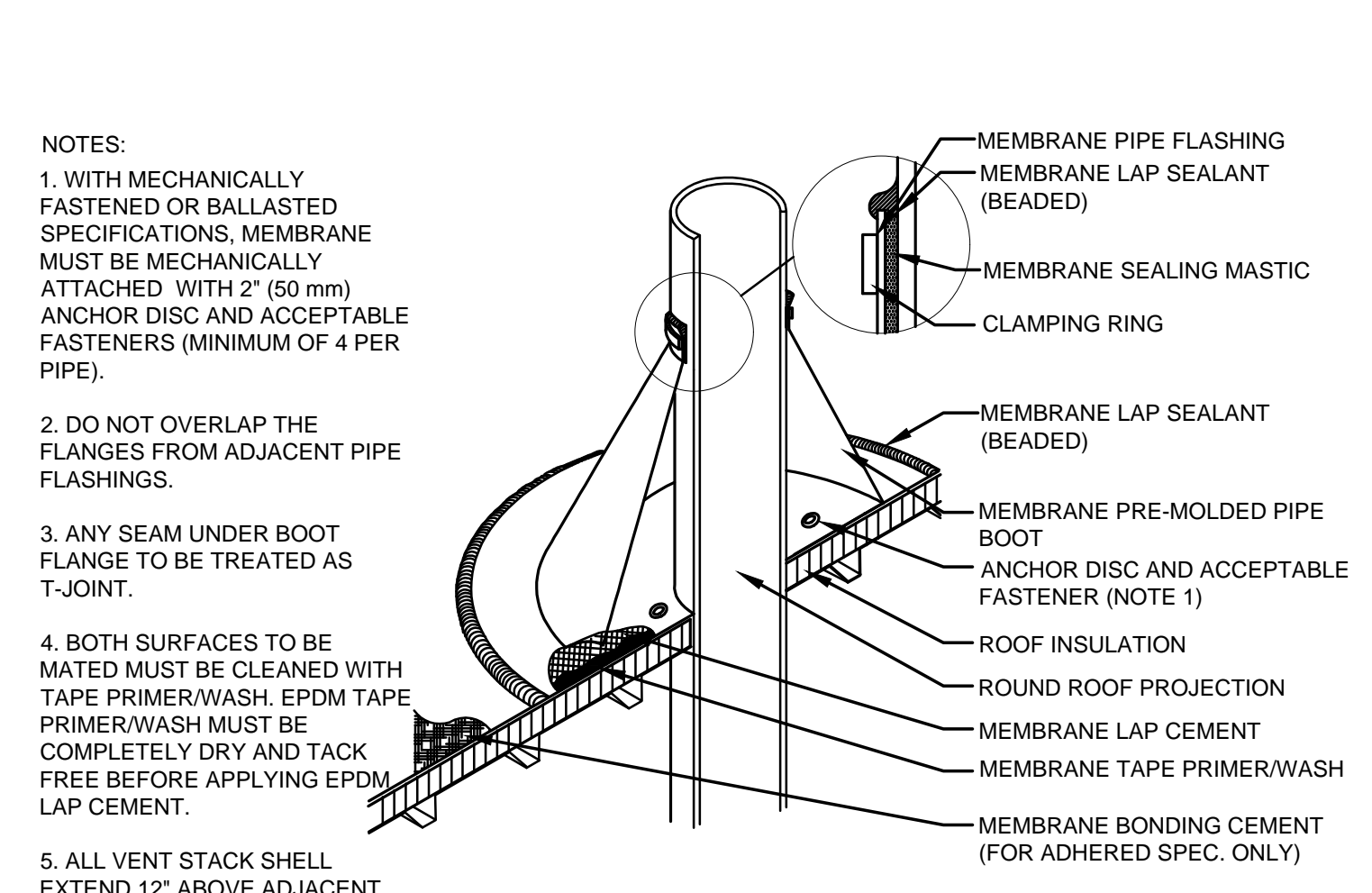
FEB. 10, 2020
 DESIGN PRINCIPAL
 CHRISTOPHER COONAN



3 OVERFLOW SCUPPER DETAIL
SCALE: 1-1/2" = 1'-0"

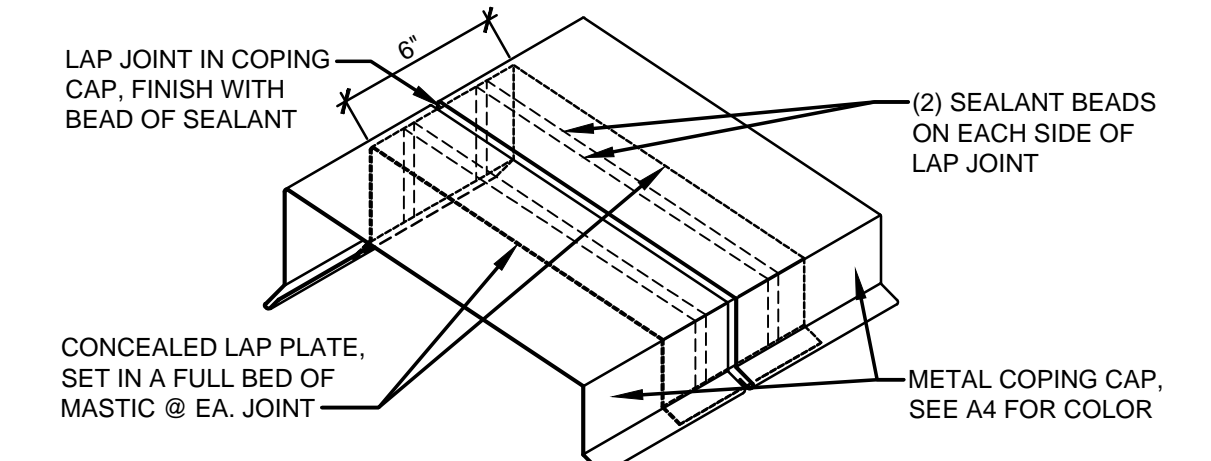


4 SCUPPER OPENING DETAIL
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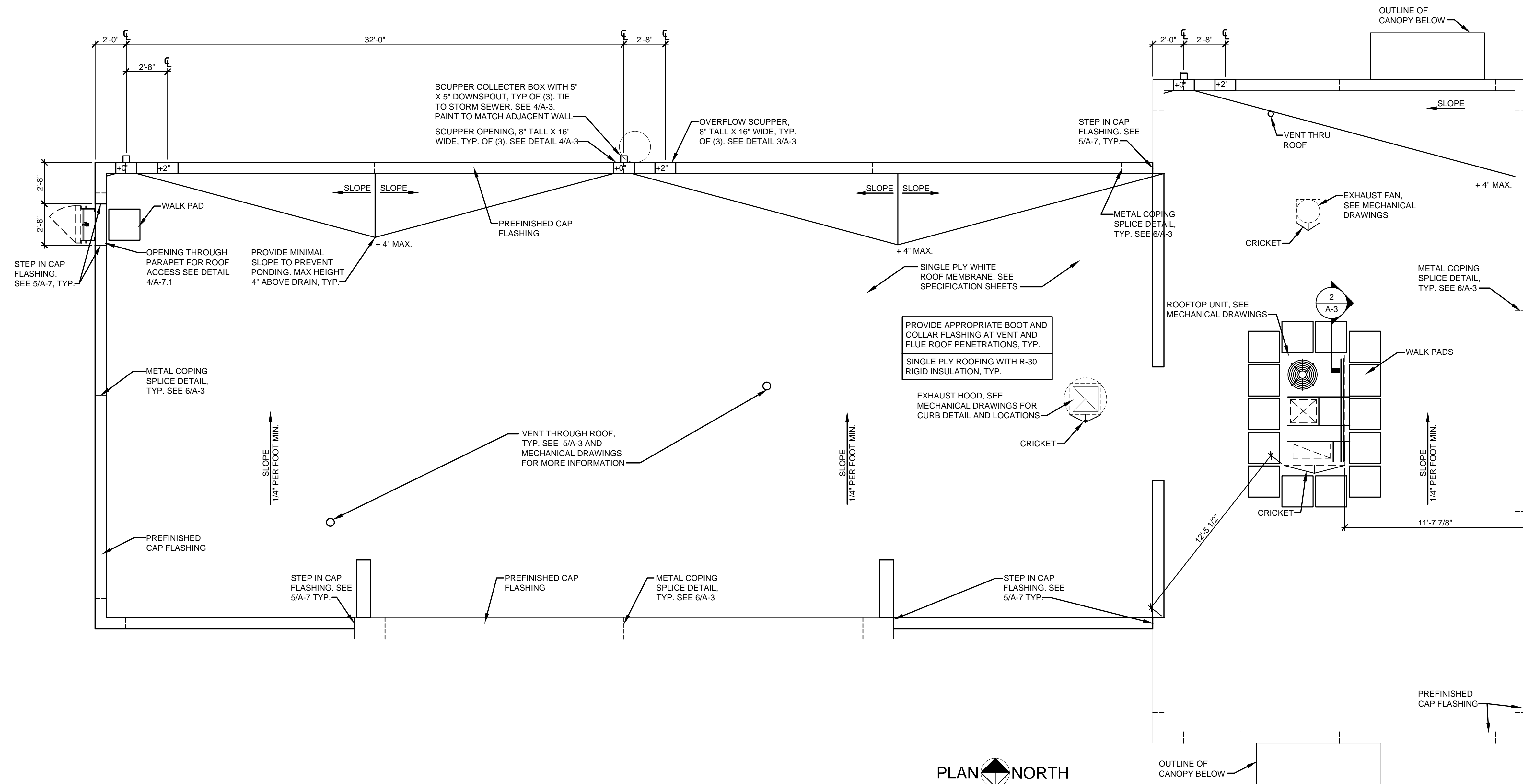


5 BOOT DETAIL
SCALE: N.T.S.

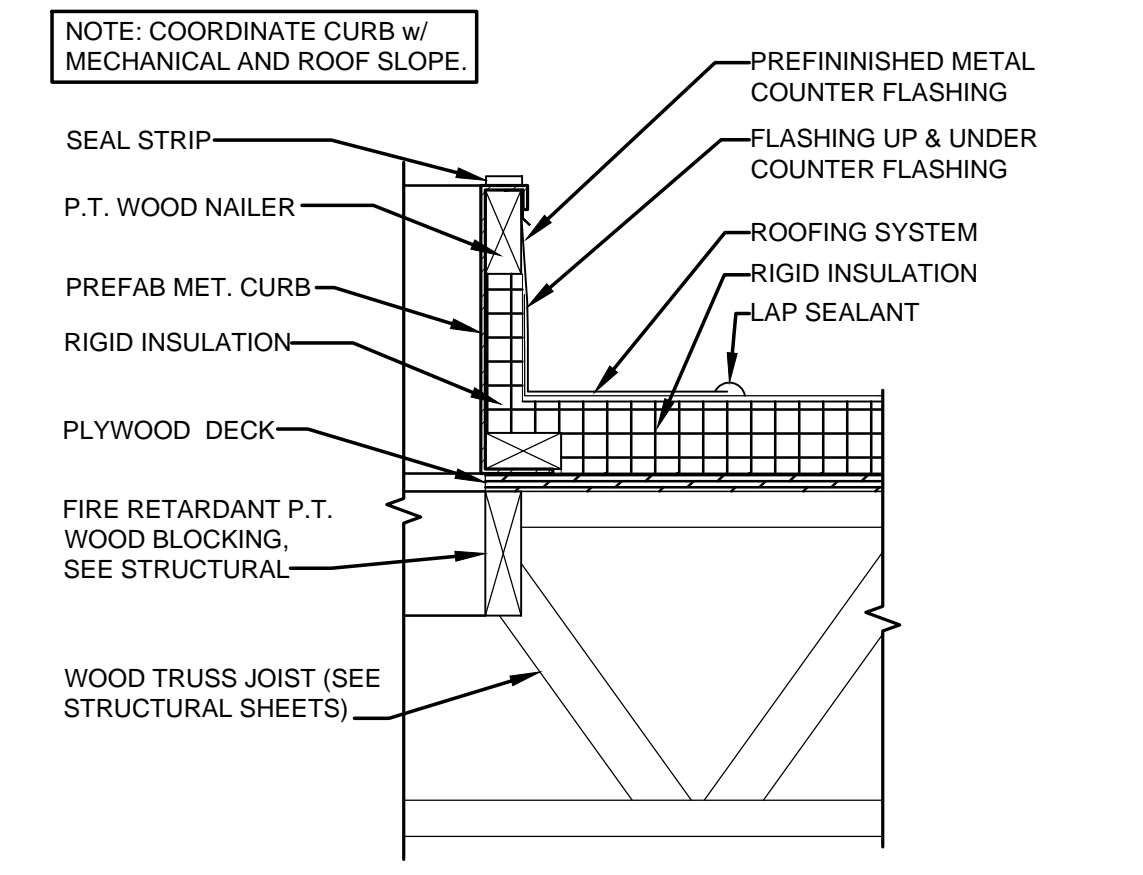
- NOTES:
1. WITH MECHANICALLY FASTENED OR BALLASTED SPECIFICATIONS, MEMBRANE MUST BE MECHANICALLY ATTACHED WITH 2" (50 mm) ANCHOR DISC AND ACCEPTABLE FASTENERS (MINIMUM OF 4 PER PIPE).
 2. DO NOT OVERLAP THE FLANGES FROM ADJACENT PIPE FLASHINGS.
 3. ANY SEAM UNDER BOOT FLANGE TO BE TREATED AS T-JOINT.
 4. BOTH SURFACES TO BE MATED MUST BE CLEANED WITH TAPE PRIMER/WASH, EPDM TAPE PRIMER/WASH MUST BE COMPLETELY DRY AND TACK FREE BEFORE APPLYING EPDM LAP CEMENT.
 5. ALL VENT STACK SHELL EXTEND 12" ABOVE ADJACENT PARAPET WALLS.



6 TYP. COPING LAP JOINT
SCALE: 1-1/2" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



2 ROOF CURB DETAIL
SCALE: 1-1/2" = 1'-0"

COONAN & BONDS ARCHITECTS
CALIFORNIA CORPORATION
TEXAS OFFICE:
6988 Bridgemarket Drive
Grand Prairie, TX 75054
949-520-0006



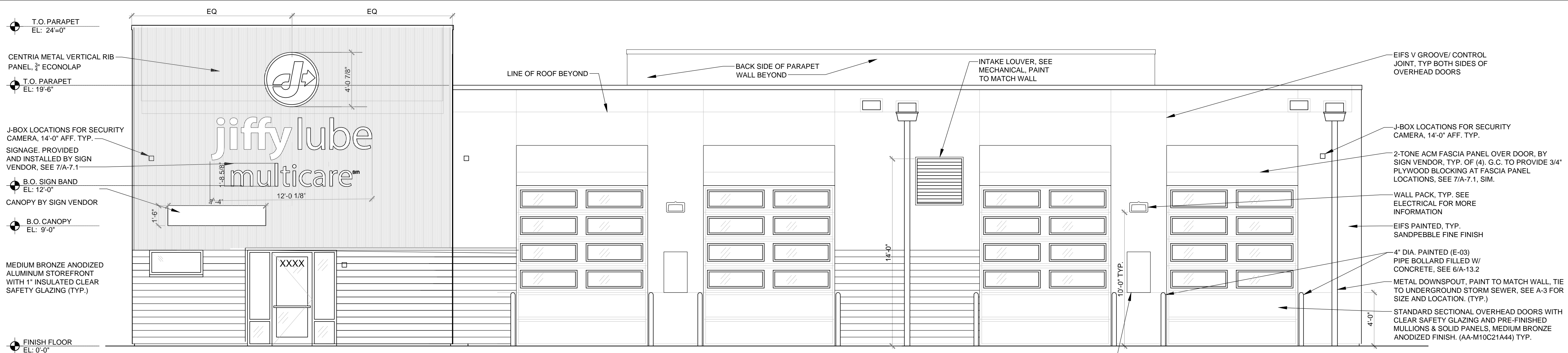
Architect of Record
Dave Manganaro
revision:

Traditional Brand DEVELOPMENT PARTNERS
jiffylube MULTI-CARE SERVICES
CRITERIA V2018.11-1X4
OSHTEMO TOWNSHIP, MICHIGAN
6660 WEST MAIN ST. KALAMAZOO

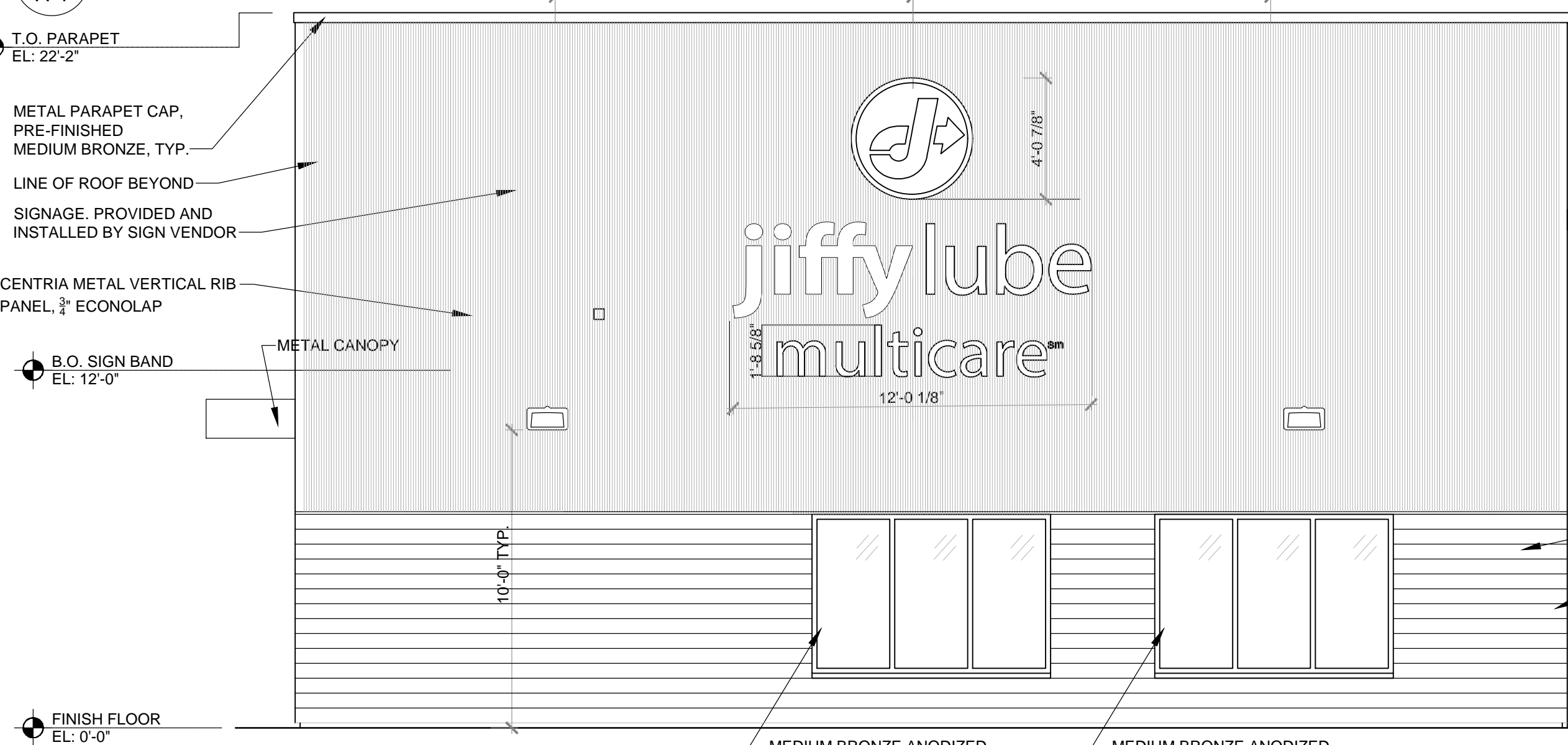
FLOOR PLANS

project #
2020-2
drawn: d.a.m.
FEB. 10, 2020
DESIGN PRINCIPAL
CHRISTOPHER COONAN

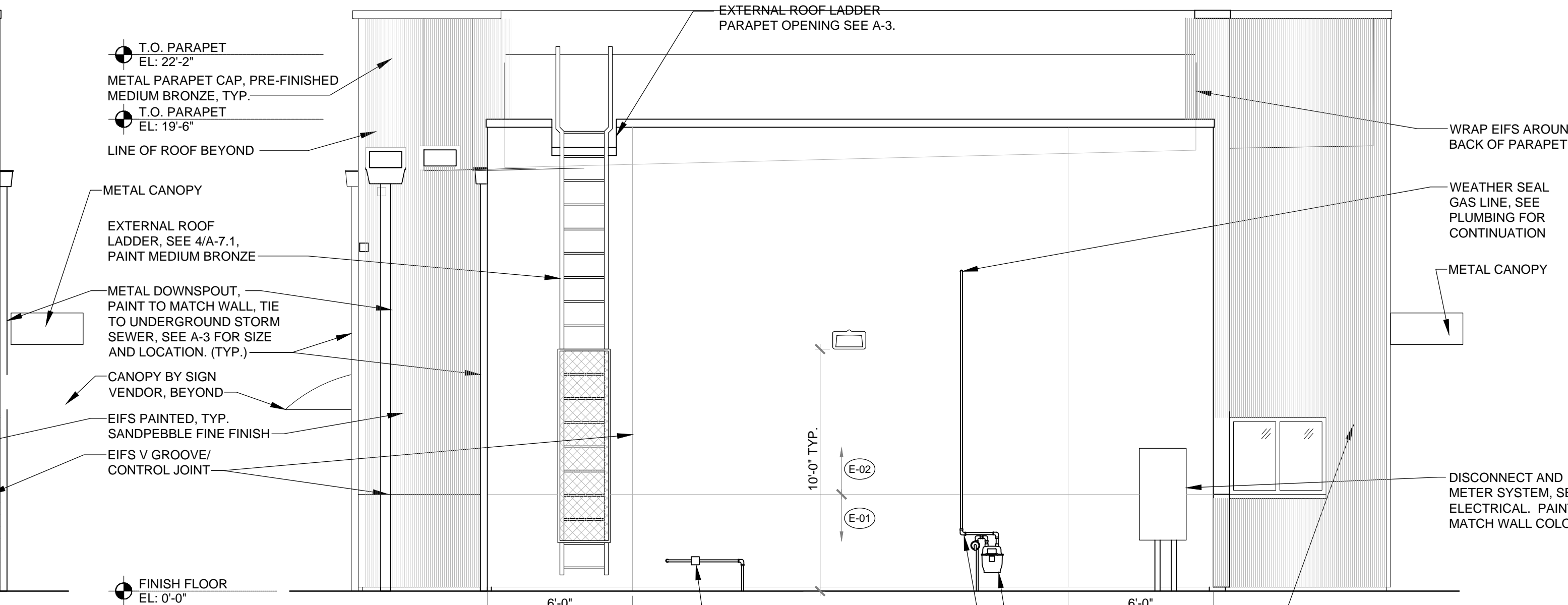
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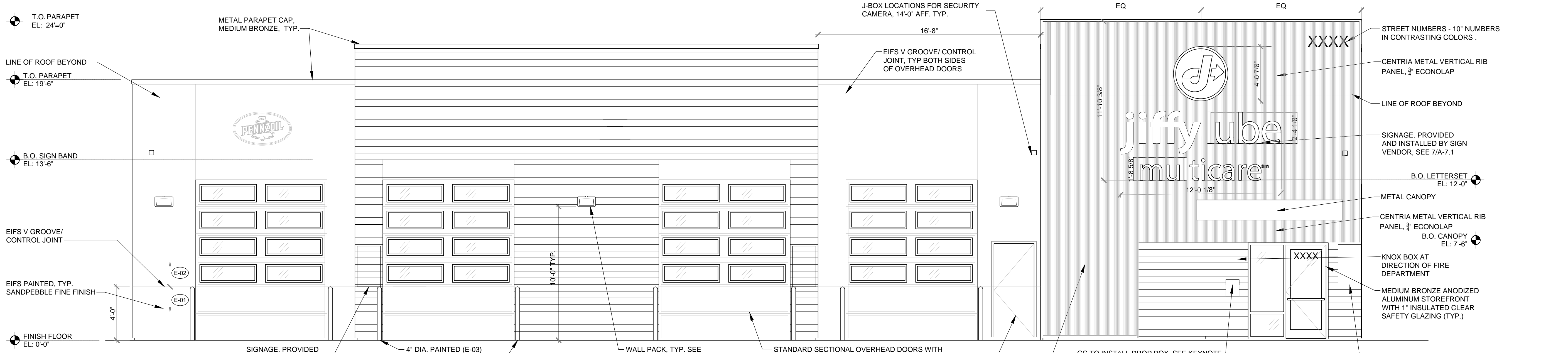
4
A-4
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-4
EAST ELEVATION
SCALE: 1/4" = 1'-0"



3
A-4
WEST ELEVATION
SCALE: 1/4" = 1'-0"



1
A-4
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

MARK	EXTERIOR FINISH SCHEDULE:	MATERIAL	MFR #	COLOR
E01	EXT. WALLS: WAINSCOT / SIGN POLES / FENCES / EXT. DOORS AND TRIM	PAINT (SATIN / SEMI-GLOSS)	SW2827	COLONIAL REVIVAL STONE
E02	EXT. WALLS ABOVE WAINSCOT	PAINT (SEMI-GLOSS)	SW7005	PURE WHITE
E03	EXT. WALLS: REAR FASCIA / HANDRAILS / GUARD RAILS / TRAFFIC BOLLARDS	PAINT (SEMI-GLOSS)	SW2905	CARMINE
E04	EXT. WALLS: APPLY OVER CARMINE COLOR ABOVE	PAINT (SEMI-GLOSS)	CLEAR COAT	SHER-CLEAR

NOTE: ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS. DESCRIPTION: (ALL 'SHERWIN / WILLIAMS' NUMBERS 'SW' COLORS) -APPLY CLEAR COAT (E-04) OVER CARMINE (E-03) ON EXTERIOR APPLICATIONS.

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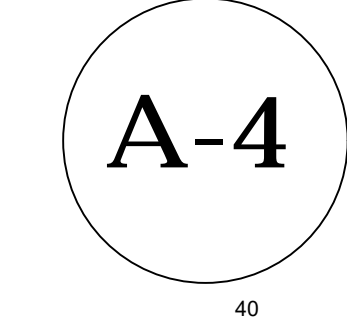


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MULTI-CARE SERVICES
CRITERIA V2018.11.14
OSHTEMO TOWNSHIP, MICHIGAN
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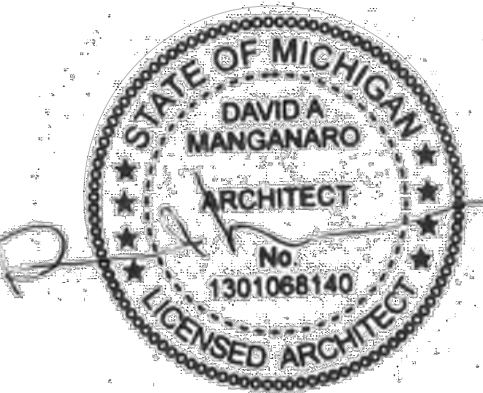
BUILDING ELEVATIONS

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COLORED SITE PLAN

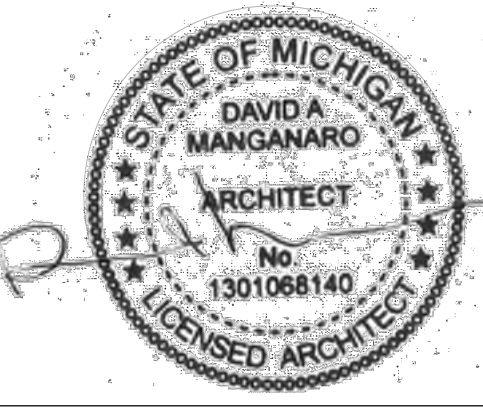
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RENDERING LOOKING NE

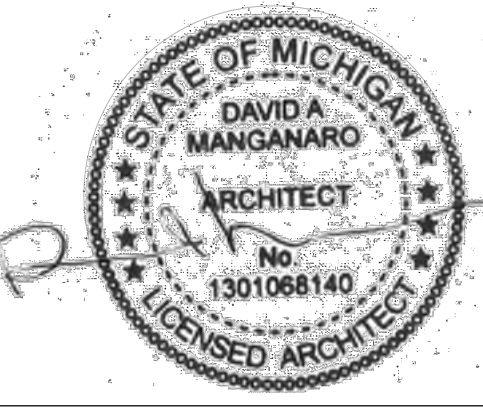
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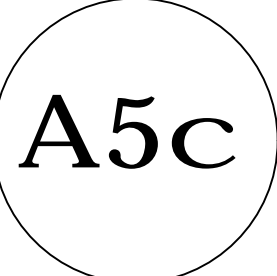


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RENDERING LOOKING NW

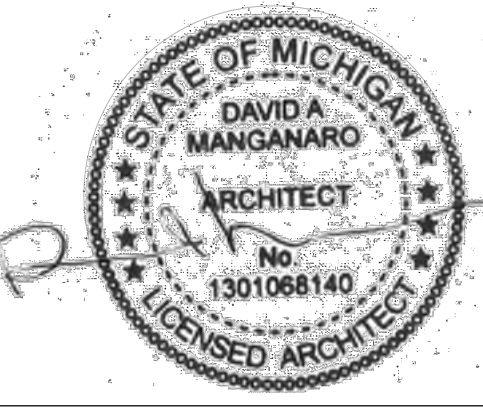
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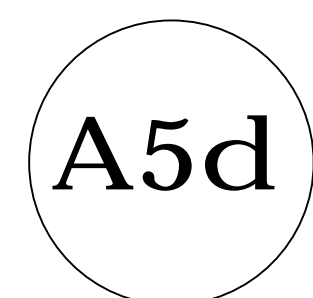


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RENDERING LOOKING W

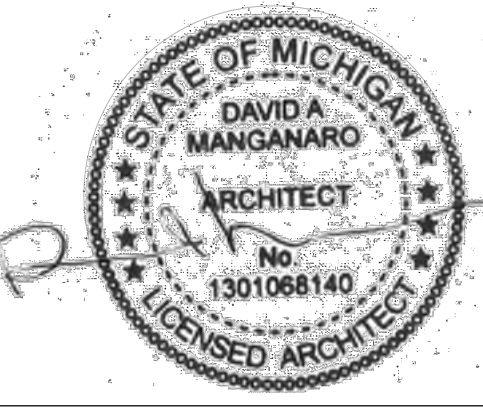
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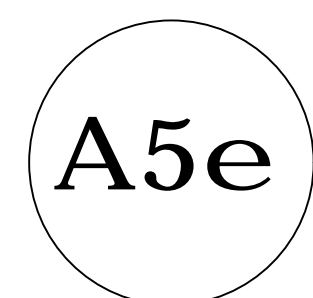


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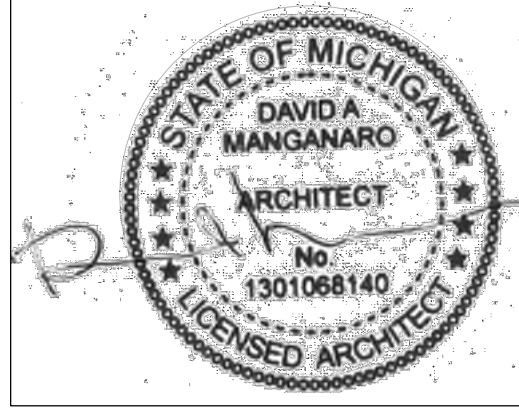
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LOOKING DUE EAST

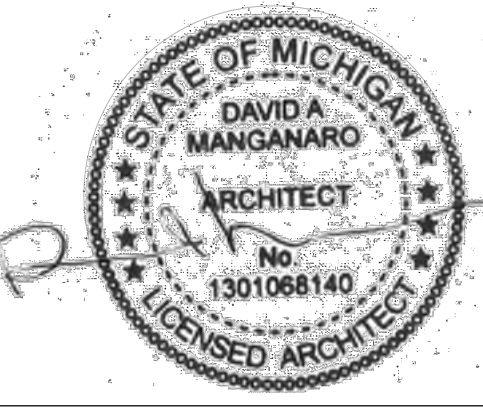
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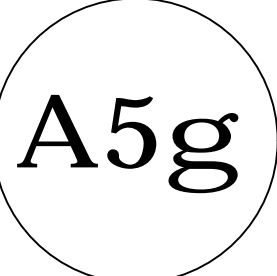


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LOOKING NORTHEAST

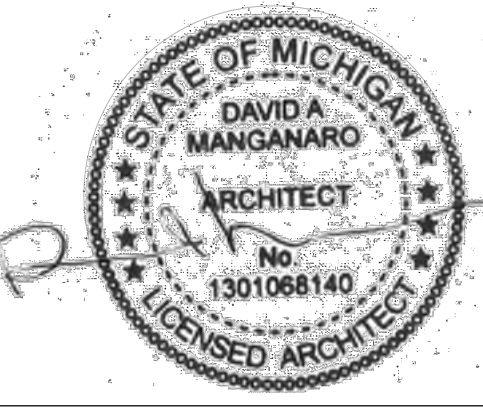
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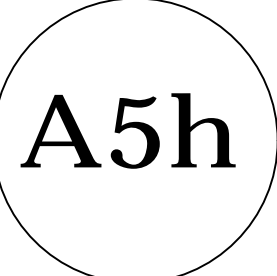


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LOOKING NORTHEAST

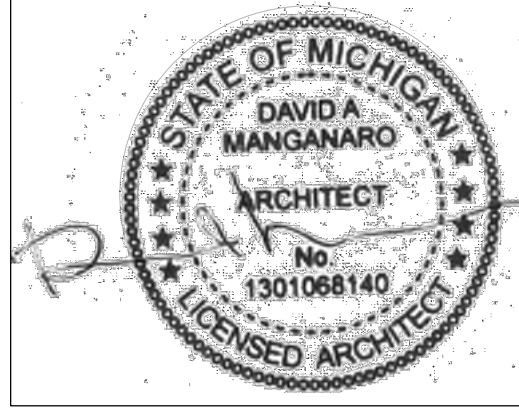
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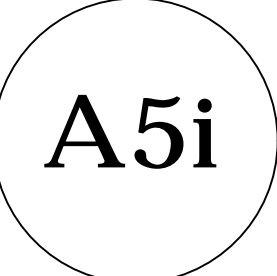
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LOOKING SOUTHEAST

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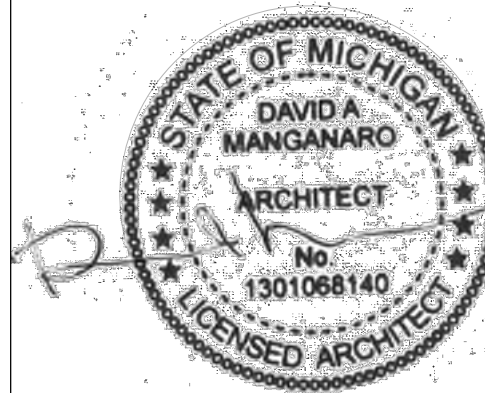
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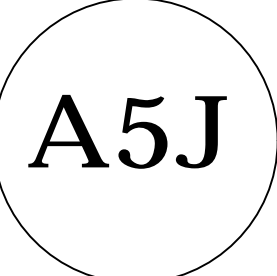


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LOOKING DUE NORTH

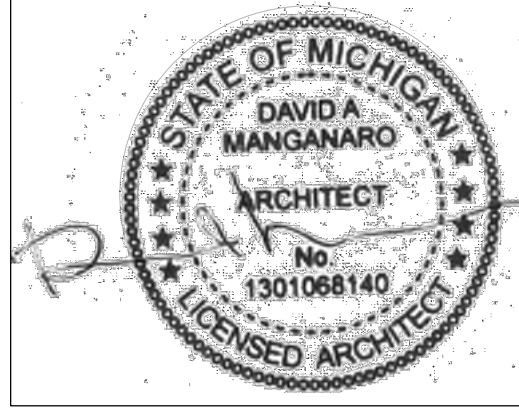
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LOOKING SOUTHWEST

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CORNER OF MAIN AND NINTH STREET



LOOKING TOWARD OUTLOT TO NORTH

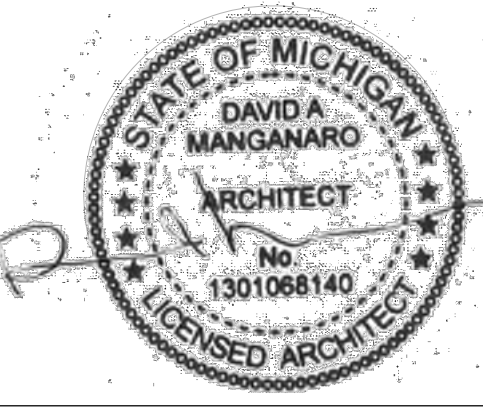


LOOKING TOWARD ENTRY DRIVE FROM MAIN



LOOKING DOWN 9TH STREET

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VIEW OF MEIJER OUTLOT FROM ACROSS 9TH ST



VIEW AT END OF ENTRY DRIVE FROM MAIN, LOOKING N



VIEW TO SOUTH ALONG 9TH STREET FRONTAGE



VIEW ON 9TH STREET FRONTAGE LOOKING SOUTH

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