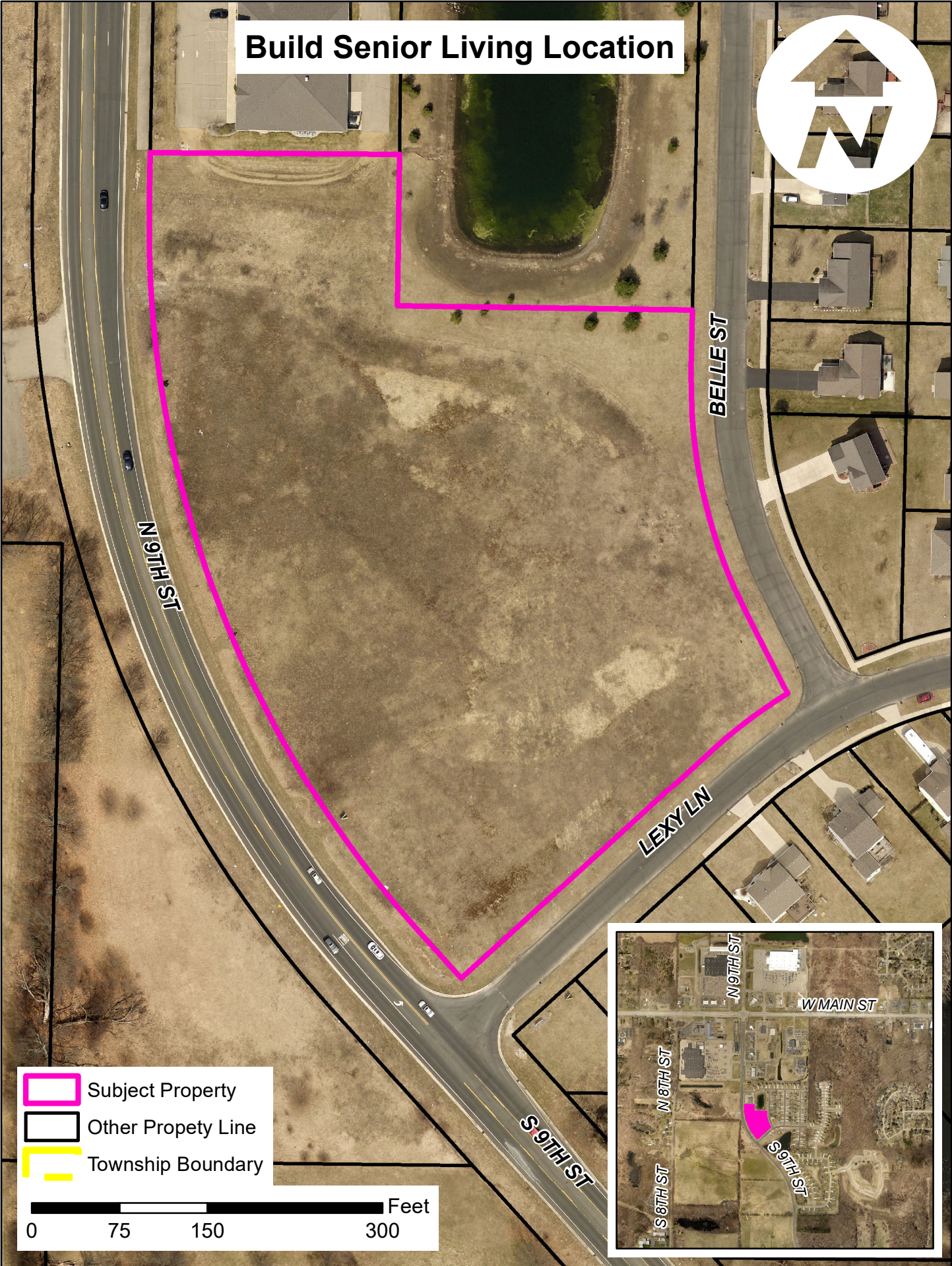
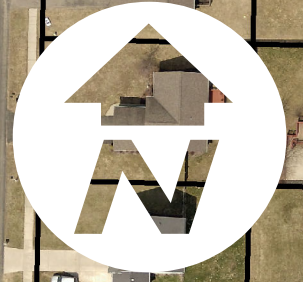


# Build Senior Living Location

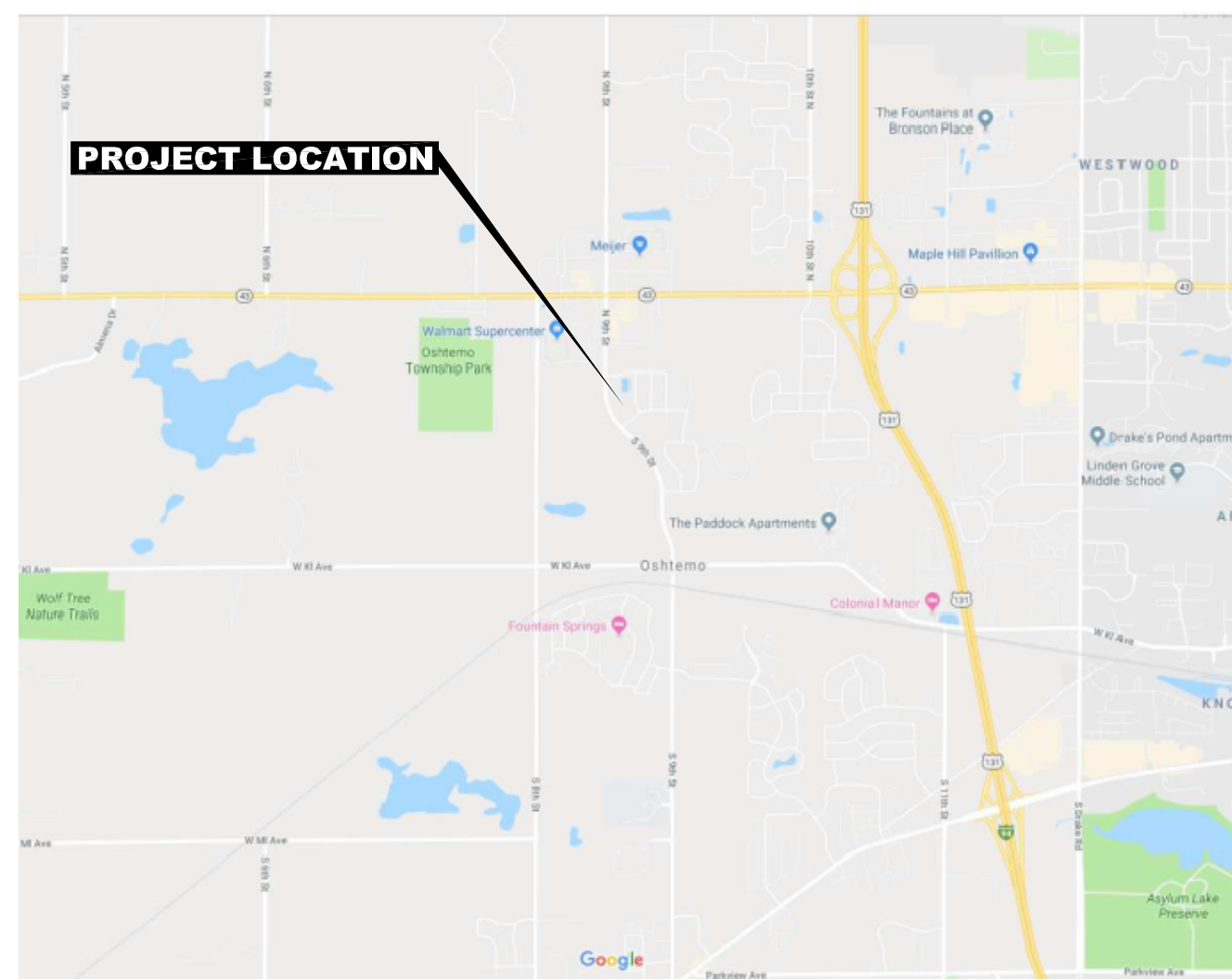




# New Assisted Living Development for: **BUILD SENIOR LIVING**

400 N. 9th Street · Oshtemo Township, Michigan

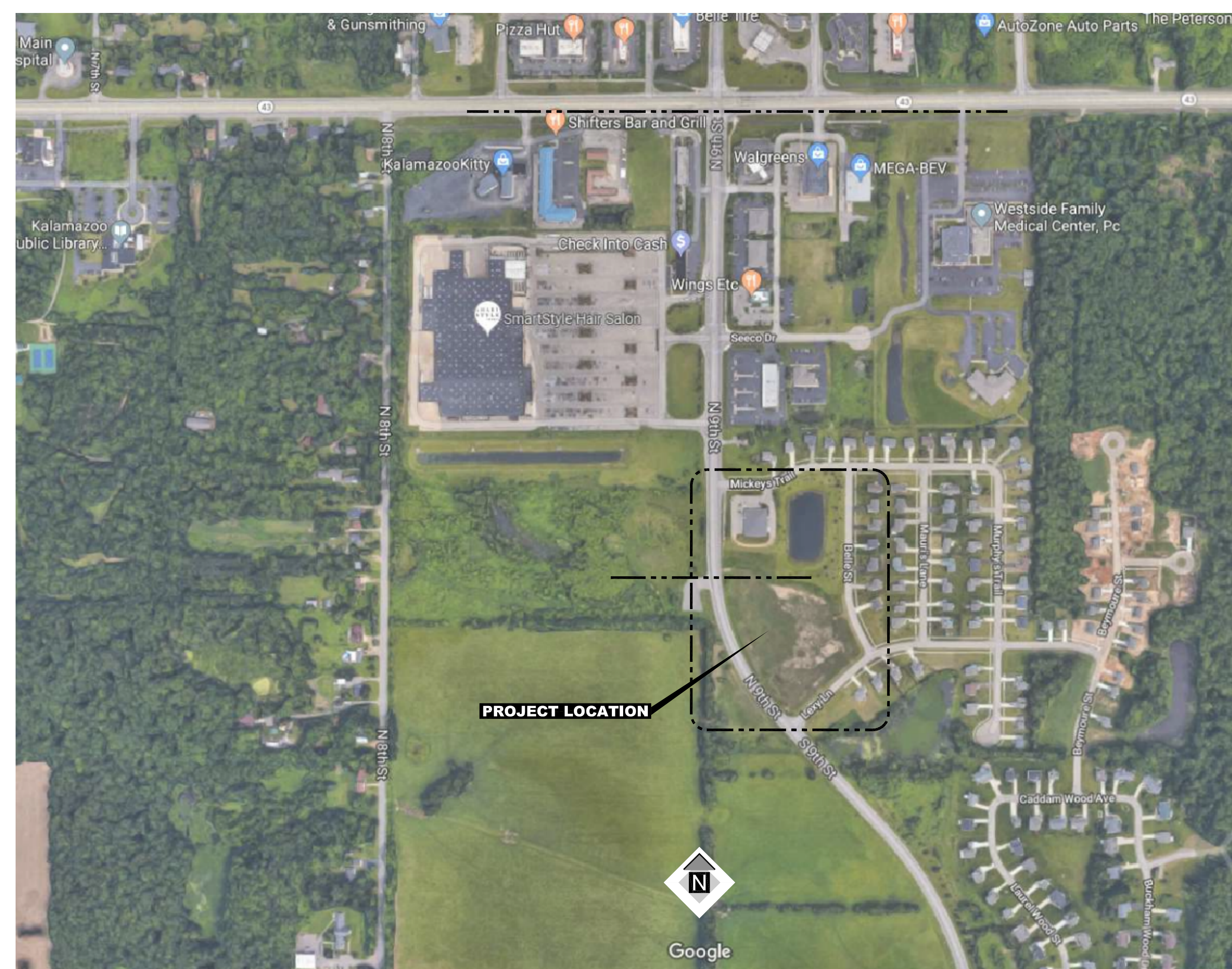
**LOCATION MAP**



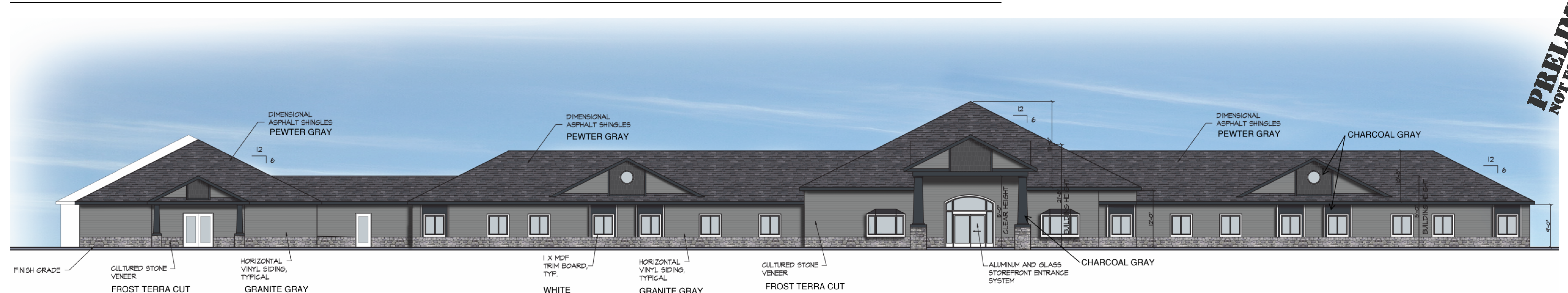
**MICHIGAN LOCATION MAP**



**AERIAL**



**RENDERED ARCHITECTURAL ELEVATION**



**PROJECT INFORMATION**

<b>OWNER:</b> Build Senior Living Brighton Land Holdings, LLC 1320 Rickett Road Brighton, Michigan 48116	<b>BUILDING OCCUPANCY:</b> Elderly Housing / Assisted Living
<b>BUILDING SITE ADDRESS:</b> 400 N 9th Street Kalamazoo, MI 49001 Oshtemo Township	<b>CONSTRUCTION TYPE:</b> Type 3B, Fully Fire Suppressed
<b>BUILDING CODE:</b> 2012 Michigan Building Code	<b>GROSS BUILDING AREA:</b> ±52,000 SF
	<b>BUILDING HEIGHT:</b> See Elevation Plans
	<b>NUMBER OF STORIES:</b> (1) One

**PROJECT SCOPE**

PROJECT SCOPE INCLUDES PROPOSED DEVELOPMENTS ASSOCIATED WITH A NEW HOME FOR THE ELDERLY, INCLUDING SPECIALIZED ASSISTED LIVING AND MEMORY CARE AREAS. PROJECT DEVELOPMENT PARCEL RESIDES IN OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, AT 400 N 9TH STREET.

PROJECT PROPOSES 65 ELDERLY HOUSING UNITS, ACCOUNTING FOR 74 TOTAL BEDS. UNIT BREAKDOWN IS AS FOLLOWS, WITH STUDIO APARTMENTS ACCOUNTING FOR A SINGLE BED:

- MEMORY CARE (MC) STUDIO UNITS: 17 x 1 = 17
- ASSISTED LIVING (AL) STUDIO UNITS: 14 x 1 = 14
- AL ONE BED UNITS: 25 x 1 = 25
- AL TWO BED UNITS: 9 x 2 = 18

TOTAL BED COUNT 74

DEVELOPMENT TO INCLUDE AMENITY SPACES WITHIN FOR CONVENIENCE OF ELDERLY RESIDENCE. INCLUDING LIBRARY AREA, COMMUNITY GATHERING SPACES, DINING AND KITCHEN AREAS. ADDITIONAL AMENITY SPACES TO BE DETERMINED BUT MAY INCLUDE PRIVATE THEATRE, DAY SPA & HAIR SALON, ETC.

**DRAWING LIST**

G001	Project Cover	<b>ARCHITECTURAL</b>
	Survey 1 - Overall Area	A1 Conceptual Overall Floor Plan
	Survey 2 - Development Site	A2 Conceptual Exterior Elevations
		A2 Exterior Elevations with Color
CIVIL	Existing Conditions & Demolition Plan	<b>ELECTRICAL</b>
C200	Site Plan	EC001 Electrical Schedules and Details
C300	Grading & SESC Plan	EC100 Electrical Site Plan & Photometrics
C310	Grading & SESC Plan - North	
C400	Utility Plan	<b>LANDSCAPE</b>
C500	Details	L100 Landscape Plan
C510	Details	
C520	Details	

New Assisted Living Development for:  
**BUILD SENIOR LIVING**  
 400 N. 9th Street · Oshtemo Township, Michigan

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

04-23-2019 SITE PLAN APPROVAL  
 COVER SHEET

18100315

**G01**



New Assisted Living Development for:  
**BUILD SENIOR LIVING**  
 400 N. 9th Street - Oshtemo Township, Michigan

**SITE NOTES:**

- ALTA / NGPS LAND TITLE SURVEY PROVIDED BY BURGESS SURVEYING.
- CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF WORK.
- ALL CONSTRUCTION DETAILS ILLUSTRATED ON DETAIL SHEETS C500 AND C510 SHALL BE APPLIED TO PROPOSED WORK.
- CONTRACTOR SHALL FURNISH AND INSTALL KNOX LOCKING DEVICES AT EACH POINT OF BUILDING ENTRY IN ACCORDANCE WITH TOWNSHIP PUBLIC SAFETY REQUIREMENTS. MOUNT MIN. 3200 SERIES KNOX BOX(S), UNOBSTRUCTED AND VISIBLE, 5 FT ABOVE FINISH GRADE NEAR MAIN BUILDING ENTRANCE AND ALL BUILDING ACCESS DOORS.
- BUILDING FIRE DEPARTMENT CONNECTION (FDC) SHALL SATISFY ALL CITY PUBLIC SAFETY REQUIREMENTS. FURNISH & INSTALL FDC WITH 2.5" KNOX LOCKING PLUGS AND SWIVEL-GUARD, MODEL 304I, EQUIPPED WITH THE FOLLOWING:
  - REFLECTIVE FDC SIGN INSTALLED 10 FT ABOVE GRADE WITH MIN. 6" LETTER HT.
  - EXTERIOR RATED STROBE & HORN ALERT SYSTEM.
- INSTALL PROTECTIVE EXTERIOR CONCRETE FILLED BOLLARDS AT ALL EXPOSED ELECTRICAL OR GAS DEVICES, METERS OR EQUIPMENT.
- PAVING SCOPE TO INCLUDE PATCHING BITUMINOUS PAVEMENT AND CONCRETE CURB & GUTTER WITHIN ADJACENT RIGHT-OF-WAYS, AS REQUIRED FOR PROPOSED WORK SCOPE. PAVEMENT AND CURB SECTIONS SHALL MATCH EXISTING.
- APPROVED PROPERTY ADDRESS SHALL BE PLACED ON BUILDING SUCH THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM ADJACENT RIGHT-OF-WAYS IN ACCORDANCE WITH OSHTEMO TOWNSHIP FIRE SAFETY DEPARTMENT REQUIREMENTS.
- PROPERTY DEVELOPMENT SHALL INCLUDE NOT MORE THAN TWO COMMERCIAL SIGNS, NOT TO EXCEED 8 FT IN HEIGHT AND 60 SQUARE FEET IN AREA EACH PER COMMERCIAL PUD REQUIREMENTS.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY LIMITS REQUIRE PERMIT APPROVAL FROM THE ROAD COMMISSION OF KALAMAZOO COUNTY.
- NEW DRIVEWAY TO BE IN COMPLIANCE WITH ALL REQUIREMENTS OF THE ROAD COMMISSION OF KALAMAZOO COUNTY (RCKC).
- DEVELOPER CONSTRUCTED PUBLIC SIDEWALKS AND PUBLIC NON-MOTORIZED FACILITIES WITHIN THE PUBLIC ROW SHALL BE IN ACCORDANCE WITH OSHTEMO TOWNSHIP SIDEWALK / SHARED-USE PATH CONSTRUCTION STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING PUBLIC SIDEWALK CONSTRUCTION PERMIT FROM OSHTEMO TOWNSHIP PRIOR TO INITIATION OF THE PROPOSED WORK. TOWNSHIP INSPECTIONS ARE REQUIRED BOTH PRE & POST POUR. CONTRACTOR SHALL SCHEDULE WITH TOWNSHIP DEPARTMENT OF PUBLIC SERVICES.

**SITE DATA:**

ZONING: SKY KING MEADOWS, COMMERCIAL PUD  
 UNDERLYING ZONING: R2 RESIDENTIAL

**DIMENSIONAL STANDARDS:**

FRONT YARD SETBACK:	70 FT
FRONT YARD LANDSCAPE BUFFER:	20 FT
INTERIOR YARD SETBACK:	20 FT
INTERIOR YARD LANDSCAPE BUFFER:	10 FT

**DEVELOPMENT AREAS:**

PARCEL:	5.38 ACRES / 234,498 SF
BUILDING COVERAGE:	(22%) 51,680 SF
IMPERVIOUS PAVEMENTS:	(31%) 72,089 SF
PROPOSED TOTAL IMPERVIOUS:	(53%) 123,769 SF
PROPOSED OPEN GREEN SPACE:	(47%) 110,729 SF
FUTURE DEVELOPMENTS:	(1%) 2,050 SF
FUTURE TOTAL IMPERVIOUS:	(54%) 125,819 SF
FUTURE OPEN GREEN SPACE:	(46%) 108,679 SF

**PROPOSED ASSISTED LIVING UNIT BREAKDOWN:**

TOTAL ASSISTED LIVING UNITS:	65
• MEMORY CARE (MC) STUDIO UNIT:	17
• ASSISTED LIVING (AL) STUDIO UNIT:	14
• ASSISTED LIVING (AL) 1-BR UNITS:	25
• ASSISTED LIVING (AL) 2-BR UNITS:	9
* STUDIO APARTMENTS ARE SINGLE BED UNITS	
TOTAL PROPOSED BED COUNT:	74

**REQUIRED OFF-STREET PARKING:**

74 TOTAL BEDS @ 1 PER 2 BEDS:	37
15 EMPLOYEES @ 1 PER MAX. STAFF:	15
<b>TOTAL REQUIRED PARKING SPACES:</b>	<b>52</b>

**PROPOSED OFF-STREET PARKING:**

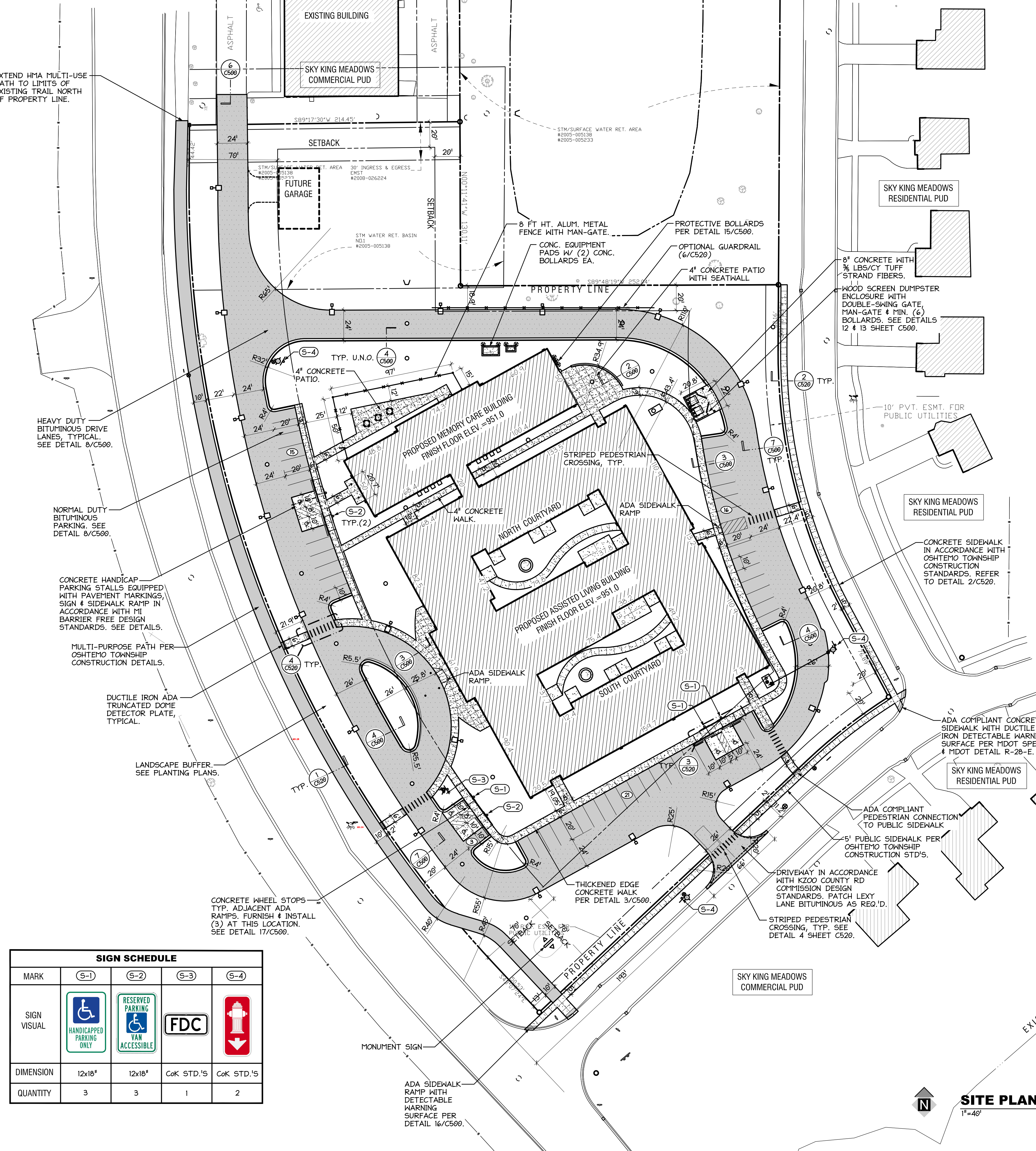
STANDARD PARKING STALL (10x20)	50
ADA PARKING SPACES (10x20)	6
<b>TOTAL PROPOSED PARKING SPACES:</b>	<b>56</b>

**DAILY TRIPS GENERATION:**

NURSING HOME, DAILY VEHICLE-TRIP RATE:	
2.8 TRIPS / OCCUPIED BED = 207.2 TRIPS	

**LEGEND:**

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- PROPOSED FENCE
- EXISTING FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- NEW HEAVY DUTY BITUMINOUS
- NEW GRAVEL
- TREELINE
- ⊕ POWER POLE
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING CURB INLET
- ⊕ PROPOSED CURB INLET
- ⊕ EXISTING CATCH BASIN
- ⊕ EXISTING STORM MANHOLE
- ⊕ PROPOSED CATCH BASIN
- ⊕ PROPOSED MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WELL HEAD
- ⊕ EXISTING ELECTRIC METER
- ⊕ EXISTING GAS METER
- ⊕ EXISTING HANDHOLE
- ⊕ EXISTING SIGN
- ⊕ PROPOSED SIGN
- ⊕ ADA PARKING STALL



**SIGN SCHEDULE**

MARK	(S-1)	(S-2)	(S-3)	(S-4)
SIGN VISUAL				
DIMENSION	12x18"	12x18"	CoK STD.'S	CoK STD.'S
QUANTITY	3	3	1	2

LANE/SB/SB/E: Oshtemo Assisted Living Facility Drawings 035-C200.dwg (last saved 4-25-2019)  
 Plotted: 4/25/2019 at 9:09am by danielc.morris



**SOIL EROSION CONTROL NOTES:**

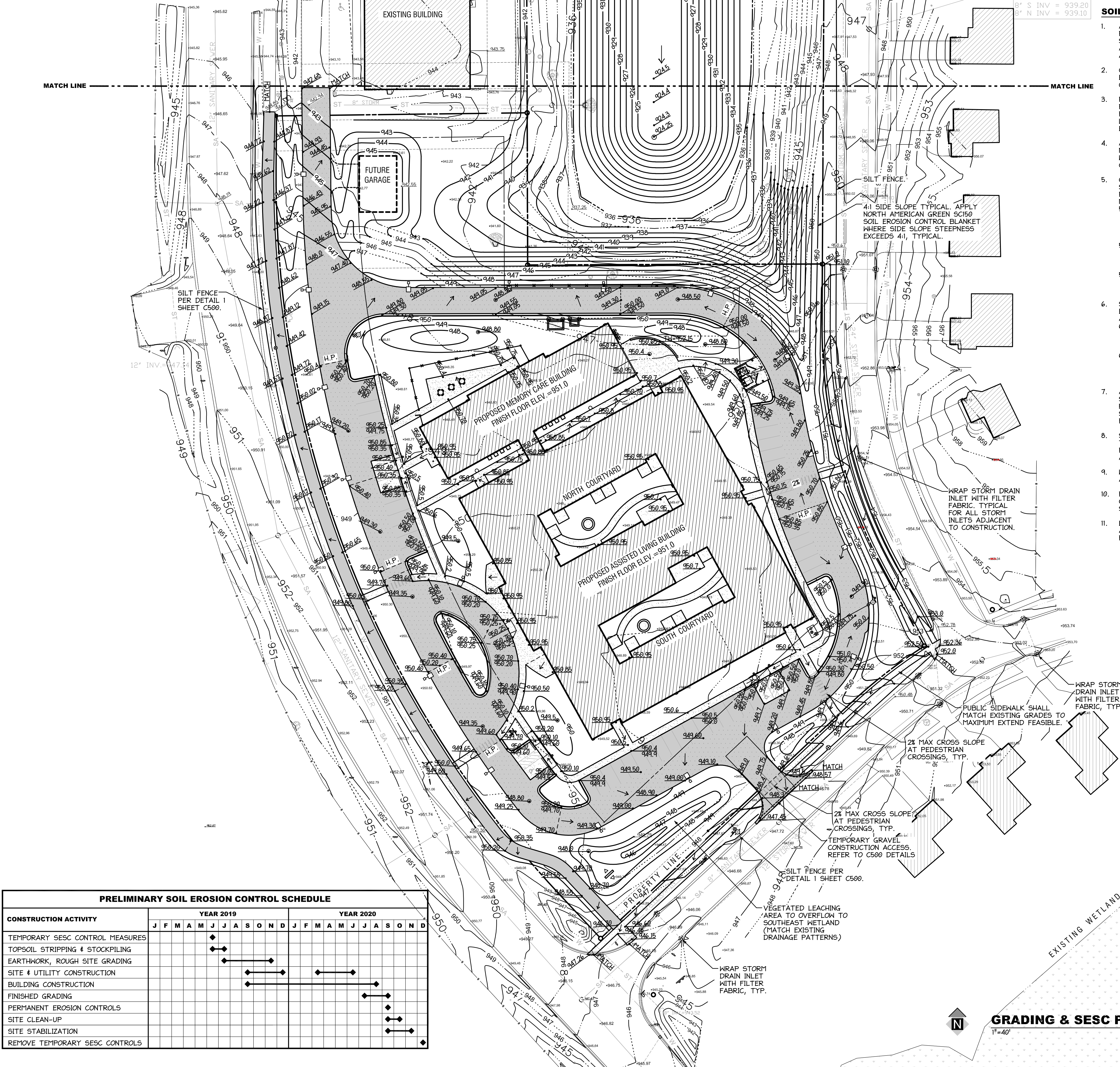
- ALL WORK SHALL COMPLY WITH THE LATEST PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED) AND LOCAL & STATE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN PART 91 SOIL EROSION CONTROL PERMIT, AND SECURE COPY ON SITE, PRIOR TO START OF WORK.
- PROVIDE TEMPORARY SILT FENCING AND INLET PROTECTION AT ALL SITE CATCH BASINS. PROVIDE SEED & MULCH TO ALL DISTURBED LAWN AREAS, AND PROVIDE ALL OTHER SOIL EROSION CONTROL MEASURES AS REQUIRED.
- ALL TEMPORARY SOIL EROSION PROTECTION MEASURES SHALL BE INSTALLED BEFORE SITE WORK BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- CONTRACTOR RESPONSIBLE FOR INSPECTION OF SESC DEVICES WITHIN 24 HOURS OF PRECIPITATION EVENT AND MAINTAINING SESC MEASURES IN PROPER WORKING CONDITION.
  - INSPECT STORM DRAIN INLET FILTERS FOR BUILD-UP OF SILT AND DEBRIS. REMOVE SEDIMENT AND/OR REPLACE DRAIN INLET FILTER FABRIC IF FLOWS ARE NOT PERMITTED TO PASS.
  - REPLACE OR RE-TRENCH SILT FENCE UPON ANY FAILURE OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITY OR RAINFALL EVENT.
  - RESTORE DISTURBED LAWN AREAS; RE-APPLY TOPSOIL, SEED AND MULCH AS NECESSARY.
- STABILIZED CONSTRUCTION ACCESS SHALL BE ESTABLISHED AT THE ONSET OF CONSTRUCTION ACTIVITY.
  - SEDIMENT DEPOSITS ON ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY AND RETURNED TO CONSTRUCTION SITE OR DISPOSED OF.
  - UPON PROJECT COMPLETION ROCK ACCESS ROAD SHOULD BE REMOVED AND DISPOSED OF UNLESS UTILIZED AS SUBGRADE FOR FINAL PAVEMENT.
- ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS.
- SEE LANDSCAPE PLAN FOR FINAL SLOPE TREATMENTS. PLACE TOPSOIL AND SEED, OR PROPOSED FINISH TREATMENTS, AS SOON AS AREAS ARE BROUGHT TO FINISH GRADE.
- WATER SITE WHEN NECESSARY TO PREVENT AIR BORNE SEDIMENT TRANSFER.
- PLACE NORTH AMERICAN GREEN SOIL EROSION CONTROL BLANKET SC150 ON ALL SLOPES STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL.
- EXCESS SOILS SHALL BE HANDLED IN ACCORDANCE WITH ENVIRONMENTAL REPORT REQUIREMENTS AND RECOMMENDATIONS.

**GRADING NOTES:**

- FOR GRADING IN AREAS NOT SHOWN, PAVEMENT SLOPES TO BE 1% MINIMUM AND 6% MAXIMUM. 2% PAVEMENT SLOPES TYPICAL.
- WHERE PAVEMENT IS BEING REPLACED RECORD EXISTING ELEVATIONS AND MATCH EXISTING ELEVATIONS WITH NEW PAVEMENT.
- SPOT ELEVATIONS SHOWN AT CURB AND GUTTER ARE AT THE FLOW LINE.
- VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL 'MISS DIG' 72 HOURS BEFORE YOU DIG AT 1-800-482-7171.
- ALL NEW PAVEMENT SURFACES ARE INTENDED TO DRAIN FREELY WITH NO SURFACE WATER PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE, OR THE ENGINEER, IMMEDIATELY FOR RESOLUTION.
- ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
- FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE TRANSPORT AND DISPOSAL OF SURPLUS SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.

**LEGEND:**

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- PROPOSED FENCE
- EXISTING FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- NEW HEAVY DUTY BITUMINOUS
- GRAVEL CONSTRUCTION ACCESS
- TRELLINE
- POWER POLE
- EXISTING SANITARY MANHOLE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WELL HEAD
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HANDHOLE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED PLANTING(S)
- EXISTING SPOT ELEVATION
- SPOT ELEVATION
- EXISTING CONTOUR
- CONTOUR
- SILT FENCE
- DRAINAGE FLOW DIRECTION



CONSTRUCTION ACTIVITY	YEAR 2019												YEAR 2020											
	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D
TEMPORARY SESC CONTROL MEASURES																								
TOPSOIL STRIPPING & STOCKPILING																								
EARTHWORK, ROUGH SITE GRADING																								
SITE & UTILITY CONSTRUCTION																								
BUILDING CONSTRUCTION																								
FINISHED GRADING																								
PERMANENT EROSION CONTROLS																								
SITE CLEAN-UP																								
SITE STABILIZATION																								
REMOVE TEMPORARY SESC CONTROLS																								

**GRADING & SESC PLAN**

1"=40'

New Assisted Living Development for:  
**BUILD SENIOR LIVING**  
400 N. 9th Street - Oshtemo Township, Michigan

**PRELIMINARY**  
NOT FOR CONSTRUCTION

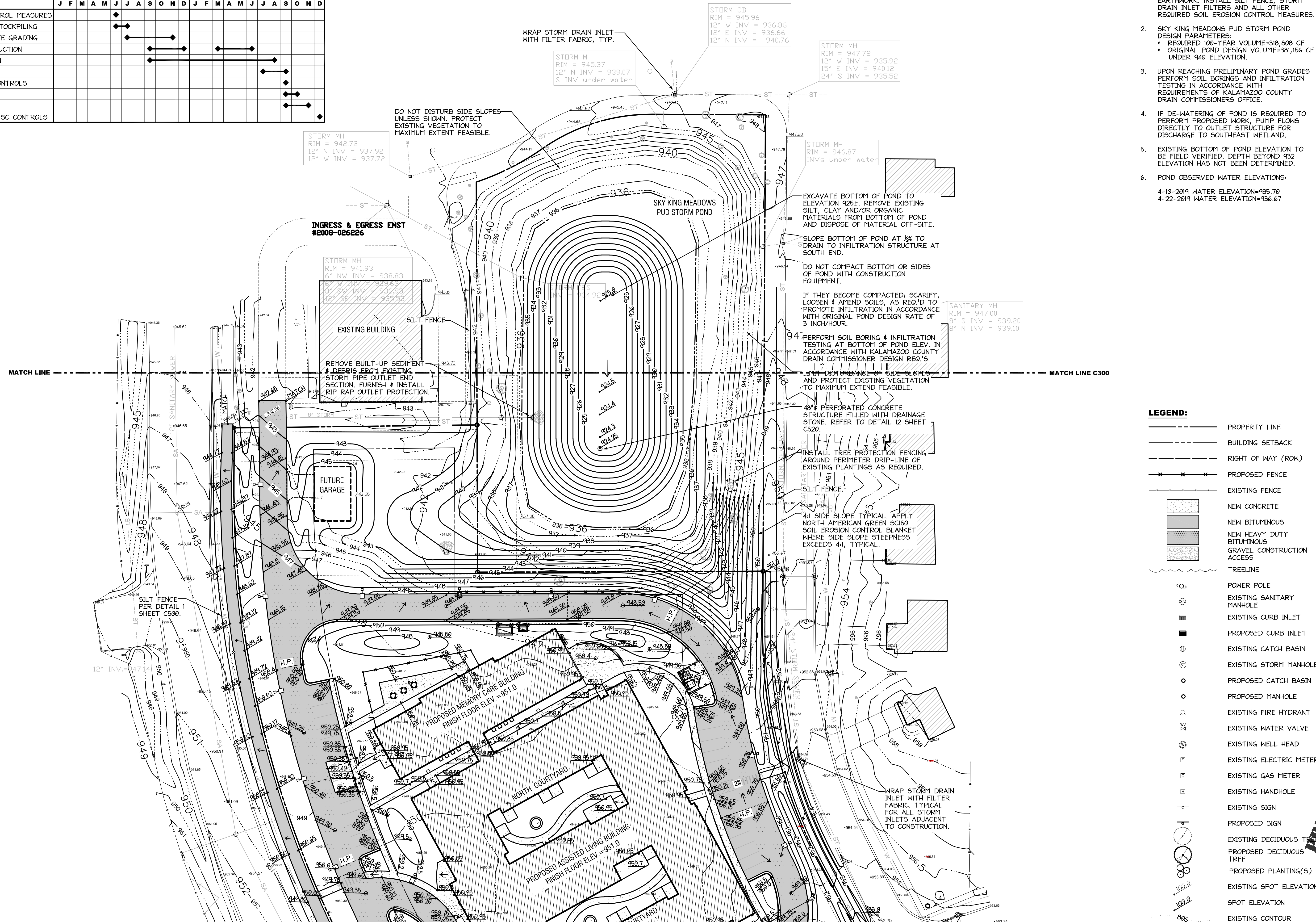
04-23-2019 SITE PLAN APPROVAL  
**GRADING & SESC PLAN**

HAUSBIE, Colburn, Assisted Living Facility Drawings 035-C300.dwg, last saved 4-23-2019  
Plotted: 04-23-2019 at 3:25pm by cadette@hausbie.com



PRELIMINARY SOIL EROSION CONTROL SCHEDULE																								
CONSTRUCTION ACTIVITY	YEAR 2019												YEAR 2020											
	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D
TEMPORARY SESC CONTROL MEASURES																								
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FINISHED GRADING																								
PERMANENT EROSION CONTROLS																								
SITE CLEAN-UP																								
SITE STABILIZATION																								
REMOVE TEMPORARY SESC CONTROLS																								

- NOTES:**
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF EARTHWORK. INSTALL SILT FENCE, STORM DRAIN INLET FILTERS AND ALL OTHER REQUIRED SOIL EROSION CONTROL MEASURES.
  - SKY KING MEADOWS PUD STORM POND DESIGN PARAMETERS:  
 \* REQUIRED 100-YEAR VOLUME=310,806 CF  
 \* ORIGINAL POND DESIGN VOLUME=381,156 CF UNDER 940 ELEVATION.
  - UPON REACHING PRELIMINARY POND GRADES PERFORM SOIL BORINGS AND INFILTRATION TESTING IN ACCORDANCE WITH REQUIREMENTS OF KALAMAZOO COUNTY DRAIN COMMISSIONERS OFFICE.
  - IF DE-WATERING OF POND IS REQUIRED TO PERFORM PROPOSED WORK, PUMP FLOWS DIRECTLY TO OUTLET STRUCTURE FOR DISCHARGE TO SOUTHEAST WETLAND.
  - EXISTING BOTTOM OF POND ELEVATION TO BE FIELD VERIFIED. DEPTH BEYOND 932 ELEVATION HAS NOT BEEN DETERMINED.
  - POND OBSERVED WATER ELEVATIONS:  
 4-10-2019 WATER ELEVATION=935.70  
 4-22-2019 WATER ELEVATION=936.67



- LEGEND:**
- PROPERTY LINE
  - BUILDING SETBACK
  - RIGHT OF WAY (ROW)
  - PROPOSED FENCE
  - EXISTING FENCE
  - NEW CONCRETE
  - NEW BITUMINOUS
  - NEW HEAVY DUTY BITUMINOUS
  - GRAVEL CONSTRUCTION ACCESS
  - TREELINE
  - POWER POLE
  - EXISTING SANITARY MANHOLE
  - EXISTING CURB INLET
  - PROPOSED CURB INLET
  - EXISTING CATCH BASIN
  - EXISTING STORM MANHOLE
  - PROPOSED CATCH BASIN
  - PROPOSED MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER VALVE
  - EXISTING WELL HEAD
  - EXISTING ELECTRIC METER
  - EXISTING GAS METER
  - EXISTING HANDHOLE
  - EXISTING SIGN
  - PROPOSED SIGN
  - EXISTING DECIDUOUS TREE
  - PROPOSED DECIDUOUS TREE
  - PROPOSED PLANTING(S)
  - EXISTING SPOT ELEVATION
  - SPOT ELEVATION
  - EXISTING CONTOUR
  - CONTOUR
  - SILT FENCE
  - DRAINAGE FLOW DIRECTION

New Assisted Living Development for:  
**BUILD SENIOR LIVING**  
 400 N. 9th Street - Oshtemo Township, Michigan

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

04-23-2019 SITE PLAN APPROVAL  
**GRADING & SESC PLAN - NORTH**

H:\PROJECTS\Oshtemo Assisted Living Facility Drawings\05-C310.dwg last saved 4-23-2019  
 Plotted: 4-23-2019 at 3:18pm by jsmith@byce.com

**GRADING & SESC PLAN - NORTH**  
 1"=40'



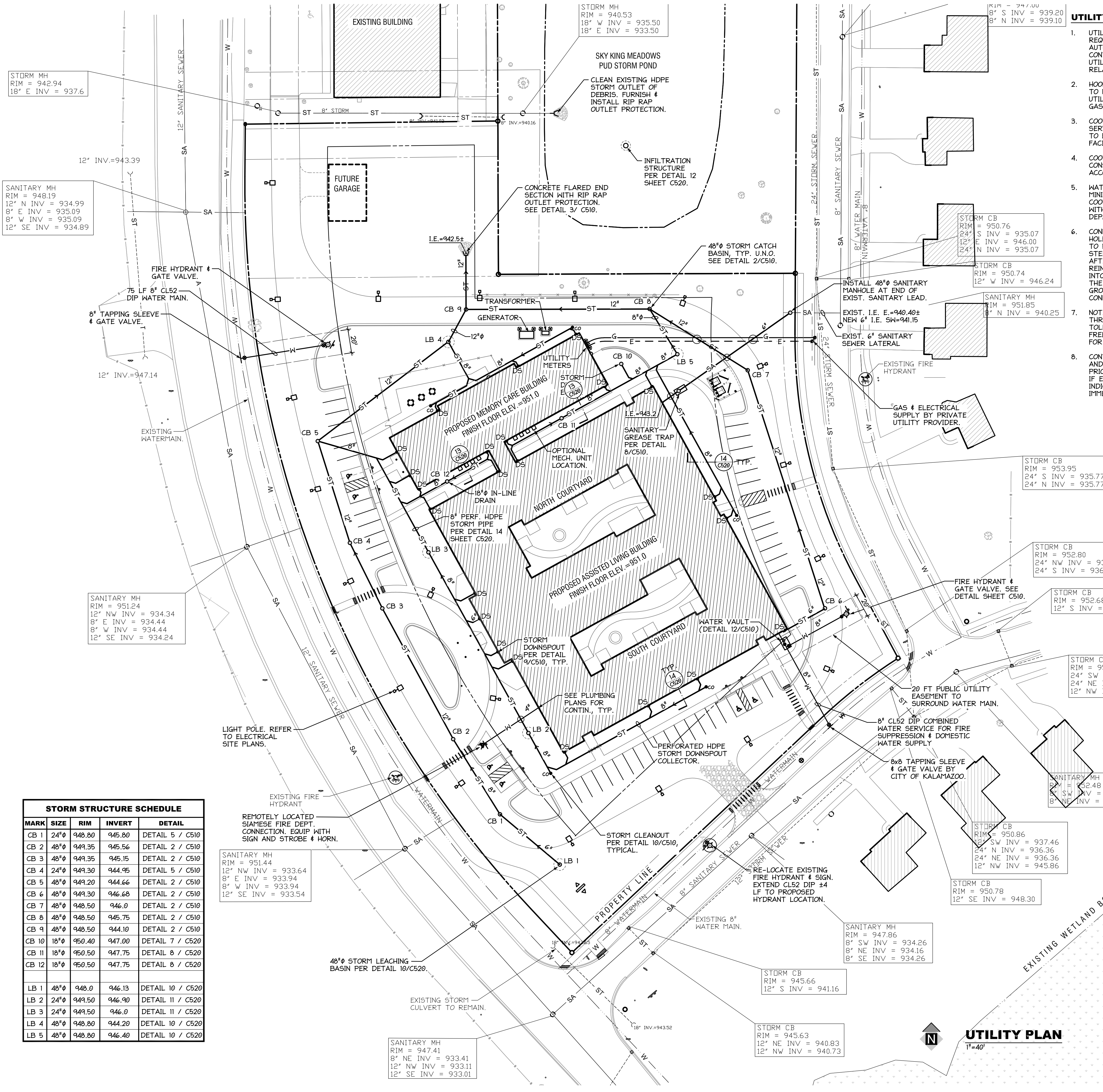
**UTILITY NOTES:**

- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION. CONTRACTOR TO OBTAIN ALL REQUIRED UTILITY PERMITS PRIOR TO START OF RELATIVE WORK.
- HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, TELECOMMUNICATIONS, ETC.
- COORDINATE NEW ELECTRICAL UTILITY SERVICE WITH CONSUMERS ENERGY. ELECTRIC TO BE SIZED ACCORDING TO PROJECTED FACILITY DEMAND.
- COORDINATE NEW GAS SERVICE WITH CONSUMERS ENERGY. GAS TO BE SIZED ACCORDING TO PROJECTED FACILITY DEMAND.
- WATER SERVICE TO BE CLE2 DIP. MAINTAIN MINIMUM 5'-6" COVER ON PIPES. COORDINATE WATER MAIN TAP & METER SIZE WITH CITY OF KALAMAZOO PUBLIC SERVICES DEPARTMENT.
- CONNECTIONS TO EXISTING MANHOLES: CUT A HOLE IN THE EXISTING MANHOLE ADEQUATE TO RECEIVE THE NEW PIPE. ANY REINFORCING STEEL SHALL BE BENT OUT OF THE WAY. AFTER THE NEW PIPE IS IN PLACE, THE REINFORCING STEEL SHALL BE BENT BACK INTO THE VOID AROUND THE NEW PIPE AND THE VOID SHALL BE FILLED WITH CEMENT GROUT. PROVIDE FLEXIBLE SEALS AT PIPE CONNECTIONS TO NEW MANHOLES.
- NOTE TO CONTRACTOR: CALL "MISS DIG" THREE FULL WORKING DAYS BEFORE YOU DIG TOLL FREE AT 1-800-426-7171 OR CALL #DIG FREE FROM YOUR AT&T CELLULAR PHONE. FOR UTILITIES LOCATION ON THE GROUND.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF RELATIVE UTILITY WORK. IF EXISTING CONDITIONS DIFFER FROM THOSE INDICATED ON PLANS NOTIFY ENGINEER IMMEDIATELY FOR RESOLUTION.
- STORM SEWER PIPE TO BE HDPE N-12 DUAL WALL POLYETHYLENE DRAINAGE PIPE, UNLESS NOTED OTHERWISE. INSTALL NON PERFORATED PIPE WITH WATER TIGHT JOINTS, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- SANITARY SEWER PIPE TO BE SCHEDULE 40 PVC OR SDR 35 PVC, UNLESS NOTED OTHERWISE. MAINTAIN 4'-0" MINIMUM COVER ON GRAVITY PIPES AT ALL TIMES.
- ALL UNDERGROUND UTILITY STRUCTURES SHALL BE DESIGNED TO RESIST FLOATATION AND SHALL BE WATER TIGHT, UNLESS NOTED OTHERWISE. FURNISH ANTI-BUOYANCY ANCHORS ON ALL UNDERGROUND SITE UTILITY STRUCTURES.
- SITE UTILITY PLAN APPLICABLE TO UTILITY SYSTEM RUNS SPANNING FROM PUBLIC OR PRIVATE UTILITY SUPPLY, OR SERVICE CONNECTION, TO SITE LOCATION APPROXIMATELY 5'-0" OUTSIDE EXTERIOR BUILDING WALL.
- CONTRACTOR SHALL COORDINATE PIPE ROUTING(S) BEYOND THIS POINT WITH PLUMBING CONTRACTOR. REFER TO MECHANICAL PLUMBING PLANS. NOTIFY ENGINEER IF CONFLICT OR DISCREPANCY ARISES BETWEEN EXCAVATOR AND PLUMBING CONTRACTOR.
- POLE LIGHTING SHALL NOT EXCEED 15 FOOT IN HEIGHT NOR 175 WATTS IN POWER. FREE-STANDING LIGHTS AND OUTDOOR LIGHTING PROVISIONS SHALL BE IN COMPLIANCE WITH LIMITATIONS SET FORTH IN OSHTEMO ZONING ORDINANCE SECTION 7B.720(b)(1).
- STORM SEWER RUNOFF TO BE DIRECTED TO SKY KING MEADOWS COMMUNITY STORM POND NORTH OF PROPERTY. COORDINATE PREFERRED METHOD OF TIE-IN (CONNECTION) WITH AUTHORITIES HAVING JURISDICTION.
- PUBLIC WATER MAIN TO BE CLASS 52 DUCTILE IRON PIPE WITH 5'-6" MINIMUM COVER ON PIPE AT ALL TIMES. INSTALL IN ACCORDANCE WITH CITY OF KALAMAZOO WATER MAIN SPECIFICATIONS.

**LEGEND:**

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- PROPOSED FENCE
- EXISTING FENCE
- ⊙ POWER POLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING CURB INLET
- ⊙ PROPOSED CURB INLET
- ⊙ EXISTING CATCH BASIN
- ⊙ PROPOSED CATCH BASIN
- ⊙ EXISTING MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ NEW FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WELL HEAD
- ⊙ EXISTING ELECTRIC METER
- ⊙ EXISTING GAS METER
- ⊙ EXISTING HANDHOLE
- ⊙ EXISTING SIGN
- ⊙ PROPOSED SIGN
- ⊙ GATE VALVE
- ⊙ CLEANOUT
- SA --- SANITARY
- EXISTING SANITARY
- ST --- STORM
- EXISTING STORM
- W --- WATER MAIN
- EXISTING WATER MAIN
- G --- GAS
- EXISTING GAS
- E --- ELECTRIC OVERHEAD
- EXISTING ELECTRIC OVERHEAD
- E --- ELECTRIC UNDERGROUND
- EXISTING ELECTRIC UNDERGROUND
- EXISTING FIBER OPTIC

**UTILITY PLAN**  
T=40'

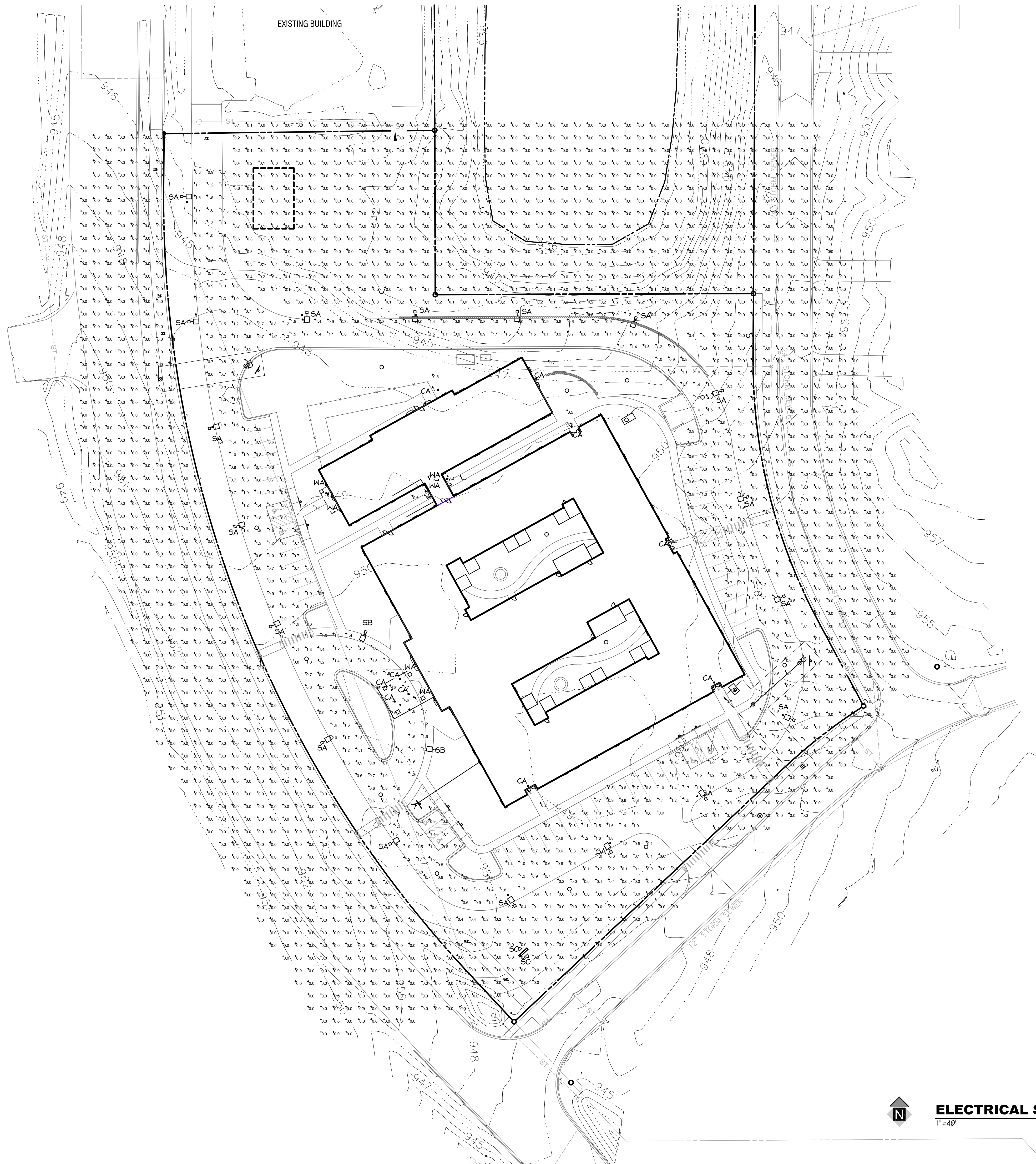


**STORM STRUCTURE SCHEDULE**

MARK	SIZE	RIM	INVERT	DETAIL
CB 1	24"	948.80	945.80	DETAIL 5 / C510
CB 2	48"	949.35	945.56	DETAIL 2 / C510
CB 3	48"	949.35	945.15	DETAIL 2 / C510
CB 4	24"	949.30	944.95	DETAIL 5 / C510
CB 5	48"	949.20	944.66	DETAIL 2 / C510
CB 6	48"	949.30	946.68	DETAIL 2 / C510
CB 7	48"	948.50	946.0	DETAIL 2 / C510
CB 8	48"	948.50	945.75	DETAIL 2 / C510
CB 9	48"	948.50	944.10	DETAIL 2 / C510
CB 10	18"	950.40	947.00	DETAIL 7 / C520
CB 11	18"	950.50	947.75	DETAIL 8 / C520
CB 12	18"	950.50	947.75	DETAIL 8 / C520
LB 1	48"	948.0	946.13	DETAIL 10 / C520
LB 2	24"	949.50	946.90	DETAIL 11 / C520
LB 3	24"	949.50	946.0	DETAIL 11 / C520
LB 4	48"	948.80	944.20	DETAIL 10 / C520
LB 5	48"	948.80	946.40	DETAIL 10 / C520

H:\080915 Oshtemo Assisted Living Facility\Drawings\315-C400.dwg (last saved: 4-23-2019 10:42:20 AM) Plotted: 11/14/2019 10:42:20 AM at 3:58pm by drafclic/mdb





**GENERAL NOTES:**

- A. PHOTOMETRIC CALCULATION ZONES MEET 4.0:1 LIGHTING RATIO REQUIRED BY CITY ORDINANCES.
- B. ALL EXTERIOR LIGHT FIXTURES SHALL BE REDUCED TO 30% POWER AT ONE HOUR AFTER THE END OF BUSINESS OPERATIONS AND NO LATER THAN 10:00 PM, UNTIL 7:00AM VIA AN OWNER PROGRAMMABLE TIMER THROUGH THE LIGHTING CONTROL PANEL.
- C. ALL LIGHT FIXTURES SHALL BE FULL CUT-OFF AND ORIENTATED DOWNWARD.

**BYCE**  
ASSOCIATES, INC.  
 ENGINEERS | ARCHITECTS  
 487 PORTAGE STREET  
 KALAMAZOO, MI 49007  
 CORPORATE@BYCE.COM  
 WWW.BYCE.COM  
 TEL: 269-381-6170  
 FAX: 269-381-6176

New Assisted Living Development for:  
**BUILD SENIOR LIVING**  
 400 N. 9th Street · Oshtemo Township, Michigan

04-23-2019 SITE PLAN APPROVAL  
**ELECTRICAL SITE PLAN & PHOTOMETRICS**

**ELECTRICAL SITE PLAN & PHOTOMETRICS**  
 1"=40'

18100315  
**EC100**

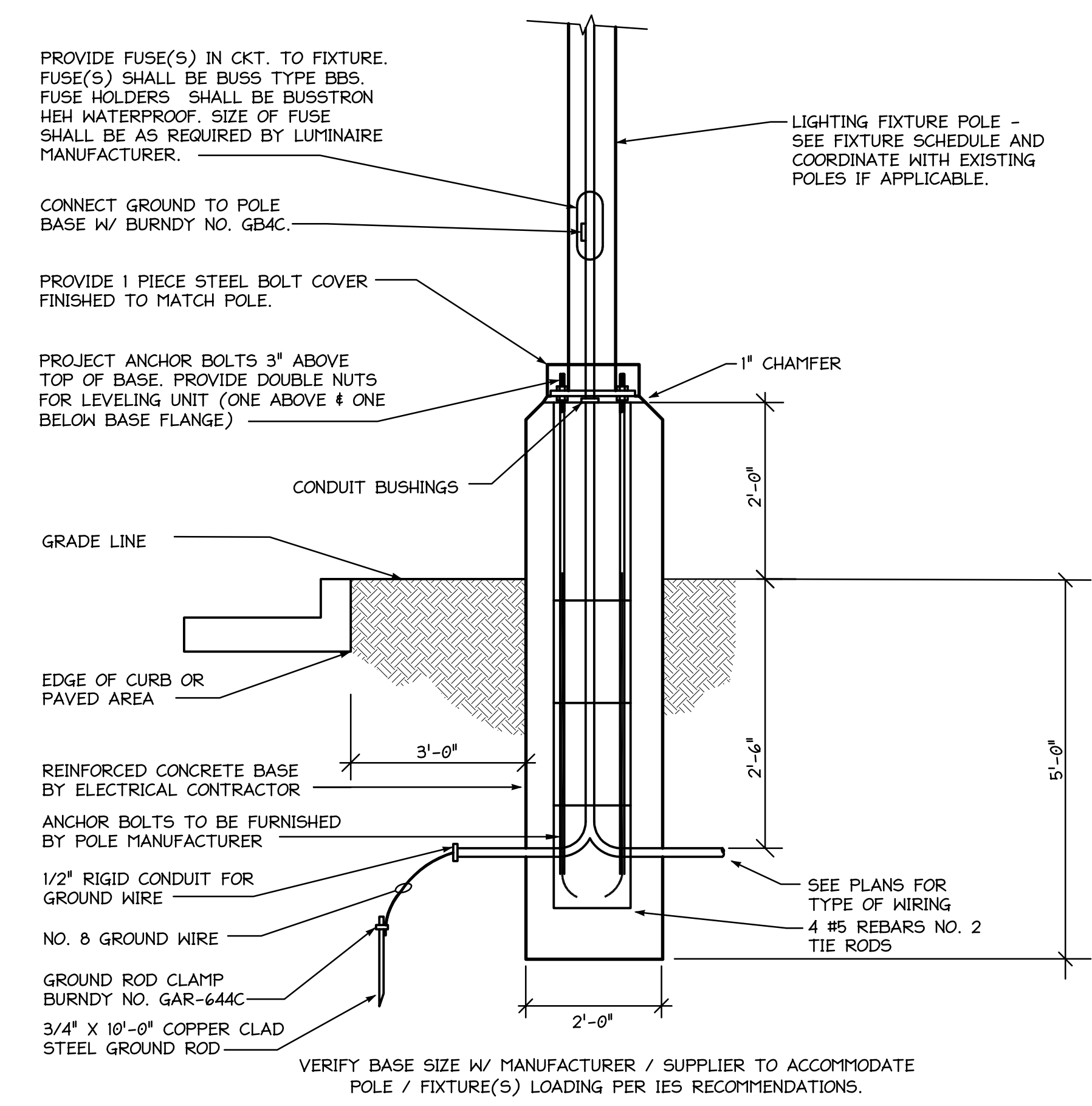
H:\18100315\_Cohitemo\_Assisted Living\_Facility\Drawings\315-EC100.dwg (est. saved 4-19-2019)  
 Plotted Tue, 4-23-2019 at 9:30am by modt.wyman



LIGHT FIXTURE SCHEDULE						
MARK	SYMBOL	LIGHT SOURCE		MANUFACTURER AND CATALOG NUMBER	MOUNTING	REMARKS
		WATTS	TYPE			
SA		70W	LED	LITHONIA: #DSX1 LED P1 30K T4M1 MVOLT SPA PIRH HS DDLXD POLE: SS5 18 4C DM19AS DBLXD	18' POLE, 2' BASE	8,083 LUMENS W/ HOUSESIDE SHIELD. FIXTURE IS FULL CUTOFF. FIXTURE EQUIPPED W/ MOTION SENSOR TO DIM TO 50% WHEN OCCUPANCY NOT DETECTED.
SB		54W	LED	LITHONIA: #DSX1 LED P1 30K T2M1 MVOLT SPA PIRH DDLXD POLE: SS5 18 4C DM19AS DBLXD	18' POLE, 2' BASE	6,483 LUMENS. FIXTURE IS FULL CUTOFF. FIXTURE EQUIPPED W/ MOTION SENSOR TO DIM TO 50% WHEN OCCUPANCY NOT DETECTED.
SC		21W	LED	LITHONIA: #OFL1 LED P1 4000K MVOLT THK DDBXD	GRADE	2,295 LUMENS. FLOOD LIGHT FOR MONUMENT SIGN.
CA		20W	LED	HALO: #H7501CAT-ML5612930-692W	RECESSED	RECESSED IN CANOPY AT ENTRANCE
WA		13	LED	LITHONIA: #DSXW1-LED-10-350-30K-T4M-120	WALL	1,354 LUMENS, WALL MOUNTED EGRESS LIGHT.

**GENERAL NOTES:**

- A. PHOTOMETRIC CALCULATION ZONES MEET 4.0:1 LIGHTING RATIO REQUIRED BY CITY ORDINANCES.
- B. ALL EXTERIOR LIGHT FIXTURES SHALL BE REDUCED TO 30% POWER AT ONE HOUR AFTER THE END OF BUSINESS OPERATIONS AND NO LATER THAN 10:00 PM, UNTIL 7:00AM VIA AN OWNER PROGRAMMABLE TIMER THROUGH THE LIGHTING CONTROL PANEL.
- C. ALL LIGHT FIXTURES SHALL BE FULL CUT-OFF AND ORIENTATED DOWNWARD.



**2' POLE BASE DETAIL**  
SCALE: NONE

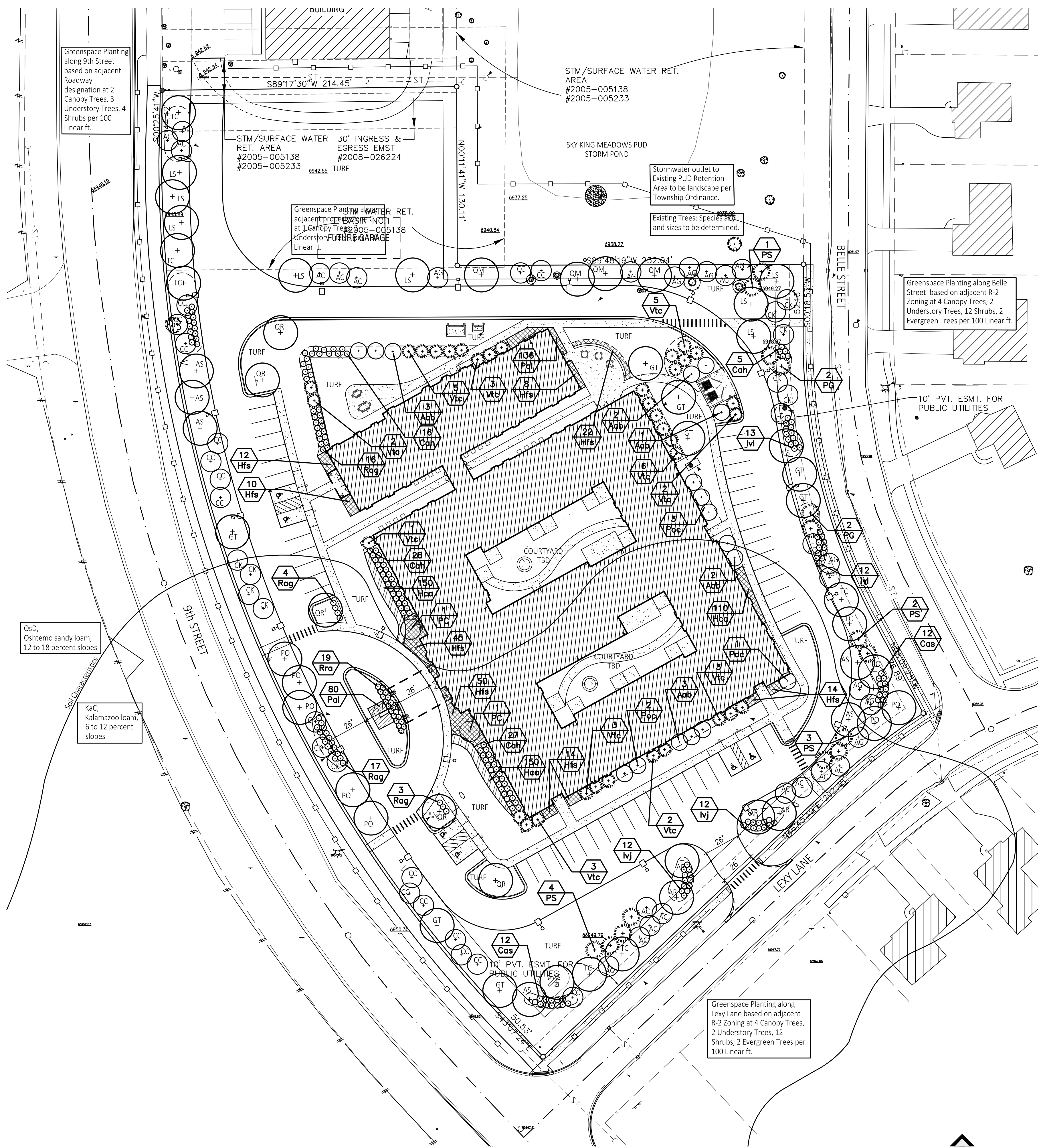
New Assisted Living Development for:  
**BUILD SENIOR LIVING**  
400 N. 9th Street · Oshtemo Township, Michigan

**PRELIMINARY**  
NOT FOR CONSTRUCTION

04-29-2014 SITE PLAN APPROVAL  
ELECTRICAL SCHEDULES AND DETAILS

H:\18100315 Oshtemo Assisted Living Facility\Drawings\315-EC001.dwg last saved 4-23-2014  
Plotted Tue, 4-23-2014 at 9:27am by matt.lyman





**LANDSCAPE NOTES:**

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY BURGESS SURVEYING, 8375 RIDGESTON DR. SW, BYRON CENTER, MI 49315, (616) 437-2249.
2. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
4. IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
5. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
6. UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
7. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
8. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
9. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
10. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
11. ALL TURF AND PLANTING AREAS TO BE IRRIGATED.
12. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
13. UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

**PROPOSED FEATURES LEGEND:**

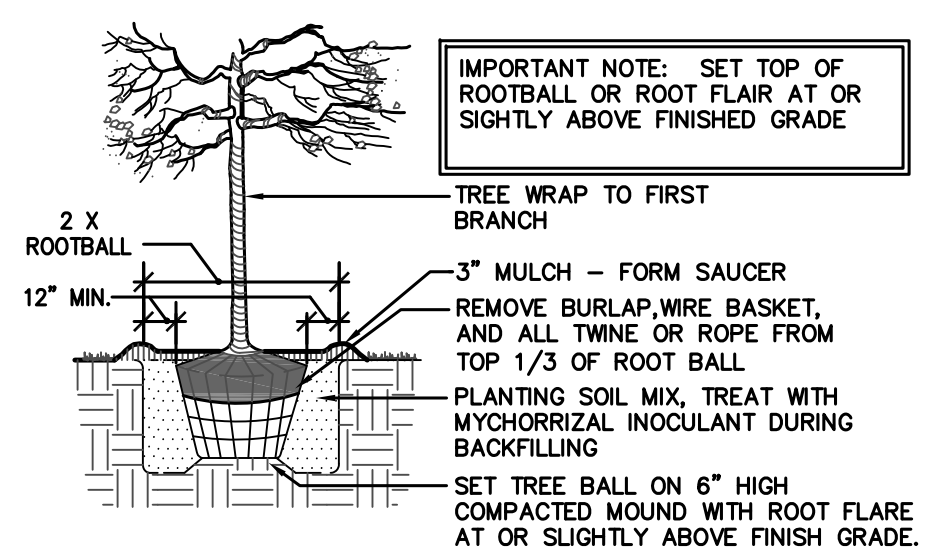
SYMBOL	DESCRIPTION	DETAIL
(+)	PROPOSED DECIDUOUS TREE	2/L100
(*)	PROPOSED EVERGREEN TREE	X/L100
(O)	PROPOSED SHRUB	4/L100
(Hatched Box)	PROPOSED GRASSES, GROUND COVER AND/OR PERENNIALS	3/L100
(Dashed Line)	METAL EDGING	5/L100
(Dotted Line)	TREE PROTECTION FENCING	
(Solid Line)	PROPERTY LINE	
(6 Bn)	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

**SOIL CLASSIFICATION LEGEND**

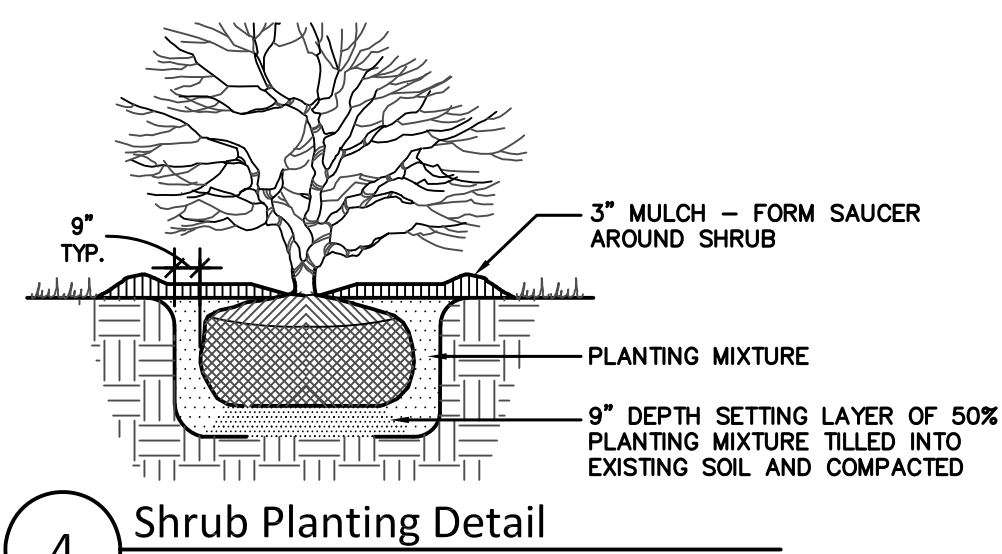
MAP UNIT SYMBOL	MAP UNIT NAME
KaC	Kalamazoo loam, 6 to 12 percent slopes
OsD	Oshtemo sandy loam, 12 to 18 percent slopes

**PLANT LIST:**

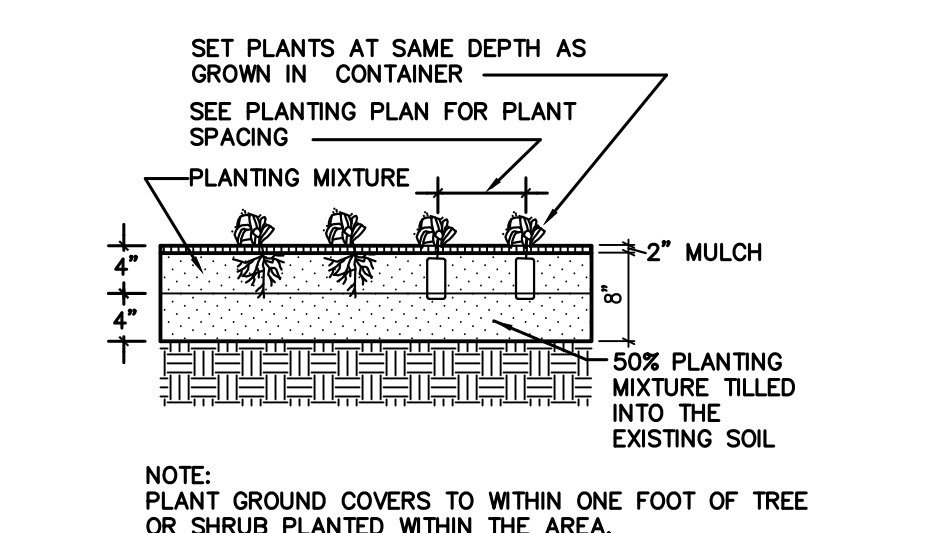
	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COM.
DECIDUOUS TREES	AR	Acer rubrum 'Franksred'	Red Sunset Red Maple	2" Cal.	B&B	
	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2" Cal.	B&B	
	GT	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	3" Cal.	B&B	
	LS	Liquidambar styraciflua	Sweet Gum	2" Cal.	B&B	
	PO	Platanus occidentalis	American sycamore	2" Cal.	B&B	
	QM	Quercus macrocarpa	Burr Oak	2" Cal.	B&B	
	QR	Quercus rubra	Red Oak	2" Cal.	B&B	
	TC	Tilia cordata 'Greenspire'	Greenspire Linden	2" Cal.	B&B	
ORNAMENTAL	AG	Acer ginnala	Amur Maple	8' Ht.	B&B	
	AC	Amelanchier canadensis	Serviceberry	8' Ht.	B&B	Clump
	CC	Cercis canadensis	Redbud	8' Ht.	B&B	
	CK	Cornus kousa	Kousa Dogwood	2" Cal.	B&B	
	PC	Pyrus calleryana 'Bradford'	Bradford Pear	2" Cal.	B&B	
EVERGREEN TREES	PG	Picea glauca 'Densata'	Black Hills White Spruce	8' Ht.	B&B	
	PS	Pinus strobus	White Pine	8' Ht.	B&B	
SHRUBS	Aab	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	4' Ht.	B&B	
	Cah	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	2' Ht.	B&B	
	Cas	Cornus alba 'Sibirica'	Red Twig Dogwood	2' Ht.	B&B	
	Ivj	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	3' Ht.	B&B	
	Ivr	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	3' Ht.	B&B	
	Iv	Itea v. 'Little Henry'	Little Henry Virginia Sweetspire	15' Ht.	Cont.	
	Poc	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	30" Ht.	Cont.	
	Rag	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2' Ht.	B&B	
	Rra	Rosa x 'Radsunny'	Sunny Knock Out Rose	3' Ht.	B&B	
	Vtc	Viburnum trilobum 'Compactum'	Compact American Cranberrybush	30" Ht.	Cont.	
PERENNIALS, GROUND COVERS	Hca	Hemerocallis 'Chicago Apache'	Chicago Apache Daylily	1 Gal.	Cont.	
	Hfs	Hypericum frondosum 'Sunburst'	Sunburst St. John's Wort	1 Gal.	Cont.	
GRASSES	Pal	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass	1 Gal.	Cont.	



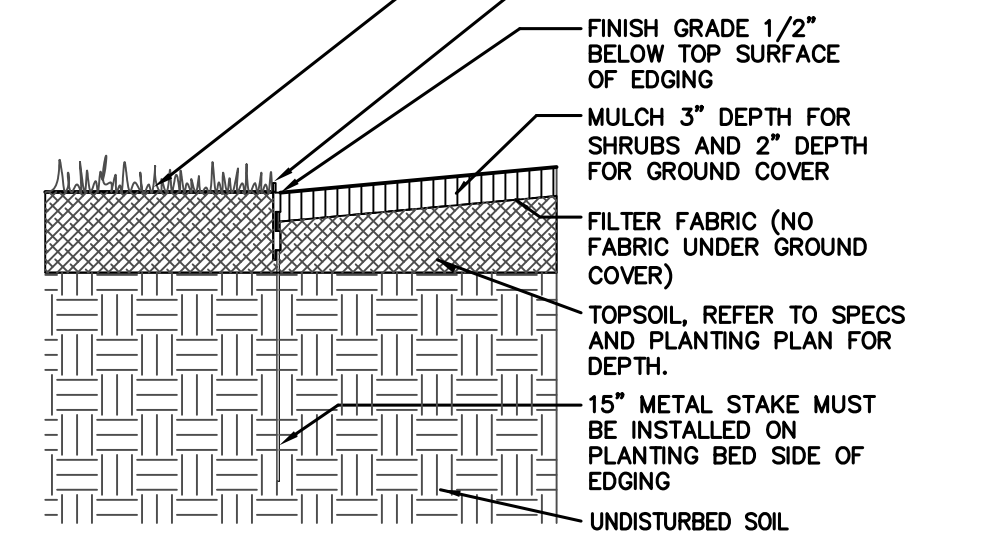
**2 Tree Planting Detail**  
Not To Scale



**4 Shrub Planting Detail**  
Not To Scale

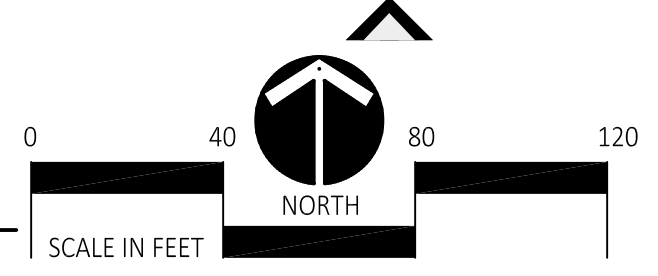


**3 Groundcover Planting Detail**  
Not To Scale



**5 Metal Edging Detail**  
Not To Scale

**1 Landscape Plan**  
SCALE: 1"=40'-0"



**PRELIMINARY**  
NOT FOR CONSTRUCTION

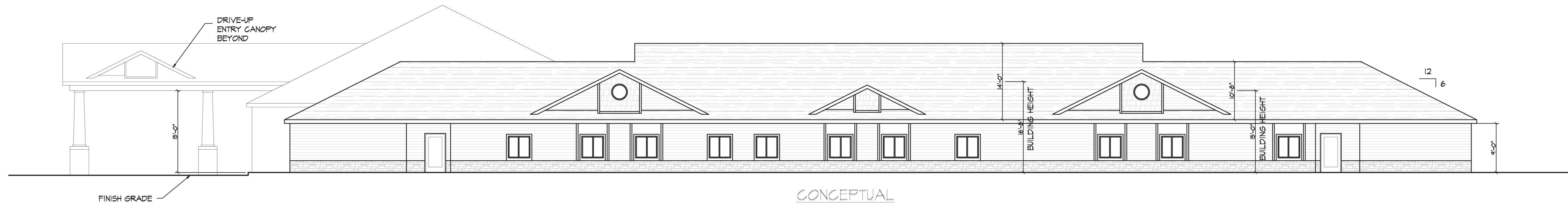
03-20-2019 SITE PLAN REVIEW  
02-28-2019 SITE PLAN REVIEW

USE MATCHPROP (PANTHUS) for





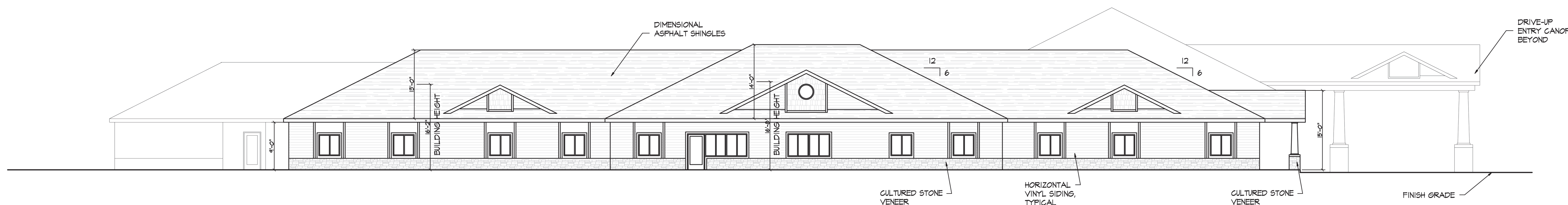




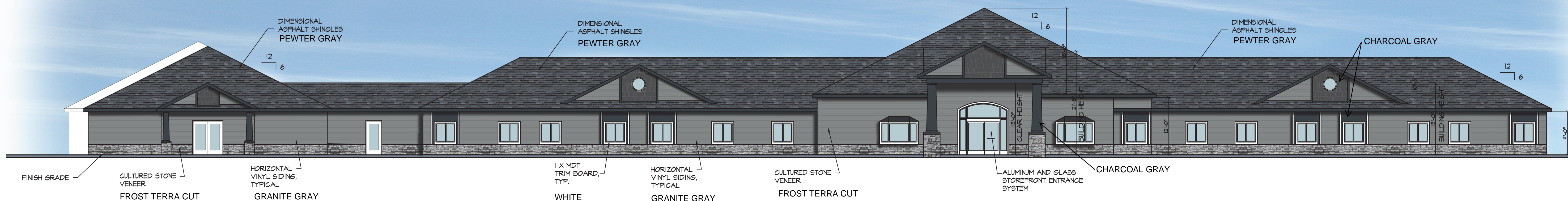
CONCEPTUAL  
SOUTH ELEVATION  
3/32"=1'-0"



CONCEPTUAL  
EAST ELEVATION  
3/32"=1'-0"



CONCEPTUAL  
NORTH ELEVATION  
3/32"=1'-0"



CONCEPTUAL  
WEST ELEVATION  
3/32"=1'-0"

SITE PLAN RESUBMITTAL  
3-16-2019

REVISIONS

▲	
▲	
▲	
▲	
▲	

JOB NO: 019-002  
DATE: 2-25-2019  
DRAWN BY: JKC  
SCALE: AS NOTED  
SHEET NO: