



February 28, 2019

Mtg Date: February 28, 2019
To: Planning Commission
From: Julie Johnston, AICP
Subject: AMENDED Advia Credit Union Site Plan

The staff report dated February 22nd outlined a number of outstanding concerns related to the Advia Credit Union corporate headquarters site plan. The project engineer has provided an updated plan that addresses a number of these issues. In addition, the Township held a meeting on February 26th with Meijer and Bronson, adjacent property owners to the Advia site, and was able to secure verbal confirmation that they would allow cross-access from their properties. This verbal agreement was then strengthened with the attached letters. There are still a few issues to resolve with the site plan, as well as some conditions staff would recommend the Planning Commission consider if amenable to approving the plan. These are outlined below.

Outstanding Concerns Noted in the February 22nd Staff Report

- **Cross access between the neighboring properties was outlined as a condition of the rezoning. The applicant provides a service drive to the western boundary and a proposed drive to the eastern boundary, but to date, no agreements have been signed.**

Letters have been provided by both Meijer and Bronson property owners indicating their willingness to provide cross-access and enter into cross-access agreements. While cross-access agreements are still outstanding, the applicant has worked in good faith to secure the neighboring property owners' consent. A condition is still needed on the plan, but staff is confident the complete service drive will be developed and cross-access agreements signed.

- **Staff is recommending the dashed line that outlines the western nonmotorized path on the site plan be removed and the nonmotorized network be displayed on the landscape plan. In addition, the path should extend to the western property line.**

This request has been completed.

- **Confirmation from MDOT should be provided that the signal has been approved and who will be responsible for installing the infrastructure.**

MDOT was an attendee of the February 26th meeting. They indicated a warrant for the placement of the intersection light has been approved as long as east bound Meijer traffic is diverted from their existing east curb cut to the Advia site. This requires Meijer's east curb cut to be altered to a limited movement curb cut (likely right-in, right-out only). Staff understood Advia would show this on their site plan and include it as part of Phase II of the project. It currently is not shown on the plan.

- **The evergreen trees required by Section 75.130 must be installed within the 100-foot buffer area.**

This requirement has been met. It should be noted that the landscape materials are planned to be placed on the proposed buffer. Staff is concerned about long term viability of the plants and wants to ensure the applicant understands as a requirement of the Ordinance, the trees will have to be replaced if they do not survive, as follows:

Section 75.180.H: Replacement. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season later.

- **The Planning Commission will need to determine if the undulating berm required by the conditional rezoning is met through the topography of the site or must be installed as part of the 100-foot buffer.**

The applicant has now placed a berm within the 100-foot buffer adjacent to the residentially zoned properties. The grading detail of the berm is found on Sheet C300: Grading Plan. A note is shown on the plan indicating the berm is four feet high and six feet wide at the top. The four-foot height undulates with the existing topography of the site. Some of the berm detail is obscured by retention tables on the plan. We would request the applicant move these tables so the full detail of the berm can be shown. Staff is satisfied the berm meets the requirements of the conditional rezoning.

In addition, now that a berm is being provided, tree protection fencing should be shown on the plan for those trees being preserved and utilized for tree credits. Tree protection fencing is needed to ensure these trees survive. That is especially critical in the northwest corner of the site where grading is occurring for the storm water basin. Staff suggest tree protection fencing be shown soil erosion sheet of the plan set.

- **The lighting specifications for the building and architectural pole lighting needs to be provided to the Township. In addition, a note should be placed on the photometric plan that all lighting will be full cut-off and downward directed. Finally, information needs to be included on the photometric plan related to reduced lighting during non-business hours.**

The applicant has placed notes on the lighting plan that indicate the following:

- All exterior light fixtures shall be reduced to 30% power from midnight to within one hour of the end of business operations, whichever is later, until 6 am or business openings, whichever is earlier (owner programmable time) vial timer function through the lighting control panel.
- All light fixtures shall be full cut-off and orientated downward.

Staff believes the first note should have read “*shall be reduced to 30% power within one hour of the end of business operation or midnight, whichever is later...*” The Planning Commission will need to determine if the percentage and timing for reduced lighting is appropriate. The Lighting Ordinance states the following:

Section 78.720.I: For uses requiring site plan review, lighting shall be significantly reduced during non-operational building hours, allowing only lighting necessary for security purposes. The lighting plan submitted for review shall note where this distinction occurs.

The lighting specifications (cut-sheet details) for the building and architectural pole lighting is still needed.

- **Finally, a condition should be included with any considered approval that any final concerns from the Township Engineer will be resolved prior to issuance of a building permit.**

Still needed.

Planning Commission Possible Actions

If the Planning Commission is amenable to approving the site plan, the following conditions should be considered:

1. Cross-access agreements must be signed between Advia and the neighboring properties to the east and west prior to the issuance of a certificate of occupancy.
2. The service drive connection to the west (Phase II) must be constructed and the eastern Meijer curb cut restricted prior to the issuance of a certificate of occupancy.
3. The east service drive (Phase III) must be development within 12-months of site plan approval for the Bronson property.
4. The installation of the intersection light (Phase II) will be installed prior to the issuance of a certificate of occupancy.
5. The site plan indicates the intersection light poles to be installed “by others.” The installation of the intersection light is a condition of the rezoning and therefore must be included with this development. The language “by others” should be removed from the plan prior to issuance of a building permit.
6. The lighting specifications for the building and architectural pole lighting must be provided to the Township prior to the issuance of a building permit.
7. The restricted curb cut for the east Meijer drive should be shown on the site plan and included as part of Phase II prior to the issuance of a building permit.

8. A proposed public sanitary sewer easement shall be provided on the site plan along the eastern property line prior to the issuance of a building permit.
9. The site plan indicates a 35-foot landscape buffer along the east property line adjacent to the Bronson property. This is incorrect. A 10-foot landscape buffer is required here. This buffer is shown correctly on the landscape plan, but needs to be revised on the site plan, which should be provided to the Township prior to the issuance of a building permit.
10. The retention pond tables on the grading plan obscure the berm graphic in the northeast corner of the property. Provide an updated grading plan prior to the issuance of a building permit with these tables moved so the full berm can be visualized.
11. The soil erosion plan shall be amended prior to the issuance of a building permit to show tree protection fencing around those trees intended to be preserved for tree credits.
12. Any final concerns from the Township Engineer will be resolved prior to the issuance of a building permit.
13. No curb cuts will be permitted to West Main Street for any future out lots of this parcel. Access will only be granted from the service drive.

The Planning Commission may wish to consider changing the note on the lighting plan regarding the reduction in lighting during nonbusiness hours to be changed to:

14. All exterior light fixtures shall be reduced to 30 percent power at one hour after the end of business operations or 10:00 pm, whichever is later, until 7:00 am or business opening, whichever is earlier via an owner programmable timer through the lighting control panel.

The Planning Commission may also consider postponing approval of the site plan to allow more time for review of the current plan.

Thank you.

Attachments: Bronson Cross-Access Letter
Meijer Cross-Access Letter
Updated Site Plan, Landscape Plan, Grading Plan
CEI suggested changes including table

February 27, 2019

Ms. Julie Johnston
Planning Director
Oshtemo Charter Township
7275 West Main Street
Kalamazoo, MI 49009

RE: Proposed Cross Access between Bronson FastCare Site and Advia
Credit Union Headquarters

Dear Ms. Johnston:

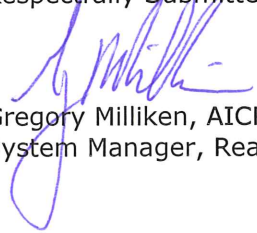
It is our understanding that Advia Credit Union intends to develop the parcel immediately west of our property on West Main Street on which we have built a FastCare facility. As part of their approval process, Advia has been required to build a cross-access drive connecting our property on the east to the Meijer property on the west.

We are very excited about the potential development project and look forward to welcoming our new neighbors to the West Main Street corridor. We are particularly excited that this cross-access drive with signalized access to West Main Street will be included with the project. Bronson has enjoyed rapid and profound success at this location and is looking forward to presenting plans for continued development and expansion of the use of this property yet this year. The importance and impact of this drive and signal as the corridor continues to develop cannot be understated.

Per our conversation yesterday, you indicated an agreement would be required between Advia and Bronson to allow cross access in accordance with Township requirements. We would be happy to execute such an agreement. We will install any necessary shared driveway facilities to support this cross access on our property as part of the proposed future development described above.

Please let me know if you have any questions. I look forward to meeting with you again soon.

Respectfully Submitted,



Gregory Milliken, AICP
System Manager, Real Estate and Properties



Kurt Adams
Director of Property Management
Phone: 616.791.3621
E-Mail: kurt.adams@meijer.com

Letter of Understanding

2350 3 Mile Rd. NW
Grand Rapids, MI 49544
February 26th, 2019

Julie Johnston, Planning Director Oshtemo Charter Township
7275 W. Main Street
Kalamazoo, MI 49009

Dear Julie Johnston,

Meijer agrees to work in good faith with Advia Credit Union to establish an agreement to provide cross access between our parcel located at 6660 W Main St, Kalamazoo, MI 49009, and Advia Credit Union's parcel located at 6400 West Main St, Kalamazoo MI 49009, both in Oshtemo Township.

Meijer understands that improvements may need to be completed on Meijer property by others to provide cross access between parcels. Meijer additionally agrees to work towards a temporary access agreement to provide access to the Meijer owned property for required improvements and provide all site-specific information that may be required, provided such information is available.

Kurt Adams

A handwritten signature in black ink, appearing to read "Kurt Adams", is written over a white background.

Director of Property Management
Real Estate

NORTH LINE, SW 1/4, NE1/4, SEC. 14, T2S, R12W
S89°27'08"E 1317.63'

- SITE NOTES:**
- ALTA / NPS LAND TITLE SURVEY PROVIDED BY BURGESS, PROFESSIONAL LAND SURVEYORS.
 - CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF WORK.
 - CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR REQUIRED DEPTHS OF PAVEMENT SUBBASE AND BASE COURSES, UNLESS NOTED OTHERWISE ON CIVIL PLANS AND DETAILS.
 - COORDINATE RIGHT-OF-WAY IMPROVEMENTS WITH OSHTENO TOWNSHIP.
 - ALL CONSTRUCTION DETAILS, AS ILLUSTRATED ON DETAIL SHEETS, SHALL BE APPLIED TO PROPOSED SCOPE OF WORK, AS APPLICABLE.
 - CONTRACTOR SHALL FURNISH AND INSTALL MIN. 3200 SERIES KNOX BOX AT EACH POINT OF BUILDING ENTRY. MOUNT UNOBSTRUCTED AND VISIBLE APPROXIMATELY 5' FT ABOVE FINISH GRADE NEAR MAIN BUILDING ENTRANCE AND ACCESS DOORS IN ACCORDANCE WITH FIRE MARSHALL REQUIREMENTS.
 - FIRE DEPARTMENT CONNECTION (FDC) SHALL HAVE KNOX 2 1/2" LOCKING FDC PLUGS WITH SWIVEL-GUARD, MODEL 3041. FDC SHALL BE EQUIPPED WITH THE FOLLOWING:
 - REFLECTIVE FDC SIGN INSTALLED 10 FT ABOVE GRADE WITH MIN. 6" LETTER HT.
 - EXTERIOR RATED STROBE & HORN ALERT SYSTEM.
 - INSTALL PROTECTIVE BOLLARDS AT ALL EXPOSED ELECTRICAL OR GAS DEVICES, METERS OR EQUIP.
 - PAVING SCOPE TO INCLUDE PATCHING PAVEMENTS WITHIN RIGHT-OF-WAYS, AS REQUIRED FOR PROPOSED WORK SCOPE. PAVEMENT AND CURB SECTIONS SHALL MATCH EXISTING ADJACENT OR AS OTHERWISE REQUIRED BY AUTHORITY HAVING JURISDICTION.
 - PER OSHTENO TOWNSHIP ZONING ORDINANCE SECT. 16-303 SHARED ACCESS REDUCTION, A 10% REDUCTION IN TOTAL PARKING SPACES IS ALLOWED WHEN A FRONTAGE ROAD OR SERVICE DRIVE IS ESTABLISHED ON PARCEL.
 - SITE PLAN DEVELOPMENT TO BE IN ACCORDANCE WITH ALL CONDITIONS SET FORTH IN OSHTENO TOWNSHIP CONDITIONAL RE-ZONING AGREEMENT DATED 10-13-2017.
 - WORK W/IN THE RIGHT-OF-WAY OF M-43 SHALL COMPLY W/ MDOT STANDARDS AND PERMIT REQUIREMENTS.
 - PUBLIC SIDEWALKS & PATHWAYS SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE STANDARD SPECIFICATIONS OF OSHTENO TOWNSHIP.
 - PUBLIC & PRIVATE SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE STANDARD SPECIFICATIONS OF OSHTENO TOWNSHIP.
 - PUBLIC WATER SHALL BE CONSTRUCTED IN ACCORDANCE W/ THE STANDARD SPECIFICATIONS OF THE CITY OF KALAMAZOO.
 - PER R 323.1709 PARAGRAPH (5) OF MICHIGAN SOIL EROSION CONTROL & SEDIMENTATION CONTROL (SESC) REQUIREMENTS, PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED W/IN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. IF PERMANENT MEASURES ARE NOT POSSIBLE, THEN DISTURBED AREAS SHALL BE MAINTAINED BY THE USE OF TEMPORARY CONTROLS UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IN PLACE AND THE AREA IS STABILIZED.

SIGN SCHEDULE

MARK	S-1	S-2	S-3	S-4	S-5	S-6	S-7	S-8	S-9
SIGN VISUAL	STOP	ONLY	ONE WAY	RESERVED PARKING ONLY	VAN ACCESSIBLE	DO NOT ENTER	FDC		NO PARKING FOR DELIVERY TRUCKS ONLY
DIMENSION	MUTCD TYP.	12x18'	12x18'	12x18'	ADA STD.	MUTCD TYP.	MIN. 6' HT.	AS REQ'D	12x18'

SITE DATA:

ZONING: "C" LOCAL BUSINESS DISTRICT
 OVERLAY: PARTIAL WEST MAIN OVERLAY DISTRICT

DIMENSIONAL STANDARDS:

FRONT YARD SETBACK: 170 FT
 REAR YARD SETBACK: 125 FT (ABUTTING R)
 SIDE YARD SETBACK: 125 FT (ABUTTING R)
 MAX. BUILDING HEIGHT: 338 FT
 MAX. IMPERVIOUS COVER: 95%

PHASE 1 DEVELOPMENT AREAS:

DEVELOPMENT PROPERTY: 37.2 ACRE (1,620,432 SF)
 BUILDING COVERAGE: 41,770 SF (2.5%)
 IMPERVIOUS PAVEMENT: 294,461 SF (18%)
 TOTAL IMPERVIOUS: 331,231 SF (20.5%)
 PARKING LOT ISLANDS: 74,760 SF
 TOTAL GREEN SPACE: 29.6 ACRES (79.5%)

BUILDING AREAS:

NET USEABLE FLOOR AREA: 55,669 SF
 REFER TO ARCHITECTURAL FLOOR PLANS FOR USEABLE AREAS PER BUILDING ELEVATION

REQUIRED OFF-STREET PARKING:

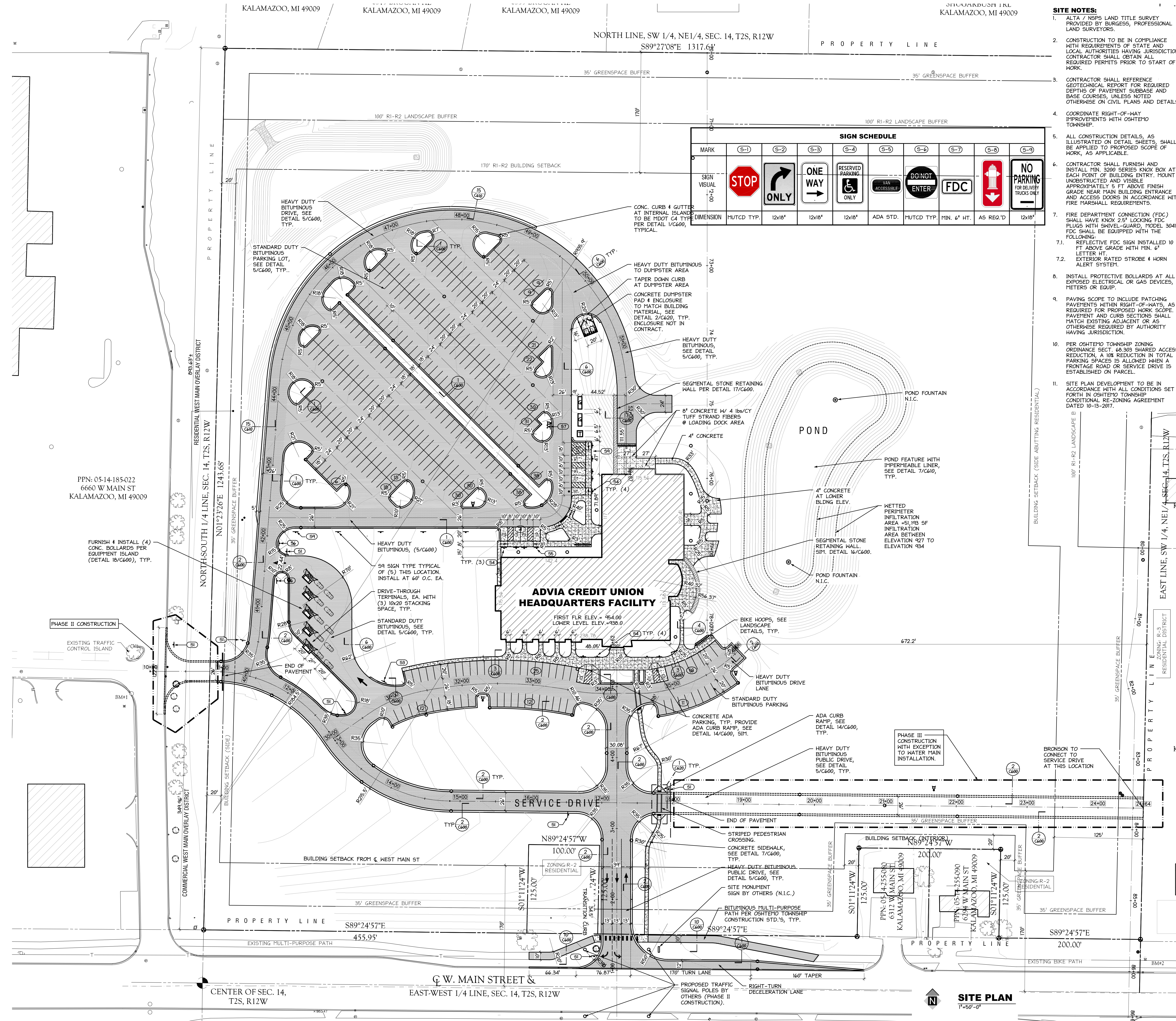
OFFICE BUILDING @ 1/2 NFA
 BANKS, CREDIT UNIONS @ 1/2 SF NFA
 TOTAL REQ'D PARKING SPACES: 371
 TOTAL REQ'D INTERIOR SPACES: 11,130 SF

PROPOSED OFF-STREET PARKING:

STANDARD PARKING SPACES (10x20) 273
 25% REDUCTION IN PARKING (10x18) 93
 PROPOSED REDUCED PARKING 92
 RESERVED DELIVERY PARKING 1
 ADA DESIGNATED SPACES: 12
 TOTAL PROPOSED PARKING: 370
 TOTAL INTERIOR ISLANDS: 74,760 SF

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- ITEMS PLANNED FOR FUTURE
- PROPOSED FENCE
- EXISTING FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- NEW HEAVY DUTY BITUMINOUS
- NEW GRAVEL
- TREELINE
- POWER POLE
- EXISTING SANITARY MANHOLE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WELL HEAD
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HANDHOLE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED PLANTING(S)



SITE PLAN
1"=50'-0"

NORTH LINE, SW 1/4, NE 1/4, SEC. 14, T2S, R12W
S89°27'08"E 1317.64'

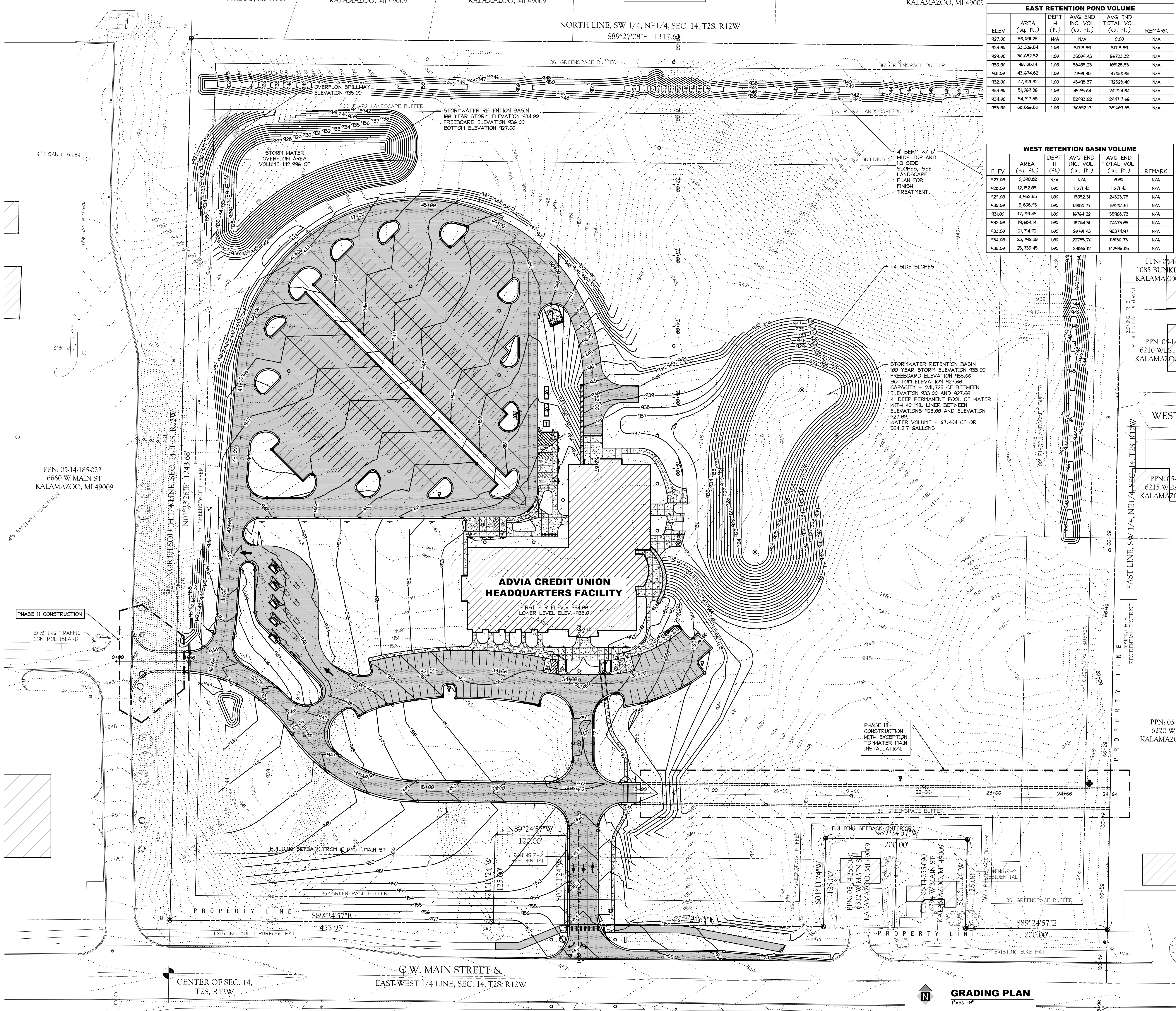
EAST RETENTION POND VOLUME

ELEV	AREA (sq. ft.)	DEPT H (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	REMARK
927.00	30,099.23	N/A	N/A	0.00	N/A
928.00	33,336.54	1.00	3173.84	3173.84	N/A
929.00	36,682.32	1.00	35009.43	64723.32	N/A
930.00	40,128.14	1.00	38465.23	105288.55	N/A
931.00	43,674.82	1.00	4191.48	147030.03	N/A
932.00	47,321.92	1.00	45498.37	192528.40	N/A
933.00	51,069.36	1.00	49195.64	241724.04	N/A
934.00	54,917.88	1.00	52993.62	294717.66	N/A
935.00	58,866.50	1.00	56892.14	351609.80	N/A

WEST RETENTION BASIN VOLUME

ELEV	AREA (sq. ft.)	DEPT H (ft.)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	REMARK
927.00	10,340.82	N/A	N/A	0.00	N/A
928.00	12,152.05	1.00	1121.43	1121.43	N/A
929.00	13,962.58	1.00	13052.31	24323.75	N/A
930.00	15,808.95	1.00	14850.77	39204.51	N/A
931.00	17,714.49	1.00	16764.22	55968.73	N/A
932.00	19,689.14	1.00	18704.31	74673.05	N/A
933.00	21,747.72	1.00	20709.49	95374.47	N/A
934.00	23,796.50	1.00	22755.76	118130.23	N/A
935.00	25,935.45	1.00	24866.12	142996.35	N/A

- GRADING NOTES:**
- FOR GRADING IN AREAS NOT SHOWN, PAVEMENT SLOPES TO BE 2% MINIMUM AND 6% MAXIMUM.
 - SPOT ELEVATIONS SHOWN AT CURB AND GUTTER ARE AT THE FLOW LINE.
 - CONTRACTOR TO MATCH EXISTING GRADES WHERE NEW WORK MEETS EXISTING PAVEMENT.
 - VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL MISS DIG 72 HOURS BEFORE YOU DIG AT 1-800-482-7171.
 - ALL NEW PAVEMENT SURFACES ARE INTENDED TO DRAIN FREELY WITH NO SURFACE WATER PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE, OR THE ENGINEER, IMMEDIATELY FOR RESOLUTION.
 - ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
 - FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
 - ADJUST TOP ELEVATIONS OF EXISTING MANHOLES, CATCH BASIN DRAIN INLETS, VAULT COVERS, ETC. AS REQUIRED TO MATCH PROPOSED FINISH GRADES, TYPICAL.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL DISPOSED OF SURPLUS SOILS ON SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.
 - APPLY NORTH AMERICAN GREEN SOIL EROSION CONTROL BLANKET TO SIDE SLOPES EXCEEDING 1:4 SLOPE.
 - RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED & MULCH WHEN NOT RECEIVING OTHER FINISH TREATMENTS. REFER TO LANDSCAPE PLANS FOR LAWN AND PLANTING AREA FINISH TREATMENTS.
 - A SOILS PROFESSIONAL SHALL OBSERVE THE CONSTRUCTION OF THE MAIN STORM WATER BASIN TO ASSURE DRAINAGE SOILS ARE AVAILABLE TO THE FULL EXTENT OF THE AGGREGATE SIDEWALL ABOVE THE LINER (I.E. THE WETTED AREA AVAILABLE FOR INFILTRATION). THAT IS, SOIL BORINGS INDICATE PORTIONS OF THE BASIN WILL BE CONSTRUCTED INTO OR THROUGH A CONFINING CLAY LAYER. IT WILL BE INCUMBENT TO ASSURE THE OVERALL DESIGN INTENT IS REALIZED. AS OVER EXCAVATION OF BAD SOILS MAY BE REQUIRED.



- LEGEND:**
- PROPERTY LINE
 - - - BUILDING SETBACK
 - - - RIGHT OF WAY (ROW)
 - x - x - PROPOSED FENCE
 - - - EXISTING FENCE
 - NEW CONCRETE
 - NEW BITUMINOUS
 - NEW HEAVY DUTY BITUMINOUS
 - NEW GRAVEL
 - ~ TREELINE
 - ⊙ POWER POLE
 - ⊙ EXISTING SANITARY MANHOLE
 - ⊙ EXISTING CURB INLET
 - PROPOSED CURB INLET
 - ⊙ EXISTING CATCH BASIN
 - ⊙ EXISTING STORM MANHOLE
 - ⊙ PROPOSED CATCH BASIN
 - ⊙ PROPOSED MANHOLE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING WELL HEAD
 - ⊙ EXISTING ELECTRIC METER
 - ⊙ EXISTING GAS METER
 - ⊙ EXISTING HANDBOLE
 - ⊙ EXISTING SIGN
 - ⊙ PROPOSED SIGN
 - ⊙ EXISTING DECIDUOUS TREE
 - ⊙ PROPOSED DECIDUOUS TREE
 - ⊙ PROPOSED PLANTING(S)
 - ⊙ EXISTING SPOT ELEVATION
 - ⊙ SPOT ELEVATION
 - ⊙ EXISTING CONTOUR
 - ⊙ CONTOUR
 - SILT FENCE
 - DRAINAGE FLOW DIRECTION

GRADING PLAN
1"=50'-0"

PPN: 05-14-185-022
6660 W MAIN ST
KALAMAZOO, MI 49009

PPN: 05-14
1085 BUNKEI
KALAMAZOO

PPN: 05-14
6210 WEST I
KALAMAZOO

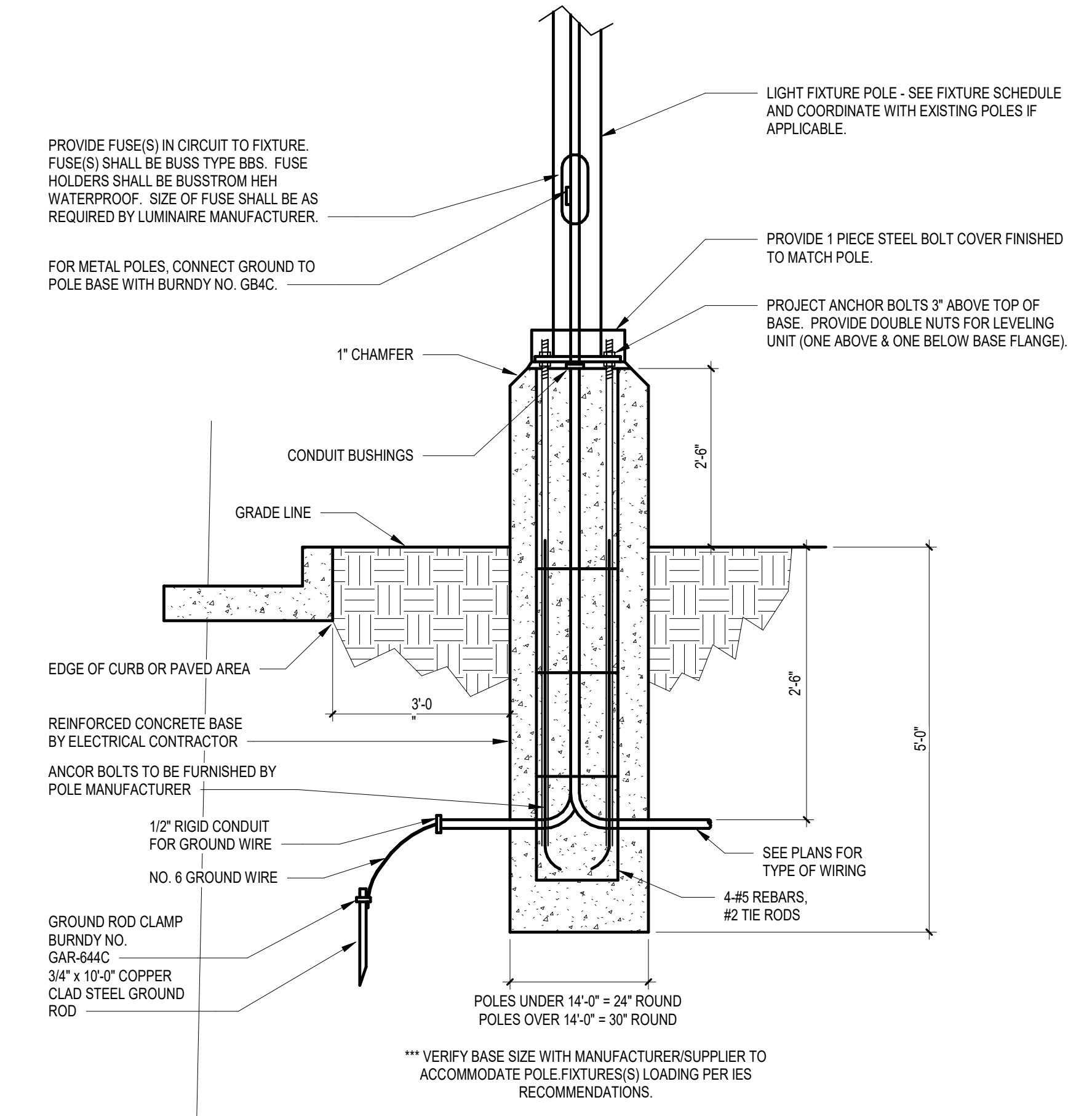
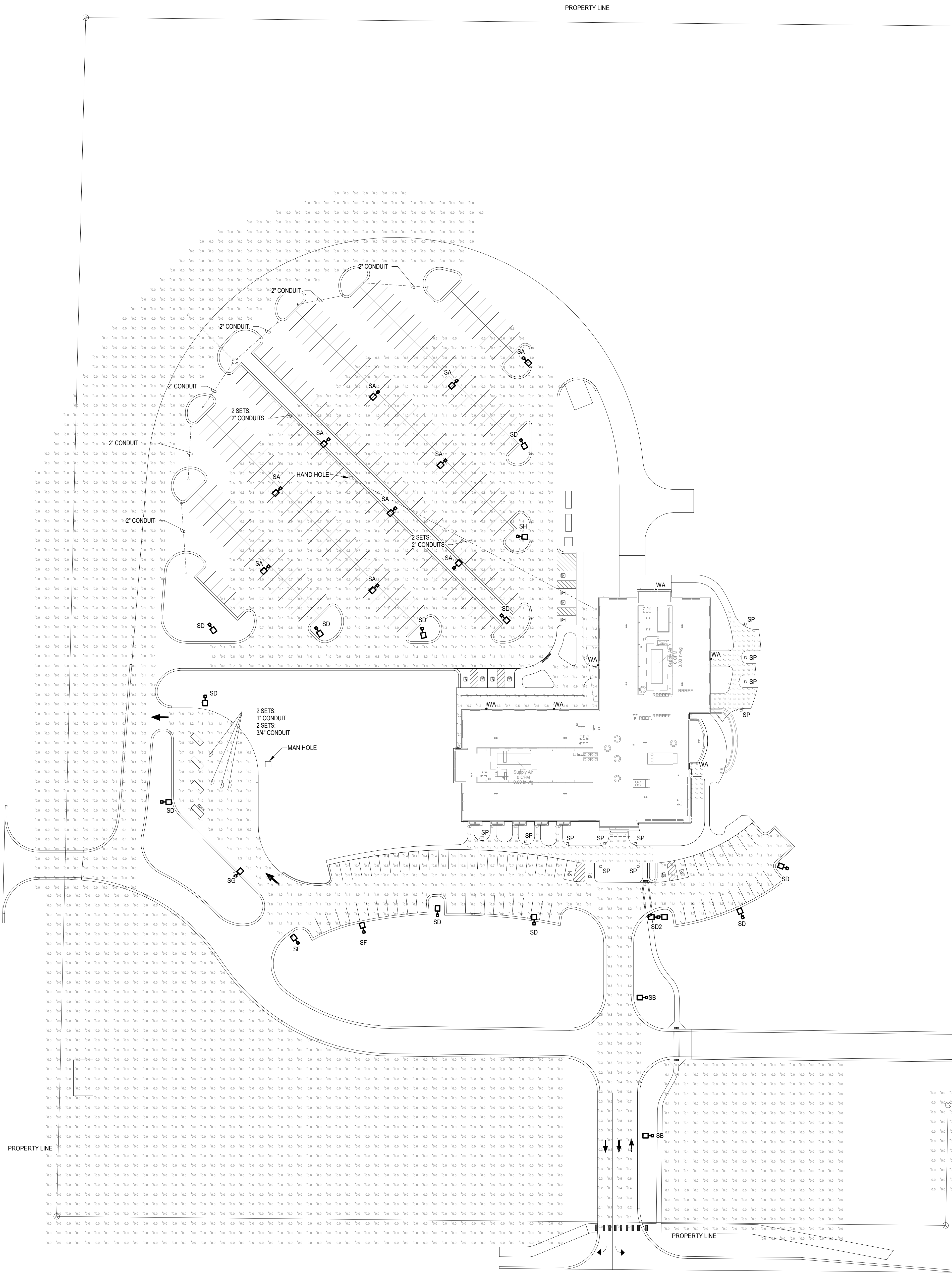
PPN: 05-1
6215 WEST
KALAMAZOO

PPN: 05-1
6220 W I
KALAMAZOO

New Headquarters Facility for:
Advia Credit Union
6400 WEST MAIN ST. · KALAMAZOO, MI 49009

- GENERAL ELECTRICAL NOTES:**
1. ALL ELECTRICAL ITEMS ARE FOR REFERENCE ONLY.
 2. ALL EXTERIOR LIGHT FIXTURES SHALL BE REDUCED TO 30% POWER FROM MIDNIGHT TO WITHIN ONE HOUR OF THE END OF BUSINESS OPERATIONS WHICHEVER IS LATER, UNTIL 6 AM OR BUSINESS OPENING, WHICHEVER IS EARLIER (OWNER PROGRAMMABLE TIME) VIA TIMER FUNCTION THROUGH THE LIGHTING CONTROL PANEL.
 3. ALL LIGHT FIXTURES SHALL BE FULL CUT-OFF AND ORIENTATED DOWNWARD.

LIGHT FIXTURE SCHEDULE - SITE LIGHTING						
MARK	SYMBOL	LAMPS		MANUFACTURER	MTG.	REMARKS
		WATTS	TYPE			
SA		70 W	LED	LITHONIA: #DSX1-LED-P2-30K-T5W-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	8517 LUMENS.
SB		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T3M-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	6468 LUMENS.
SD		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T4M-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	6327 LUMENS.
SD2		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T4M-MVOLT-SPA POLE: #SSS-23-4C-DM28AS	POLE 25' ABOVE GRADE	6327 LUMENS.
SF		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-TFTM-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	6464 LUMENS.
SG		102 W	LED	LITHONIA: #DSX1-LED-P3-30K-TFTM-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	11673 LUMENS.
SH		54 W	LED	LITHONIA: #DSX1-LED-P1-30K-T2M-MVOLT-SPA POLE: #SSS-23-4C-DM19AS	POLE 25' ABOVE GRADE	6483 LUMENS.
SP		57 W	LED	LOUIS POULSEN: #ALB-MIN-PT / 57W LED/3000K / 120-277V/60HZ / Nat paint alu / T-RSA-4.5 IN / DIM 0-10V / 10000108760	POLE 10'-6" ABOVE GRADE	ARCHITECTURAL SHORT POLE.
WA		0 W	LED	LITHONIA: #DSXW1-LED-10C-1000-30K-TFTM-MVOLT	WALL 15'-0" AFF	BUILDING EXTERIOR LIGHTING.

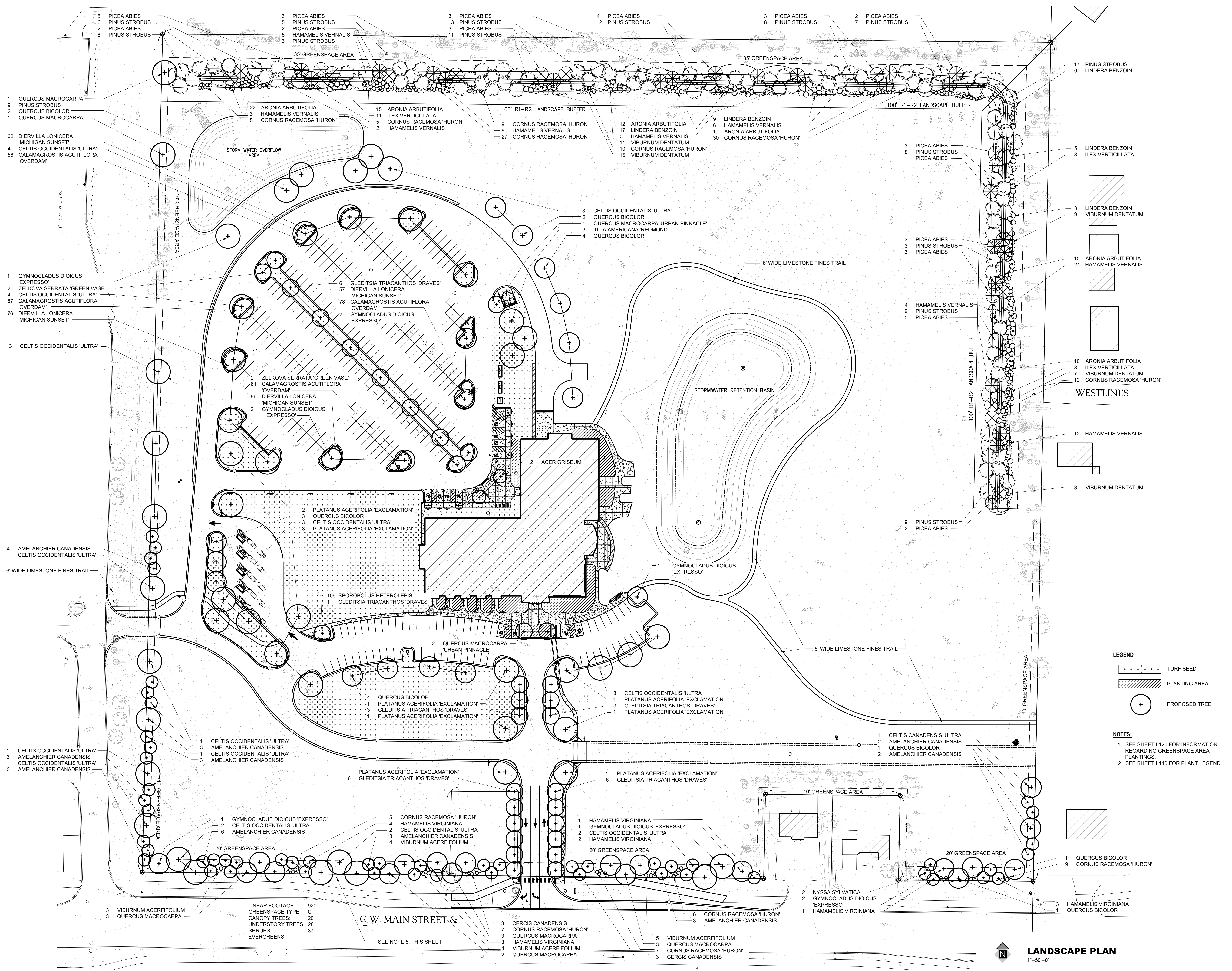


2 LIGHT FIXTURE POLE INSTALLATION DETAIL
SCALE: NONE

New Corporate Headquarters Facility for:
ADVIA CREDIT UNION
6400 WEST MAIN ST. - KALAMAZOO, MI 49009

PRELIMINARY
NOT FOR CONSTRUCTION

New Headquarters Facility for:
Advia Credit Union
W Main Street · Kalamazoo, Michigan



LEGEND

- TURF SEED
- PLANTING AREA
- PROPOSED TREE

NOTES:

1. SEE SHEET L120 FOR INFORMATION REGARDING GREENSPACE AREA PLANTINGS.
2. SEE SHEET L110 FOR PLANT LEGEND.

C:\Users\james\Documents\Projects\Advia\Temp\Advia.dwg (Temp) - 2018.11.13 10:02:00 AM
 Plotted: Wed, 11/13/2018 10:13:29 AM by jhays

7-27-2018 Site Plan Submitted
 8-6-2018 Site Plan Submitted
 1-15-2019 Site Plan Submitted
 12-10-2018 Site Plan Submitted
LANDSCAPE PLAN