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**NOTICE
OSHTEMO CHARTER TOWNSHIP
ZONING BOARD OF APPEALS**

REGULAR MEETING - VIRTUAL

Participate through this Zoom link:

<https://us02web.zoom.us/j/81801784285>

Or by calling: 1-929-205-6099

Meeting ID: 818 0178 4285

(Refer to the www.oshtemo.org Home Page or page 3 of this packet for additional Virtual Meeting Information)

**TUESDAY, FEBRUARY 23, 2021
3:00 P.M.**

AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes: January 28th, 2021
5. **Site Plan – Advance Poured Walls Building Addition**
Advance Poured Walls is requesting Site Plan approval from the Zoning Board of Appeals to construct a 6,860 square foot addition to their existing 7,514 square foot building located at 3425 South 6th Street.
6. **Site Plan – Fetzer Institute Fitness and Storage Facility**
VIRIDIS Design Group, on behalf of John Fetzer Institute Inc., is requesting Site Plan approval from the Zoning Board of Appeals to construct a 4,800 square foot fitness and storage facility as an accessory use to their main campus at 9292 W KL Avenue.
7. Public Comment
8. Other Updates and Business
9. Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email (oshtemo@oshtemo.org), walk-in visits, or by appointment.

b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)
(revised 5/14/2013)
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday 8:00 am- 5:00 pm, and on Friday 8:00 am-1:00 pm. Additionally, questions and concerns are accepted at all hours through the website contact form found at www.oshtemo.org, email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to oshtemo@oshtemo.org and it will be directed to the appropriate person.

Oshtemo Township Board of Trustees		
<u>Supervisor</u>		
Libby Heiny-Cogswell	216-5220	libbyhc@oshtemo.org
<u>Clerk</u>		
Dusty Farmer	216-5224	dfarmer@oshtemo.org
<u>Treasurer</u>		
Grant Taylor	216-5221	gtaylor@oshtemo.org
<u>Trustees</u>		
Cheri L. Bell	372-2275	cbell@oshtemo.org
Deb Everett	375-4260	deverett@oshtemo.org
Zak Ford	271-5513	zford@oshtemo.org
Ken Hudok	548-7002	khudok@oshtemo.org

Township Department Information		
<u>Assessor:</u>		
Kristine Biddle	216-5225	assessor@oshtemo.org
<u>Fire Chief:</u>		
Mark Barnes	375-0487	mbarnes@oshtemo.org
<u>Ordinance Enf:</u>		
Rick Suwarsky	216-5227	rsuwarsky@oshtemo.org
<u>Parks Director:</u>		
Karen High	216-5233	khigh@oshtemo.org
Rental Info	216-5224	oshtemo@oshtemo.org
<u>Planning Director:</u>		
Iris Lubbert	216-5223	ilubbert@oshtemo.org
<u>Public Works:</u>		
Marc Elliott	216-5236	melliott@oshtemo.org

Zoom Instructions for Participants

Before a videoconference:

1. You will need a computer, tablet, or smartphone with a speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. If you are going to make a public comment, please use a microphone or headphones with a microphone to cut down on feedback, if possible.
3. Details, phone numbers, and links to videoconference or conference call are provided below. The details include a link to “**Join via computer**” as well as phone numbers for a conference call option. It will also include the 11-digit Meeting ID.

To join the videoconference:

1. At the start time of the meeting, click on this link to [join via computer](#). You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

You may also join a meeting without the link by going to [join.zoom.us](#) on any browser and entering this **Meeting ID: 818 0178 4285**

If you are having trouble hearing the meeting or do not have the ability to join using a computer, tablet or smartphone then you can join via conference call by following instructions below.

To join the conference by phone:

1. On your phone, dial the toll-free teleconferencing number: **1-929-205-6099**
2. When prompted using your touchtone (DTMF) keypad, enter the Meeting ID number: **818 0178 4285#**

Participant controls in the lower-left corner of the Zoom screen:



Using the icons at the bottom of the Zoom screen, you can (some features will be locked to participants during the meeting):

- Participants – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand. **This will be used to indicate that you want to make a public comment.**
- Chat – opens pop-up screen that allows participants to post comments during the meeting.

If you are attending the meeting by phone, to use the “Raise Hand” feature **press *9 on your touchtone keypad.**

Public comments will be handled by the “Raise Hand” method as instructed above within Participant Controls.

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**OSHTEMO CHARTER TOWNSHIP
ZONING BOARD OF APPEALS**

**DRAFT MINUTES OF A RESCHEDULED REGULAR VIRTUAL MEETING HELD
JANUARY 28, 2021**

Agenda

ELECTION OF 2021 OFFICERS – CHAIR AND VICE CHAIR

ANNUAL BOARD VARIANCE REVIEW TRAINING

**PUBLIC HEARING: SITE PLAN REVIEW AND VARIANCE REQUEST FOR
LOADING DOCK ADDITION**

SHOPONE, ON BEHALF OF DFG-MAPLE HILL LLC, REQUESTED RELIEF FROM SECTION 52.60 OF THE ZONING ORDINANCE IN ORDER TO DIVIDE THE EASTERN MOST UNIT AT 5022 W. MAIN STREET IN HALF AND CONSTRUCT A NEW LOADING STATION ON THE EAST SIDE OF THE BUILDING TO SERVICE THE NEW UNIT.

A meeting of the Oshtemo Charter Township Zoning Board was held Tuesday, January 28, 2021, at approximately 3:00 p.m. at the Oshtemo Charter Township Hall.

MEMBERS PRESENT:

Neil Sikora, Chair
Micki Maxwell, Vice Chair
Dusty Farmer
Fred Gould
Anita Smith

(All attending within Oshtemo Township)

MEMBERS ABSENT:

Fred Antosz
Ollie Chambers

Also present were Iris Lubbert, Planning Director, James Porter, Township Attorney, Colten Hutson, Zoning Administrator and Martha Coash, Meeting Transcriptionist.

Guests present included Jack Ventimiglia, V.P of Construction, SHOPOne, Melissa Miller, Architect of Record, Bob Bake, SHOPOne COO, and Cathy Schultz, Metro Transit.

Call to Order and Pledge of Allegiance

Chairperson Sikora called the meeting to order and invited those present to join in reciting the “Pledge of Allegiance.”

APPROVAL OF AGENDA

After determining there were no changes needed, Chairperson Sikora asked for a motion.

Mr. Gould made a motion to approve the agenda as presented. Ms. Maxwell seconded the motion. The motion was approved unanimously.

Vice Chairperson Sikora moved to the next agenda item.

APPROVAL OF THE MINUTES OF DECEMBER 15, 2020

The Chair asked if there were any additions, deletions or corrections to the minutes of December 15, 2020. Hearing none, he requested a motion.

Ms. Maxwell made a motion to approve the Minutes of December 15, 2020 as presented. Ms. Farmer seconded the motion. The motion was approved unanimously.

Chairperson Sikora moved to the next agenda item.

ELECTION OF 2021 OFFICERS – CHAIR AND VICE CHAIR

Chairperson Sikora asked for nominations for the positions of Chair and Vice Chair for 2021.

Mr. Gould nominated Mr. Sikora for the position of Chair.

Mr. Sikora indicated he was willing to accept the nomination to continue as Chair for 2021. No other nominations were made.

Ms. Farmer seconded the nomination. Mr. Sikora was elected unanimously.

Mr. Gould nominated Ms. Smith for the position of Vice Chair.

Ms. Smith indicated she was willing to accept the nomination to continue as Vice Chair for 2021. No other nominations were made.

Ms. Maxwell seconded the nomination. Ms. Smith was elected unanimously.

Chairperson Sikora proceeded to the next agenda item.

ANNUAL BOARD VARIANCE REVIEW TRAINING

Attorney Porter and Planning Director Lubbert, at the request of the Board's Chair, held a training/refresher course for ZBA members on the review criteria for variances. The information provided was based on the Michigan Chapter of the American Planning Association's Making Great Communities Happen: Zoning Board of Appeals ToolKit.

Topics covered were:

- What is the Zoning Board of Appeals (ZBA) and what do they do?
- What is a Variance
- How should a Variance be reviewed?
- Collecting Information: Site visits and Ex Parte Communication

Discussion following clarified that:

- Self-created hardship does not necessarily pertain to the current owner. A self-created hardship could have been created by a previous owner.
- A variance is tied to property not to the owner; if ownership changes hands, the variance remains.
- If an applicant tries to engage a Zoning Board of Appeals member in conversation about their application, they should be told it is not appropriate to discuss outside a public meeting and referred to the Planning Director.

Chairperson Sikora thanked Ms. Lubbert and Attorney Porter for their presentation and confirmed as there can be both new information as well as new Board members, it will be good to repeat the training at the beginning of every year.

The Chair moved to the next agenda item and asked Mr. Hutson for his presentation.

PUBLIC HEARING: SITE PLAN REVIEW AND VARIANCE REQUEST FOR LOADING DOCK ADDITION SHOPONE, ON BEHALF OF DFG-MAPLE HILL LLC, WAS REQUESTING RELIEF FROM SECTION 52.60 OF THE ZONING ORDINANCE IN ORDER TO DIVIDE THE EASTERN MOST UNIT AT 5022 W. MAIN STREET IN HALF AND CONSTRUCT A NEW LOADING STATION ON THE EAST SIDE OF THE BUILDING TO SERVICE THE NEW UNIT.

Mr. Hutson said the applicant, on behalf of DFG-Maple Hill LLC, was requesting relief from Section 52.60 of the Zoning Ordinance in order to divide the eastern-most unit at 5022 W Main Street within the Maple Hill Pavilion in half, and to construct a new loading station to service the proposed front unit.

He indicated the applicant was requesting relief from Section 52.60 of the Zoning Ordinance which governs where loading and unloading operations for businesses can take place, in order to add a 400 SF loading dock to the eastern elevation of the building. Section 52.60 of the Zoning Ordinance requires that all loading and unloading operations must be carried on entirely within the side or rear yard of the lot, parcel or building site, on a paved surface, and shall not interfere with pedestrian or vehicular movement.

5022 W Main Street is located within the Maple Hill Pavilion, an outdoor shopping outlet, along the north side of W Main Street, east of US-131. The building site is on the eastern most side of the shopping outlet, which abuts W Main Street and Drake Road. Formerly a Value City Furniture, the vacant 46,980 SF space would be divided to service a Burlington store occupying 26,944 SF for the front portion of the space, with the remaining square footage to accommodate a future commercial use in the rear. The addition along the eastern elevation would provide a loading station to service the store located in the front half where delivery trucks could unload goods and other materials. The existing loading dock on-site would remain and serve as a loading and unloading area for the future retail space in the rear. He noted any variance request being proposed requires review and approval from the Zoning Board of Appeals.

Mr. Hutson explained minor site plan amendments generally go through a formal review process that is completed at the administrative level. However, when the internal review was underway, staff found that the project could not be approved administratively due to the proposal conflicting with the Zoning Ordinance, particularly Section 52.60: Loading and Unloading. The applicant requested to appeal staff's determination of denial to the ZBA, noting that relocating the proposed loading dock to meet code standards was not feasible. Such an appeal is allowed per Section 64.20: Applicability of the Zoning Ordinance. Approval of this site plan by the Zoning Board of Appeals would require a variance to Section 52.60: Loading and Unloading.

Mr. Hutson said when reviewing this site plan and variance request, there are two sets of criteria that need to be considered: 1) the general Site Plan Review criteria outlined in Section 64, and 2) the Off-Street Parking of Motor Vehicles criteria pertaining to loading and unloading operations outlined in Section 52.60. He provided the following analysis of the proposal against these two Sections.

SECTION 64: SITE PLAN REVIEW

General Zoning Compliance:

Zoning: 5022 W Main Street is zoned C: Local Business District. Adjacent to the east is low-density residential located within the City of Kalamazoo. All adjacent properties to the north, south, and west of the project area are zoned C: Local Business District. The proposed retail space is considered a permitted use within the C: Local Business District. Additionally, the percentage of land covered by buildings for Maple Hill Pavilion is 13.9%. **Criterion met.**

Access and Circulation

Access: The proposed site has established interior drives that travel adjacent to the storefronts within Maple Hill Pavilion. All aisles within the project area are approximately 30 Ft wide. There are several curb cuts on W Main Street and Drake Road to access the subject site.

The 400 SF addition to the east elevation proposes several challenges in terms of achieving ordinance compliance and life/safety. The addition will be used for loading and unloading activities for the commercial space located in the front half of the building. Per *Section 52.60 Loading and Unloading*, the code section states that “Space for all necessary loading and unloading operations for any commercial, industrial or other use must be provided in addition to the required off-street parking space. All loading and unloading operations must be carried on entirely within the side or rear yard of the lot, parcel or building site, on a paved surface and shall not interfere with pedestrian or vehicular movement”. Front yards are defined in the Zoning Ordinance as “Open space extending across the full width of a lot, parcel or building site, between the front property line of the lot, parcel, or building site and the nearest point of the building, or a porch or other projection thereof. The depth of such yard is the average horizontal distance between the front lot, parcel or building site property line and the nearest point of the building, or a porch, or other projection thereof”. Lot, parcel or building site frontage is defined in the Zoning Ordinance as “The length of the front property line abutting the dedicated public road right-of-way or private street easement”. Since the subject space shares frontage along two streets, the proposed loading dock is located within the front yard.

Additionally, the loading dock presents a safety concern to motorists and pedestrians visiting the shopping complex. The delivery trucks are proposed to enter the facility from the north side of the building and navigate to the eastern most side of the shopping mall. A turning template illustrates the delivery trucks will protrude into the intersection within the shopping outlet’s interior drive and back into the respective loading zone. This means that large vehicles will be stopping and backing up in an area that is not designed to have such activities, creating the potential for accidents not just with vehicles coming and going from this shopping center but also with pedestrians. There is a prominent Metro Transit bus stop that is adjacent to the proposed loading dock. Metro Transit also has a 17 Ft x 6 Ft bus shelter for its riders that visit the shopping mall. This particular bus stop is the 5th heaviest used bus stop in Kalamazoo County as it is served by three different fixed-routes. At times there can be a total of three 40 Ft buses that arrive at the same time, requiring over 120 Ft for stacking space. Metro Transit’s fixed-route system begins at 6am, which creates a conflict with the delivery times being proposed. The majority of the users of this service travel south to get to the other commercial businesses in this shopping strip. The proposed truck dock would directly cross or “interfere” with their route. For these reasons, the addition of the loading dock will most likely require said bus stop and bus shelter to be relocated. METRO has provided a letter expressing their

concerns with this proposal. If this site plan is approved, eventually there would be an increase in foot traffic due to visitors wanting to go to the future commercial use occupying the space in the rear. It should be noted that Metro Transit has been working diligently with the applicant in attempt to find an alternative bus stop location to help mitigate safety concerns. However, in order to get to the rear retail space, pedestrians would have to walk around the loading dock obstruction, regardless if the Metro bus stop is there or not.

The applicant has expressed that deliveries will occur from 6am-8am, Monday through Saturday, and that such deliveries will happen outside of normal business hours. The applicant also noted that the loading and unloading activities are normally a quick process which involves rolling approximately 12-20 pallets off of a truck into back of house space. They added that conflict with pedestrian and vehicular traffic in the mall during this time would be minimal. However, it should be considered that the proposed deliveries cannot be guaranteed to happen during said times nor will the front commercial space always be a Burlington store in the future. A different commercial user could occupy the space and have different hours of operations, incompatible delivery times, or larger/longer deliveries. **Criterion not met.**

Parking

Maple Hill Pavilion currently has a total of 1,996 parking spaces, excluding the outlots located on the premises, which include Starbucks, Finley's, and other commercial users that abut W Main Street. There are a total of 475 parking stalls which are intended to service Hobby Lobby and the current 46,980 SF vacant space. Of the 475 parking stalls on-site, 207 of them are not striped. The said unstriped spaces are located in the rear of the subject building site. All existing parking spaces are 10' x 20'. Businesses with retail sales require one parking space per each 150 SF of net floor area. Hobby Lobby is 56,455 SF, which requires 376 parking stalls. The vacant 46,980 SF space would require 313 parking stalls. This means that there would be a total of 689 parking stalls required to serve the two commercial spaces. Therefore, the site currently only has approximately 69% of the minimum required parking spaces necessary (475 spaces currently). The parking shortage is attributed to code requirements evolving over the years, as parking requirements have gotten stricter for reviewing developments. The applicant wished to eliminate two parking spaces for a future dumpster to service the retail store to be located in the front half of the vacant 46,980 SF space. This would further decrease the total parking spaces to 473. However, with the entire outdoor shopping outlet having a total of 1,996 parking stalls to service the 275,283 SF of commercial space (excluding said outlots), 1,835 parking stalls are required. Since Maple Hill Pavilion has approximately 108% of the minimum required parking spaces allowed, the surplus parking for the entire site potentially warrants a deviation. **Criterion met.**

Easements

There are a series of existing easements located throughout Maple Hill Pavilion, ranging from ingress/egress easements to utility easements. There are no easements in place in which would preclude construction of the proposed loading dock, as the 400 SF addition will not be an encroachment. **All easement requirements are met.**

Shared Use Path

Non-motorized facilities already exist on W Main Street and Drake Road adjacent to the project area. This portion of the review is not applicable.

Sidewalk

The applicant was proposing a 4 Ft sidewalk along the east side of the loading dock. Pedestrians are currently used to having an existing sidewalk width of 40 Ft, which allows a form of separation. Reducing the width to 4 Ft is a dramatic decrease. ADA persons visiting the outdoor shopping outlet will have a difficult time using the proposed non-motorized facility. Even in normal circumstances it has been found pedestrians struggle walking side by side on a 4 Ft sidewalk. This will cause an overflow of pedestrians forced to walk in the southbound lane, causing a potential safety hazard. The minimum width for sidewalks per ADA is 5 Ft. Although this is private, 5 Ft sidewalks shall be considered. Nevertheless, Section 57.90 of the ordinance requires that an interior sidewalk network be provided at the time of a site plan review unless the reviewing body grants a deviation from this provision as such a sidewalk connection from the building to the road would enhance accessibility of the overall non-motorized network. The applicant was currently not proposing a connector from the sidewalk abutting the shopping outlet to the sidewalk along Drake Road. **Staff recommended if the site plan is approved a 5 Ft wide sidewalk connector from the shopping outlet to the sidewalk on Drake Road be installed and the sidewalk along the proposed loading dock be expanded to a minimum of 5 Ft. Criterion not met.**

Building Design

Building Information

Exterior materials of the 400 SF loading dock were not shown in the site plans provided. If the site plan was approved and the variance request granted, providing said exterior materials for the loading dock shall be a condition of approval. Proposed materials shall aesthetically match that of the existing building.

The applicant provided renderings of the east side of Maple Hill Pavilion where the loading dock and the new tenant space will be located. The new tenant space will be secluded from all other activity occurring in the outdoor shopping outlet due to the design and placement of the loading dock. This could

potentially make the space more unattractive for future businesses and commercial users. The applicant has provided screening in the form of trees, shrubs, and other vegetation on the east side of the loading dock in an effort to disguise the loading dock from motorists and mall visitors from Drake Road. The submitted site plan also proposes to keep one of the three existing trees in the walkway south of the proposed loading dock and install a natural buffer of five evergreen trees and shrubs to screen the dock from W Main and those entering the development site. Although this is a good effort to screen the proposed dock, the location of the loading and unloading dock is on a prominent corner of this development and if approved it will become part of the visual experience when visiting this shopping center.

Landscaping

The applicant was proposing landscaping along the east side of the loading dock wall. Such landscaping consists of trees, shrubs, and other vegetation to provide as a source of screening material for the loading dock. The applicant was proposing to install evergreen trees south of the loading dock. Staff noted the landscaping in the rendering is inconsistent with what was being proposed on the landscaping plan. The renderings show landscape islands in the parking lot and in front of the proposed new tenant space as the landscaping plans do not. Also, the renderings show the plantings wrapping around the loading dock to its north while the site plan does not. The proposed garbage disposal container is not shown in the renderings. Only the landscaping shown on the landscaping plan can be required unless the reviewing body should require it be added to the landscape plan as a condition of approval.

Lot Dimensions

Maple Hill Pavilion is 48.56 acres (2,115,273.60 SF) and has approximately 1,835.54 Ft of road frontage along W Main Street and Drake Road. The minimum area requirements for commercial properties with water and sewer are 13,200 SF. The minimum frontage requirements for commercial properties with water and sewer is 120 Ft. **Criterion met.**

Setbacks

Buildings within the C: Local Business District have a minimum front yard setback of 70 Ft, unless a larger setback is required per ordinance. Buildings adjacent to W Main Street shall have a minimum front yard setback of 170 Ft from the centerline of the street right-of-way. Buildings adjacent to Drake Road shall have a minimum front yard setback of 120 Ft from the centerline of the street right-of-way. The 400 SF addition to the east side of the building satisfies such setback requirements, as the loading dock would be approximately 250 Ft from centerline of Drake Road and approximately 650 Ft from centerline of W Main Street. **Criterion met.**

Waste Disposal Container

The applicant was proposing a waste disposal container to separately service the front retail space from the rear commercial space within the subject building. The site plan shows the waste disposal container being in the east parking lot adjacent to Drake Road and is proposed to eliminate two parking spaces. Code Section 53.90 Screening of Trash and Recycling Containers states that all outside trash and recycling disposal containers shall be screened on all sides with an opaque fence or wall and gate at least as high as the container, but no less than six (6) feet in height, and shall be constructed of material that is compatible with the architectural materials used in the site development. The Planning Commission or Zoning Board or Appeals, at its discretion, may approve alternative methods of screening that meet the intent of this Article. The code also states that **containers and enclosures shall be located away from public view insofar as possible, and enclosures shall be situated so that they do not cause excessive nuisance or offense to occupants of nearby buildings.** Screening and gates shall be of a durable construction. Chain link fences with opaque slats are not permitted. The doors for the dumpster being proposed is black galvanized steel. The screening would contain 6 Ft tall concrete brick. Where the applicant is wishing to place the dumpster in the project area goes against the code's intent. The proposed dumpster will be clearly visible from Drake Road and is located by the entrance of the proposed second commercial unit. This dumpster location also presents another safety concern as large vehicles will be stopping and backing up in an area that is not designed for such movements. This will further disrupt the traffic flow for the interior drive throughout the shopping outlet. If the site plan is approved, staff recommended that the proposed dumpster be relocated. **Criterion not met.**

Fencing

No changes to the current onsite fencing were proposed. This portion of the review is not applicable.

Lighting

No changes to the current onsite lighting were proposed. This portion of the review is not applicable.

Signs

Signage will be reviewed in detail at time of the sign permit application submission. This portion of the review is not applicable.

SECTION 52.60: LOADING AND UNLOADING (VARIANCE) - APPLICANT'S RATIONALE

The applicant provided the following rationale for this variance request from Section 52.60:

1. Splitting the space offers the best opportunity to lease the vacancy as it would be difficult to lease the entire vacancy to a single user.
2. During negotiations with Burlington Stores, it was made clear that Burlington Stores would not enter into a Lease if the loading dock was not immediately adjoined to the Demised Premises and eliminated the opportunity to use the rear of the vacancy.
3. ShopOne approved a loading dock alongside the Drake Road Frontage with careful consideration towards screening and pedestrian safety as described in the submitted plans and renderings.
4. Burlington Stores has also indicated that loading/unloading activities are likely to take place Monday through Saturday from 6-8AM, outside of store hours.
5. ShopOne does not have any records nor could Metro produce records of an agreement allowing the bus stop in its current location.
6. ShopOne feels the Burlington Stores will bring valued commerce to the Township and the Shopping Center, whereas a 46,980 square foot vacancy would only offer blight to an otherwise great shopping center.
- 7.

STANDARDS OF REVIEW - STAFF ANALYSIS

The Michigan courts have applied the following principles for a dimensional variance, which collectively amount to demonstrating a practical difficulty, as follows:

1. Special or unique physical conditions and circumstances exist which are peculiar to the property involved and which are not generally applicable to other properties in the same district.
2. Strict compliance with the standard would unreasonably prevent the landowner from using the property for a permitted use; or would render conformity to the ordinance unnecessarily burdensome.
3. The variance is the minimum necessary to provide substantial justice to the landowner and neighbors.
4. The problem is not self-created.
5. Public safety and welfare.

Staff analyzed the request against these principles and offered the following information.

STANDARDS OF APPROVAL OF A NONUSE VARIANCE (PRACTICAL DIFFICULTY):

Standard: Unique Physical Circumstances
Are there unique physical limitations or conditions which prevent compliance?

Comment: 5022 W Main Street is located on a corner and has road frontage adjacent to Drake Road and W Main Street. W Main Street serves as the shopping center's targeted audience in terms of commuters. Signage advertising all the businesses within the shopping center is located on W Main Street

due to the shopping center being faced/directed towards W Main Street. There is currently no signage adjacent to Drake Road advertising the businesses within Maple Hill Pavilion. Generally, a property would have one front, two sides, and one rear. With the unit under consideration on a corner, having two front yards, it does present additional building restrictions that other non-corner units do not have. However, there are many instances where commercial properties have frontage on two streets and this is typically seen as an advantage in visibility and a benefit to the businesses occupying the space.

An additional note is that the space in question used to be an indoor shopping center that was repurposed. Repurposing a use for another is encouraged but can present unique challenges as a developer does not have the same flexibility to shape a space to a user's needs as well as someone building something from scratch.

*Standard: Conformance Unnecessarily Burdensome
Are reasonable options for compliance available?
Does reasonable use of the property exist with denial of the variance?*

Comment: It is the applicant's desire to not occupy the entire 46,980 SF vacant commercial space that triggered this variance request. It is the applicant's belief that if the space is not divided that it will be difficult to lease to one retailer due to the store's size. It could be argued that if the space was divided that the commercial space located in the rear would be at a disadvantage and would be difficult to lease due to its seclusion from other retailers in Maple Hill Pavilion. A designated truck docking station for loading and unloading purposes already exists in the rear of the building to service the existing unit. An additional loading dock is neither a requirement nor a necessity. The desire to divide the space has created new challenges. Normal use of the property would be maintained if the reviewing body denied the variance request. Other floor plans or locations for a loading dock could be explored.

*Standard: Minimum Necessary for Substantial Justice
Applied to both applicant as well as to other property owners in district.
Review past decisions of the ZBA for consistency (precedence).*

Comment: In researching past Zoning Board of Appeals decisions regarding relief for loading zones, Planning Department staff identified two comparable cases, one of which was offered relief through a Planned Unit Development. It should be noted that the two cases found pertain to the front yard and did not involve interference of pedestrian/vehicle movements within a loading and unloading area. These findings are described below.

1. Costco, 5100 Century Avenue, 12/17/2013: The Costco store has frontage on W Michigan Avenue that runs diagonal to the building. Additionally, Century Avenue surrounds the store along three sides of the building. There was only one small area of the building that did not immediately front a street and it is the location of a stormwater retention facility. The applicant sought, and was granted, relief from now *Section 52.60: Loading and Unloading* because the Zoning Board of Appeals found that there were no opportunities to develop a loading/unloading area that would not be adjacent to a roadway. Plantings were installed along W Michigan Avenue to provide screening for the loading area. This loading dock is well away from interfering with any non-motorized facilities and motorists.

2. National Flavors, 7700 Stadium Drive, 08/9/2016: National Flavors is a manufacturing facility located within the I-1: Industrial District. It is located on a corner property and has frontage on Stadium Drive and Stadium Park Way. The property was situated in such a fashion that the proposed loading dock would have been visible on all four exterior walls. A deviation was granted by the Zoning Board of Appeals because there were no opportunities to develop a loading dock station without it not being adjacent to a roadway or being visible from motorists. There was no conflict with pedestrians and motorists.

Standard: Self-Created Hardship
Are the conditions or circumstances which resulted in the variance request created by actions of the applicant?

Comment: 5022 W Main Street is the eastern most commercial space within the outdoor shopping outlet. It is the applicant's desire to divide the existing commercial space which triggered this variance request. The reasoning behind the variance request is that the applicant believes the existing commercial space is too large to retain a permanent retail business and that it will remain vacant if the space is not divided. It should be noted that when the commercial space was originally converted, it was intentionally split to create this 46,980 SF unit to facilitate retail space for one large commercial user. Neither the splitting of the space nor the addition of the loading dock is required nor necessary.

Standard: Public Safety and Welfare
Will the variance request negatively impact the health, safety, and welfare of others?

Comment: The proposed loading dock location presents a life and safety issue for motorists and pedestrians visiting the shopping complex. Delivery trucks will protrude into intersections within the shopping outlet's interior drive in order to back into the respective loading zone. Large vehicles will be stopping and backing up in an area that is not designed to have such

activities. The possibility of a collision with a motorist or pedestrian visiting the shopping mall is much more likely to occur due to the loading dock being placed near non-motorized facilities and a frequently used interior drive. If the variance request is granted, eventually there would be an increase in foot traffic due to visitors wanting to go to the future commercial use occupying the space in the rear. It should be noted that Metro Transit has been working diligently with the applicant in an attempt to find an alternative bus stop location to help mitigate safety concerns. However, in order to get to the rear retail space, pedestrians would have to walk around the loading dock obstruction, regardless whether or not the Metro bus stop is there.

POSSIBLE ACTIONS

Mr. Hutson outlined the following possible actions:

- Motion to approve as requested (conditions may be attached)
- Motion to approve with an alternate variance relief (conditions may be attached)
- Motion to deny

A motion should include the findings of fact relevant to the requested variance. Based on the staff analysis, the following findings of fact are presented:

- Support of variance approval
 - A corner lot places additional restrictions on this property – it can be considered a unique physical circumstance.
 - The site in question is the result of a redevelopment of an indoor shopping center which creates unique challenges.
- Support of variance denial
 - The variance request is a hardship that is self-induced, as the commercial user could utilize the entire building space and existing loading dock area located at the rear of the building. Other floor plans or locations for a loading dock could be explored.
 - The variance request, if approved, would interfere with vehicular and pedestrian movement, creating a safety issue.
 - Without relief, the property can still accommodate a commercial space, as allowed per the Zoning Ordinance.
 - Review of past decisions from the Zoning Board of Appeals found that the two cases where the applicants were granted relief did not involve life and safety concerns. The variance request under consideration encounters frequent vehicular movements and foot traffic.

Possible motions for the Zoning Board of Appeals to consider include:

1. **Site Plan and Variance Approval.**

The Zoning Board of Appeals approves the site plan and variance request due to the property's configuration and unique history that limits its current use with the following conditions:

- All deliveries to the loading dock shall occur between 6am-8am.
- An updated site plan shall be submitted and approved by the Township prior to building permit issuance showing the following:
 - A 5 Ft wide sidewalk connector from the sidewalk adjacent to the shopping center to the sidewalk along Drake Road prior to occupancy.
 - The interior sidewalk along the building be increased to a minimum width of 5 feet.
 - The proposed dumpster will be relocated to meet the intent of the code
 - The Metro bus stop be relocated appropriately – to be coordinated with Metro.
- A parking deviation is granted to allow for the placement of the dumpster.
- The Applicant shall submit architectural details of the loading dock prior to building permit issuance.
- The Applicant shall update the elevation renderings and landscaping plan so that both are consistent with each other prior to building permit issuance. The landscaping plan shall meet ordinance requirements.
- Applicant to update signage plan and to submit and receive approval from the Planning Department prior to occupancy.
- A Soil Erosion and Sedimentation Control Permit from the Kalamazoo County Drain Commissioner's Office be obtained prior to building permit issuance.

2. **Site Plan and Variance Denial**

The Zoning Board of Appeals denies the site plan and variance request as the need for the variance is a self-created hardship, conformance with the code is not unnecessarily burdensome as reasonable use of the space will remain if denied, and approval would create a safety issue for both vehicular and pedestrian movement throughout the site.

Chairperson Sikora thanked Mr. Hutson for his presentation and asked him about the rationale for the parking deviation.

Mr. Hutson explained the entire outdoor shopping outlet has a total of 1,996 parking stalls to service the 275,283 SF of commercial space (excluding said outlots), 1,835 parking stalls are required. Since Maple Hill Pavilion has approximately 108% of the minimum required parking spaces allowed, the surplus in parking for the entire site potentially warrants the requested deviation.

Ms. Smith asked whether a hallway to the current loading dock could be provided from the current building.

Ms. Lubbert indicated that would be a question appropriate for the applicant.

Ms. Maxwell asked if the variance condition limiting deliveries from 6 – 8 a.m. would still apply if a business other than Burlington were to locate there in the future.

Ms. Lubbert said the variance requirement would run with the property but is based more on an honor system and would be difficult to enforce.

Ms. Farmer added that enforcement would be complaint based. She asked what would happen with the Metro bus stop.

Mr. Hutson said the proposed loading dock is located right where the current bus stop and shelter is now.

Ms. Lubbert said the applicant is working with Metro Transit but a plan has not been finalized. An agreement could be a condition of approval prior to permit issuance.

Mr. Sikora asked whether this is the only place in the Township where a business has two front yards.

Mr. Hutson said both Costco and National Flavors, a manufacturing facility located at the corners of Stadium and Stadium Parkway have loading docks seen by motorists and pedestrians from more than one side.

Ms. Lubbert added that commercial stores on corners are common and seen as a positive feature in that they offer double frontage and exposure.

Hearing no further questions, the Chairperson invited the applicant to speak.

Mr. Jack Ventimiglia, ShopOne, indicated he was present along with several other members of his team and thanked the Board for the opportunity to present their case. He said a lease has been signed with Burlington, a first class retailer, for 27,000 of the 50,000 SF available. Not dividing the property could possibly mean the property would remain vacant due to such a large footprint, which may be difficult to lease.

He responded to Ms. Smith's question about a hallway to the loading dock, saying that was considered originally but was rejected by Burlington.

Mr. Ventimiglia said they tried to not split the property but modification of the space presents a difficult, unique environment. Splitting it adds a significant cost for the landlord. He said an ADA sidewalk requires 36" width. They planned on 4 feet for the sidewalk connector but are willing to provide 5 feet and lighting to comply with what is required by the Township.

He indicated there would be minimal traffic at the 4-way stop area except for the Metro Transit buses. There would not be much traffic besides deliveries between 6 and

8 a.m. Burlington has a long term, 20 year lease so would not likely leave anytime soon, but if they did leave early the landlord would have control and any future lease would include the Township's requirements.

Mr. Ventimiglia said he was working with Kalamazoo Metro representatives diligently regarding a relocation of the bus stop and understands the importance of bus service. Relocation could take from 6 months to a year; the current stop could be retained until then.

He pointed out that at the other end of the pavilion Dunham's has a rear dock with no screening right across from the traffic way. ShopOne is taking more measures for pedestrian safety and will work with the Township to revise their renderings to provide proper screening. The location of the trash receptacle is not ideal placement and they have explored several options including a split face decorative lock, which cannot be seen through easily. He noted there is also a trash receptacle along the Target parcel.

He thanked the Board for their consideration and asked whether they had questions.

Ms. Melissa Miller, Architect, said the modified truck access could avoid the 4-way intersection and restriping and signage could be provided. Previously, trucks entered the intersection to turn and back into the dock.

Chairperson Sikora said trucks coming from behind and exiting differently, not to disturb front tenants is preferable.

Mr. Ventimiglia said they could assure deliveries would not come from the front side of the shopping center; those leaving would probably cross the egress on the south side of the property onto Drake Road.

Mr. Bob Bake, SHOPOne, thanked the Township and Board for their time. He noted retail is going through a tough time between e-commerce and covid, with mall space the segment most affected. This site was formerly a Ward's and then a Value City Furniture, which performed so poorly they had to close. The opportunity now is for a Fortune 500 company which does over \$10,000,000 in sales annually.

Chairperson Sikora asked if Board members had questions for the applicant.

Ms. Smith commented the applicant cannot say their second proposal for truck ingress-egress would keep trucks from crossing the 4-way stop.

Mr. Ventimiglia said they may exit at the 4-way stop but would not block it when loading and unloading.

Ms. Smith felt trucks in the 4-way stop would still be a hindrance to other vehicles and pedestrians.

Mr. Ventimiglia said the plan displays truck turns which offer plenty of space to adjust within the dock area itself. He does not think the trucks will be a hindrance to traffic and said stop signs at the crosswalk will be provided to protect pedestrians. Trucks may pull into the stop.

Hearing no further questions, the Chair moved the meeting to Public Hearing.

Ms. Cathy Schultz, Metro Transit Planning and Development Manager, indicated the plans provided have been reviewed extensively and there are concerns about relocating the bus stop. She provided the hours the buses run and noted the Maple Hill stop experiences high usage, and is the 5th busiest of the 750 stops in Kalamazoo County. It is not unusual for three buses at one time to be at the Maple Hill stop.

They have been trying to figure out a site that would not interfere with the mall and safety. Also ADA access is a concern. There needs to be adequate space for wheelchairs and other equipment to be able to pass one another, which would not occur if a sidewalk lip is in the same location.

She noted getting in and out of Maple Hill at Drake and W Main is difficult and making a left turn is almost impossible, especially during peak times. Three proposals have been made from SHOPOne and she has talked with Mr. Ventimiglia about them. She is not sure what it will look like if the stop needs to be moved. They will continue to work through the process, but she would like to keep a key location for service.

Mr. Ventimiglia said he is working in earnest with Ms. Schultz and the team on bus stop relocation. If it is relocated, pedestrian traffic crossing at the loading dock would be minimal. He expects mostly storage type retailers will look at the back area.

Ms. Lubbert said she did not see the pedestrian signage mentioned by Mr. Ventimiglia on the plan. If the variance is approved, it should include a condition to require installed safety measures.

Mr. Ventimiglia agreed; Ms. Miller will draft that and submit it to Township staff.

Mr. Hutson noted for the record that Dunham's loading dock existed prior to the installation of the secondary traffic way that Mr. Ventimiglia referred to.

Hearing no further public comment, Chairperson Sikora moved to Deliberations.

Ms. Maxwell felt it would be helpful to know more from Metro Transit.

Ms. Farmer stated that based on what Ms. Schultz said, none of the three proposals are sufficient to accommodate buses. If there is no plan set ahead of time, a

plan would have to be created. It cannot be expected the schedule would completely change “just in case.”

Ms. Maxwell said without that piece she was not sure she could vote yes.

Attorney Porter instructed Board Members they needed to make their decision based on the findings of fact that currently exist.

Mr. Gould asked how many deliveries would normally be expected for a store of the size planned, whether they would be 7 days a week and how busy the corner would likely be. He was concerned that the greater frequency of occurrence would more likely be a problem for pedestrian safety. He noted that during the winter the parking lot has a much smaller footprint once there is snow.

Mr. Sikora wondered how you could predict sales and shoppers to determine that impact. He said he was concerned about accepting limited deviation to the stated plan. He would prefer to eliminate conflict in order to not have a need for enforcement. Health and safety are overwhelming on the list of criteria.

The Chair confirmed with Attorney Porter that the first motion to be considered should be request for variance. If that did not pass, it would not be necessary to consider the site plan. He asked for a motion to consider the variance request.

Ms. Farmer made a motion to deny the request for variance based on three findings of fact: 1) the need for the variance is a self-created hardship, 2) conformance with the code is not unnecessarily burdensome as reasonable use of the space will remain if denied, and 3) approval would create a safety issue for both vehicular and pedestrian movement throughout the site.

Ms. Maxwell seconded the motion. The motion to deny the request for variance was approved unanimously by roll call vote.

Public Comment

There were no comments from the public.

Other Updates and Business

Ms. Lubbert said there may be a site plan or two requiring a meeting in February.

Mr. Gould thanked staff for a printout of the Board Meeting packet and requested that one be provided for future meetings. Ms. Maxwell requested the same.

Chairperson Sikora thanked Ms. Lubbert and Attorney Porter for the variance review and retraining preparation and presentation.

Attorney Porter said he felt providing regular training was a good idea.

Adjournment

Chairperson Sikora noted the Zoning Board of Appeals had exhausted its Agenda. There being no other business, he adjourned the meeting at approximately 4:56 p.m.

Minutes prepared:
January 30, 2021

Minutes approved:
_____, 2021

DRAFT

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February 17, 2021



Mtg Date: February 23, 2021

To: Zoning Board of Appeals

From: Karen High, Zoning Administrator

Applicant: Adam Barker, Advance Poured Walls, Inc.
Owner: Adam Barker, Advance Poured Walls, Inc.

Property: 3425 South 6th Street, Parcel number 05-34-130-030

Zoning: I-1: Industrial District

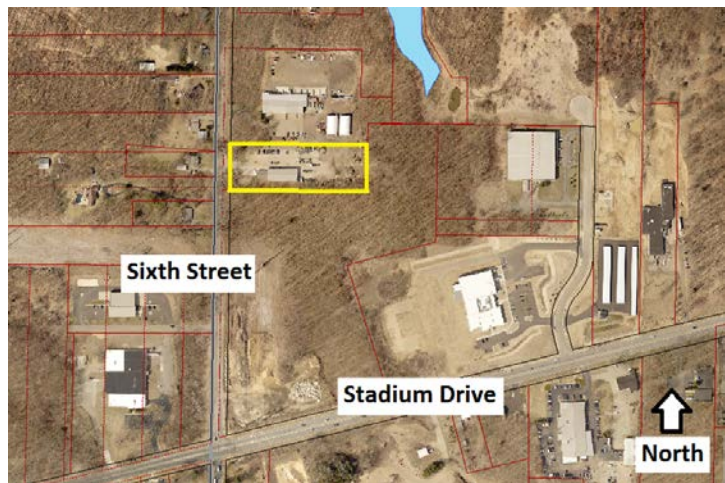
Request: Site Plan amendment to allow a 6,860 square foot building addition to a previously approved 7,514 square foot building.

Section(s): 27: I-1 Industrial District
64: Site Plan Review

Project Name: Advance Poured Walls Building Addition

PROPOSAL:

Advance Poured Walls is requesting Site Plan approval from the Zoning Board of Appeals to construct a 6,860 square foot addition to their existing 7,514 square foot building located at 3425 South 6th Street. Additional outdoor storage is also proposed. The property, outlined in yellow in the map excerpt to the right, is located north of Stadium Drive, on the east side of 6th Street.



OVERVIEW:

Advance Poured Walls is a concrete construction and excavating business. The Zoning Board of Appeals approved their site plan on Feb 6, 1989 and a site plan amendment on August 7, 1989. No hazardous materials are scheduled to be stored, loaded, recycled, or disposed of on this site.

The existing 7,514 square foot building has approximately 1,170 square feet of office space and 6,344 square feet of storage area. The entire proposed 6,860 square foot addition will be used for storage. The

site currently has 2,624 square feet of outdoor storage area. An additional 4,500 square feet of outdoor storage is proposed. If approved, the total of outdoor storage will be 7,124 square feet in area.

ANALYSIS:

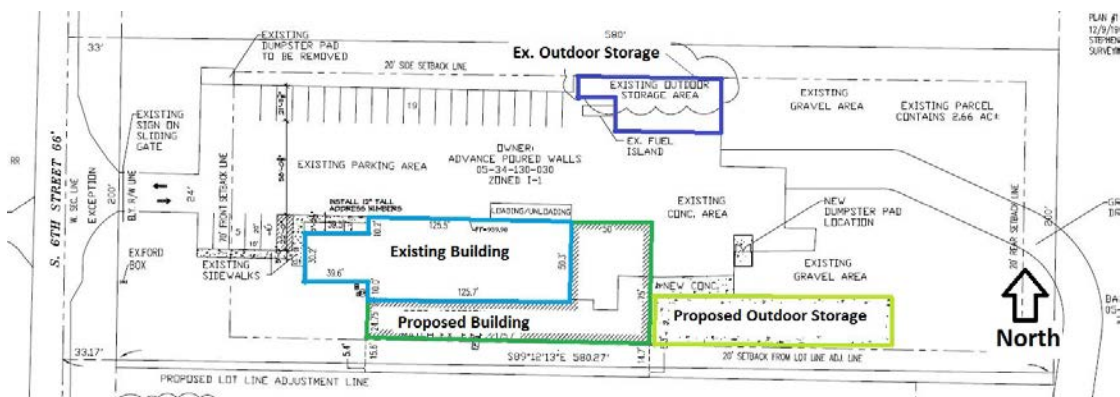
The entirety of the property in question is zoned I-1, Industrial District. Uses permitted in the I-1 zoning district are outlined in Article 27 of the Township’s Zoning Code. Contractor’s services related to the building trades such as electrical, mechanical, plumbing, general building, excavating, and landscaping are identified as a Permitted Use within this section. Outdoor storage in connection with Permitted Uses is allowed in the side and rear yard areas except within the area required for setback from side and rear lot lines. Such storage may not exceed 100 percent of the square foot area of the principal building upon the premises, and no outdoor storage of damaged or inoperable vehicles or equipment is allowed. Due to the scale of the addition, over 2,000 square feet, review and approval of the proposal is required by the Zoning Board of Appeals (Section 64.20). A proposal for a site plan expansion of a permitted use needs to be reviewed against the criteria outlined in Section 64.60 - Application Procedure, C - Site Plan. Staff’s summary of the requirements and analysis of the proposal is provided below.

General Zoning Compliance

Zoning: 3425 South 6th Street is located within the I-1, Industrial District. The property south of the site, owned by the applicant, is in the I-1, Industrial District. Property to the west, also owned by the applicant, is in the I-3, Industrial District. The proposed warehouse addition and the outdoor storage area are permitted uses within the I-1 district. Land to the north is in the I-1, Industrial District. Residentially zoned areas are located west of the property in question, across 6th Street. See zoning map excerpt to the right.



The building addition is proposed to the south and east of the existing structure. (The existing building is outlined in light blue and the proposed addition is outlined in dark green below.) If approved, the total building area will be 14,374 square feet. Outdoor storage is proposed to the east of the building addition. (Outlined in light green below.) If approved, the total outdoor storage area will increase from 2,624 square feet to 7,124 square feet. (Existing outdoor storage is outlined in dark blue below.) The total area of existing and proposed outdoor storage does not exceed the building area and thus meets the size limit in the zoning ordinance.



Setbacks: The proposed addition would expand the building 25 feet south toward the side property line and 50 feet east toward the rear property line. The minimum side and rear yard setback is 20 feet or the height of the abutting side of the building at its highest point as measured from the grade of the property line, whichever is greater (Section 50.60 (c)). The abutting side of the addition will be 18 feet in height. There is roughly a 3-foot elevation drop from the foundation of the building to the south property line. Therefore, the required side yard setback is 21 feet. A 21-foot setback is proposed for the building addition and the outdoor storage area. To meet this setback requirement, the applicant is proposing to shift the south property line 5.4 feet to the south. Both properties are owned by the applicant. A Land Redescription Application has been submitted to achieve this property line shift. Staff has reviewed the application and consider it ready for approval. Both the proposed addition and storage area are shown with a 100-foot or more rear yard setback.

Access and Circulation

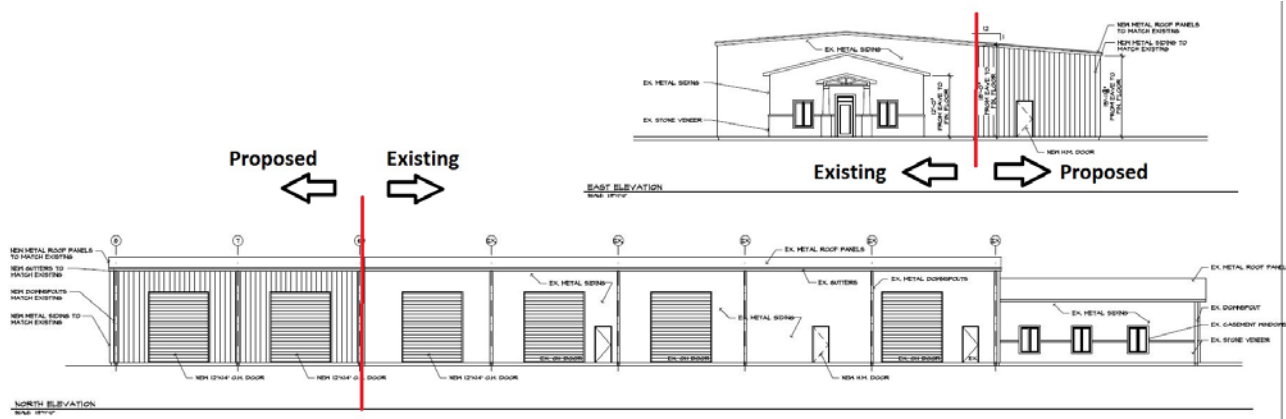
Access: Vehicle access to the site will remain unchanged. The existing curb cut and drive to 6th Street will continue to be utilized. In addition, a new 24-foot-wide gravel drive extending to the east property line is shown on the plan. This new drive was included on the site plan for the applicant's I-3, Industrial District property approved by the Zoning Board of Appeals on December 15, 2020. It is a secondary access point for the concrete materials recycling yard located at the northeast corner of Parcel Number 05-34-155-018. The site plan was approved with a condition that if Parcel Number 05-34-155-018 or 3425 S 6th Street be sold, and the recycling use continue, a cross access agreement be entered into between the properties. Staff recommends that the same condition be placed on this approval for consistency.

Parking: Per Section 52.100, Minimum Required Parking Spaces, industrial warehouse and distribution facilities are required to have one parking space for each 1,500 square feet of net floor area plus the required parking devoted to other uses OR one parking space per employee whichever is greater. The applicant has indicated that there are 23 employees. In this instance, the spaces required per employee is greater than the spaces required per net floor area. Therefore, 23 parking spaces are required, one of which must meet ADA requirements for accessibility. The site currently has 24 parking spaces, including one ADA spot. No additional parking is proposed or required.

Sidewalk – Per Section 57.90 sidewalks indicated on the Township's Non-motorized Plan shall be installed by the developer when properties adjacent to planned nonmotorized facilities receive site plan approval from the municipality. The Township's Non-motorized Plan shows a paved shoulder / bike lane in front of this property, but no sidewalk or path. Therefore, no sidewalk or path is required.

Building Design

The proposed addition will utilize metal siding similar to the existing building in color and profile. The proposed metal roofing for the addition will match as well. East and north building elevations are shown on the next page.



Landscaping

Landscaping is required along 6th Street per Section 53.60 Street Rights-of-Way Greenbelts. A 20-foot-wide greenbelt is required with a minimum of one canopy tree and two understory trees for every 100 linear feet of frontage abutting a street right-of-way. Shrubs are required where parking lots are adjacent to street rights-of-way. The property has 200 feet of frontage, requiring two canopy trees, four understory trees, and six shrubs. The landscape plan includes a 49 foot wide greenbelt with nine existing trees, several existing boulders and mulched beds. Proposed landscaping includes four evergreen trees, 21 flowering shrubs, daylilies and ornamental grasses. The proposed evergreen trees are native to Michigan. More information is required to ensure that at least three of the required shrubs are native to Michigan. In addition, minimum size at planting of the evergreen trees and shrubs should be added to the plan. No other additional landscaping is required. Staff recommends that a revised landscape plan be listed as a condition of approval.

Site Lighting

Three new cut-off LED wall mounted lights, type shown to the right, are proposed. Two are on the north and one is on the east side of the building. All are located above or near a proposed overhead door. Requirements for mounting height, lumens, minimum color rendering index, and Kelvin ratings are met. The photometric plan is required to show 0.1 foot candles at the property line or that 0.1 foot candles is accomplished before reaching the property line. This requirement has been met.



Engineering

Prein & Newhof, the Township’s civil engineering agent, has reviewed the project site plan. Because some stormwater is being directed to the applicant’s property to the south (Parcel Number 05-34-155-018), a storm water easement agreement is required. This agreement has been submitted and approved. Recording of the stormwater easement agreement is recommended as a condition of approval.

Fire Department

Oshtemo’s Fire Department has reviewed the site plan. They indicate that all requirements are met, including minimum gallons per minute of fire hydrant capacity. However, they recommend that the applicant consider adding an additional hydrant in the future.

RECOMMENDATION:

Staff recommends that the Zoning Board of Appeals approve the proposed Site Plan for Advance Poured Walls Building Addition with the following conditions:

1. Should 3425 S 6th Street or Parcel Number 05-34-155-018 be sold, and the recycling use continue, a cross access agreement will need to be entered into between the properties.
2. A revised landscape plan shall be required prior to issuance of a building permit to ensure that requirements for native species and minimum size at time of planting are met.
3. Land Redescription Application shall be approved and recorded to meet the south side setback requirement prior to issuance of a building permit.
4. A Stormwater Easement Agreement shall be recorded prior to issuance of a building permit.
5. If the existing concrete ADA parking spot does not meet requirements for slope, it will be replaced or brought into compliance prior to issuance of a certificate of occupancy.

Attachments: Application, Site Plan, Floor Plan & Elevations

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7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS APW Addition 3425 S 6TH ST KALAMAZOO, MI 49009

PLANNING & ZONING APPLICATION

Applicant Name : ADAM BARKER
Company ADVANCE POURED WALLS, INC
3425 S. 6TH ST
Address KALAMAZOO, MI 49009
E-mail ADAM@APWMI.COM
Telephone 269-372-0056 Fax 269-372-3722
Interest in Property OWNER

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

Fee Amount _____
Escrow Amount _____

OWNER*:

Name ADAM BARKER
Address 7282 E Y2 AVE
VICKSBURG, MI 49097
Email ADAM@APWMI.COM
Phone & Fax 269-207-7900 269-372-0056

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

PROPOSED ADDITION TO EXISTING STORAGE BUILDING

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

THE SOUTH 200' OF THE NORTH 1151' OF THE WEST 613' OF THE NORTHWEST QUARTER OF SECTION 34, T2S - R12W, ALSO EXCEPTING THE WEST 33' OF THE FOREGOING EXCEPTION WHICH IS A RIGHT OF WAY FOR 6TH ST.

PARCEL NUMBER: 3905- 34-130-030

ADDRESS OF PROPERTY: 3425 S. 6TH ST KALAMAZOO, MI 49009

PRESENT USE OF THE PROPERTY: CONTRACTORS YARD

PRESENT ZONING I-1 **SIZE OF PROPERTY** 2.66 ACRES

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
<u>ADAM BARKER</u>	<u>7282 E Y2 AVE VICKSBURG, MI 49097</u>
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.

Owner's Signature (* If different from Applicant)

Adam Barker

Applicant's Signature

Date

12/8/20

Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

CONTACTS

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 FAX: (269) 372-3964

OWNER
 ADVANCE Poured WALLS
 3425 SOUTH 6TH STREET
 KALAMAZOO, MI 49009
 PHONE: (269) 372-0056
 CONTACT: ADAM BARKER

PROFESSIONAL ENGINEER:
 BRUCE VANDERWEELE

CONTACT: SHANNON ORR
 PHONE: (269) 372-9114

GENERAL CONTRACTOR
 VILLAGE GREEN CONSTRUCTION CO
 PORTAGE, MI 49024

CIVIL ENGINEER
 INGERSOLL, MATSON & MCMACHEN, INC.
 1133 EAST MILHAM AVENUE
 PORTAGE, MI 49002
 PHONE: (269) 344-6165
 FAX: (269) 344-0555
 CONTACT: PAT FLANIGHAN

DRAWING INDEX

SHEET	DESCRIPTION	ISSUED	REVISED
T1.0	TITLE SHEET, ABBREVIATIONS, CODE REVIEW	01.12.21	01.28.21
T1.1	GENERAL NOTES AND SAFETY NOTES	01.12.21	
T2.0	HANDICAP DETAILS AND NOTES	01.12.21	
SD1.0	CIVIL LAYOUT PLAN	01.12.21	01.28.21
SD1.1	CIVIL GRADING / UTILITY PLAN	01.12.21	01.28.21
SD2.0	SITE DETAILS	01.12.21	
LD1.0	LANDSCAPING PLAN	01.04.21	01.27.21
SL1.0	SITE LIGHTING PLAN	01.12.21	01.28.21
A1.0	INTERIOR FLOOR PLAN		
A2.0	EXTERIOR ELEVATIONS		
A3.0	BUILDING SECTION		
S1.0	FOUNDATION PLAN, GENERAL NOTES		
S2.0	FOUNDATION DETAILS		
S2.1	FOUNDATION DETAILS		
MEP1.0	MECHANICAL, ELECTRICAL AND PLUMBING GENERAL NOTES		
MEP2.0	ENLARGED BATHROOM MECHANICAL, ELECTRICAL AND PLUMBING		

ALL DRAWINGS / SPECIFICATIONS PREPARED BY VANDERWEELE DESIGN CONSULTANTS P.C. ARE BASED ON THE DESIGNERS INTERPRETATION OF THE MOST RECENT VERSION OF THE STATE & NATIONAL CODE BOOKS. VANDERWEELE DESIGN CONSULTANTS P.C. DOES NOT ACCEPT RESPONSIBILITY FOR INCREASED COSTS DUE TO A LOCAL CODE THAT OVERRIDES A STATE / NATIONAL CODE, A DIFFERENT INTERPRETATION OF THE STATE / NATIONAL CODE MADE BY THE GOVERNING PLAN REVIEWER OR A CHANGE IN THE CODE AFTER THESE DOCUMENTS HAVE BEEN ISSUED.

NEW BUILDING ADDITION: 3425 SOUTH 6TH STREET KALAMAZOO, MICHIGAN 49009

ABBREVIATIONS

ACC	ACCESSIBILITY	DEPT	DEPARTMENT	FF	FINISH FLOOR	L	LENGTH OR LONG	OC	ON CENTER	TEMP	TEMPERED
ACT	ACOUSTICAL CEILING TILE	D	DEPTH OR DEEP	FIN	FINISHED	LL	LANDLORD	OH	OPPOSITE HAND	TH	THICK
ADJ	ADJACENT	DET	DETAIL	FLR	FLOOR			OD	OUTSIDE DIMENSION	TME	TO MATCH EXISTING
AFF	ABOVE FINISHED FLOOR	DIM	DIMENSION	GALV	GALVANIZED	MATL	MATERIAL	FR	PAIR	TO	TOP OF
ALUM	ALUMINUM	DR	DOOR	GA	GAUGE, OR GAGE	MFG	MANUFACTURER	PTD	PAINTED	TS	TUBULAR STEEL
ALT	ALTERNATE	DBL	DOUBLE	GC	GENERAL CONTRACTOR	MAS	MASONRY	QTY	QUANTITY	TYP	TYPICAL
		DWG	DRAWING	GL	GLASS	MAX	MAXIMUM			UNO	UNLESS NOTED OTHERWISE
BD	BOARD	EG	ELECTRICAL CONTRACTOR	GR	GRAPHIC	MDF	MEDIUM DENSITY FIBERBOARD				
BLDG	BUILDING	EJ	EXPANSION JOINT	GYP BD	GYP SUM BOARD/ DRYWALL	MECH	MECHANICAL	REF	REFERENCE	VERT	VERTICAL
BM	BEAM	ELEV	ELEVATION	GWB	GYP SUM BOARD/ DRYWALL	MIN	MINIMUM	REIN	REINFORCING		
BTM	BOTTOM	ELEC	ELECTRICAL			MIS	MISCELLANEOUS	RO	ROUGH OPENING	W	WIDTH OR WIDE
BO	BOTTOM OF	EMER	EMERGENCY	HDW	HARDWARE	MR	MOISTURE RESISTANT	SHT	SHEET	WD	WOOD
		EQ	EQUAL	HM	HOLLOW METAL	MT	METAL HALIDE	SIM	SIMILAR	W	WITH
CL	CENTER LINE	EXG OR EX	EXISTING	HT	HEIGHT	MTD	MOUNTED	SPEC	SPECIFICATION		
CLG	CEILING	EXIST	EXISTING	H	HEIGHT	MTG	MOUNTING	STD	STANDARD		
CLR	CLEAR	EXP	EXPANSION	HVAC	HEATING/ VENTILATION/ AIR CONDITIONING	N/A	NOT APPLICABLE	STL	STEEL		
CMU	CONCRETE MASONRY UNIT	EXT	EXTERIOR					STRUCT	STRUCTURAL (AL)		
COL	COLUMN			INSUL	INSULATION						
CONC	CONCRETE										
CONST	CONSTRUCTION										
CONT	CONTINUOUS										
CI	CONTINUOUS INSULATION										

CODE REVIEW

CODES:
 MICHIGAN RESIDENTIAL CODE - 2015 EDITION
 MICHIGAN BUILDING CODE - 2015 EDITION
 MICHIGAN PLUMBING CODE - 2015 EDITION
 MICHIGAN MECHANICAL CODE - 2015 EDITION
 MICHIGAN ENERGY CODE - 2015 EDITION
 NATIONAL ELECTRIC CODE - 2017 EDITION
 ICC/ANSI A117.1 (ACCESSIBILITY CODE) - 2017 EDITION

CHAPTER 3: USE OR OCCUPANCY:

USE GROUP: B-BUSINESS, S-WAREHOUSE (LOW HAZARD STORAGE)

CHAPTER 5: ALLOWABLE HEIGHT AND BUILDING AREA

Construction Class: SB
 Allowable Height: 3 STORIES (55') Actual: 1 STORY (10' TO EAVE)
 Allowable Area: S-2: 26,000
 Actual: Existing S.F. = 7,514 S.F. (FIRE AREA #1-2,702 S.F.; #2-11,649 S.F.)
 Addition S.F. = 6,837 S.F.
 Total S.F. = 14,351 S.F.

CHAPTER 6: CONSTRUCTION TYPE:

- BUILDING CONSTRUCTION: SB
 Exterior Walls- Non-combustible materials unless permitted by section 603 of MBC 2015

Interior Walls- Non-combustible materials unless permitted by section 603 of MBC 2015

Fire Resistance Requirements for Building Elements- Table 601

Building Element	Required	Provide
Structural Framing	0 hr	0 hr
Bearing Walls- Exterior <5'	2 hr	N/A
Bearing Walls- Exterior >30'	0 hr	0 hr
Bearing Walls- Interior	0 hr	n/a
Nonbearing- Exterior < 5'	2 hr	n/a
Nonbearing Walls- Exterior >30'	0 hr	0 hr
Nonbearing Interior Walls	0 hr	0 hr
Floor Construction		
Supporting beams and joist	0 hr	0 hr
Roof Structure	0 hr	0 hr
Shaft Enclosures - 4 or more	2 hr	n/a
Shaft Enclosure- 4 or less	1 hr	n/a

CHAPTER 7: CONSTRUCTION TYPE:

- FIRE RATING - section 508.4
 No separation required. 12,000 square feet maximum allowed without fire suppression.

CHAPTER 8: INTERIOR WALL AND CEILING FINISHES

Class B finishes shall be provided for exit enclosures and exit passageways.
 Flame spread 76-200; Smoke-developed 0-450
 Class C finishes shall be provided for corridors.
 Flame spread 76-200; Smoke-developed 0-450
 Class C finishes shall be allowed in all other areas.
 Flame spread 76-200; Smoke-developed 0-450

CHAPTER 9: FIRE PROTECTION SYSTEM

FIRE SUPPRESSION IS NOT REQUIRED PER 903.2.4.

PORTABLE FIRE EXTINGUISHERS IS REQUIRED PER 906

Provide in the following locations:
 1. Near exits and pull stations and as directed by Fire Marshall
 2. Within 30' of commercial cooking equipment.
 3. Special-hazard areas including but not limited to laboratories, computer rooms, and generator rooms; where required by the fire code official.
 4. Maximum travel distance to extinguisher is 75 feet.

FIRE ALARM SYSTEM IS NOT REQUIRED PER 907.2.4

CHAPTER 10: MEANS OF EGRESS

OCCUPANCY: SECTION 1004
 Office: 1024/100 = 10 persons
 Storage (ex. bldg in Fire Area #1): 1509/500 = 3 persons
 Warehouse Storage (Fire Area #2): 11,649/500 = 23 persons
 Restrooms: 1688 f. = 0 persons
 Total: 36 persons

EXITS: SECTION 1019

REQUIRED NUMBER OF EXITS PER SECTION 1019.1 = 2

CHAPTER 17: SPECIAL INSPECTIONS

SPECIAL INSPECTIONS SHALL BE PERFORMED BY A QUALIFIED PERSON PER MBC 2012 SECTION 1704.1 AND SUCH REPORTS WILL BE PROVIDED TO THE BUILDING DEPARTMENT FOR THEIR RECORD

SPECIAL INSPECTIONS ARE REQUIRED FOR: SOILS (1705.6), MASONRY (1705.4), CONCRETE (1705.3), WOOD TRUSSES (1705.5), STEEL (1705.2). IN ADDITION TO THE INSPECTIONS SPECIFIED IN SECTIONS 1703.1 THROUGH 1703.7, THE BUILDING OFFICIAL IS AUTHORIZED TO MAKE OR REQUIRE OTHER INSPECTIONS OF ANY CONSTRUCTION WORK TO ASCERTAIN COMPLIANCE WITH PROVISIONS OF MBC 2012 AND OTHER LAWS THAT ARE ENFORCED BY THE DEPARTMENT OF BUILDING SAFETY.

PRE-ENGINEERED TRUSSES SHALL HAVE SPECIAL INSPECTIONS AT THE MANUFACTURER THOSE TEST SHALL BE SUBMITTED FOR RECORD TO THE DESIGNER AND THE BUILDING OFFICIAL

PROPOSED BUILDING ADDITION
ADVANCE Poured WALLS
 3425 SOUTH 6TH STREET
 KALAMAZOO, MICHIGAN 49009

Vander Weele
 Design Consultants, P.C.
 6330 Torrington * Kalamazoo, Michigan 49009
 (269) 372-7227 Fax: (269) 372-3964
 e mail: bvanderweele@vanderweele.com

DEVELOPERS
BUILDERS
 MEYER C. WEINER CO.
 700 MALL DRIVE
 PORTAGE, MICHIGAN 49082
 PHONE: 269 323 2441
 FAX: 269 323 3262

REVISIONS:

01.28.21	

DATE: 01.07.21
 PROJECT: 2101
T1.0

LEGAL DESCRIPTION

THE SITUATED IN THE TOWNSHIP OF OSHTEMO, COUNTY OF KALAMAZOO, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

THE SOUTH 200 FEET OF THE NORTH 1/4 SECTION 34, T25-R12N, ALSO EXCEPTING THE WEST 33 FEET OF THE FOREGOING EXCEPTION WHICH IS A RIGHT OF WAY FOR 6TH STREET.

SITE CALCULATIONS

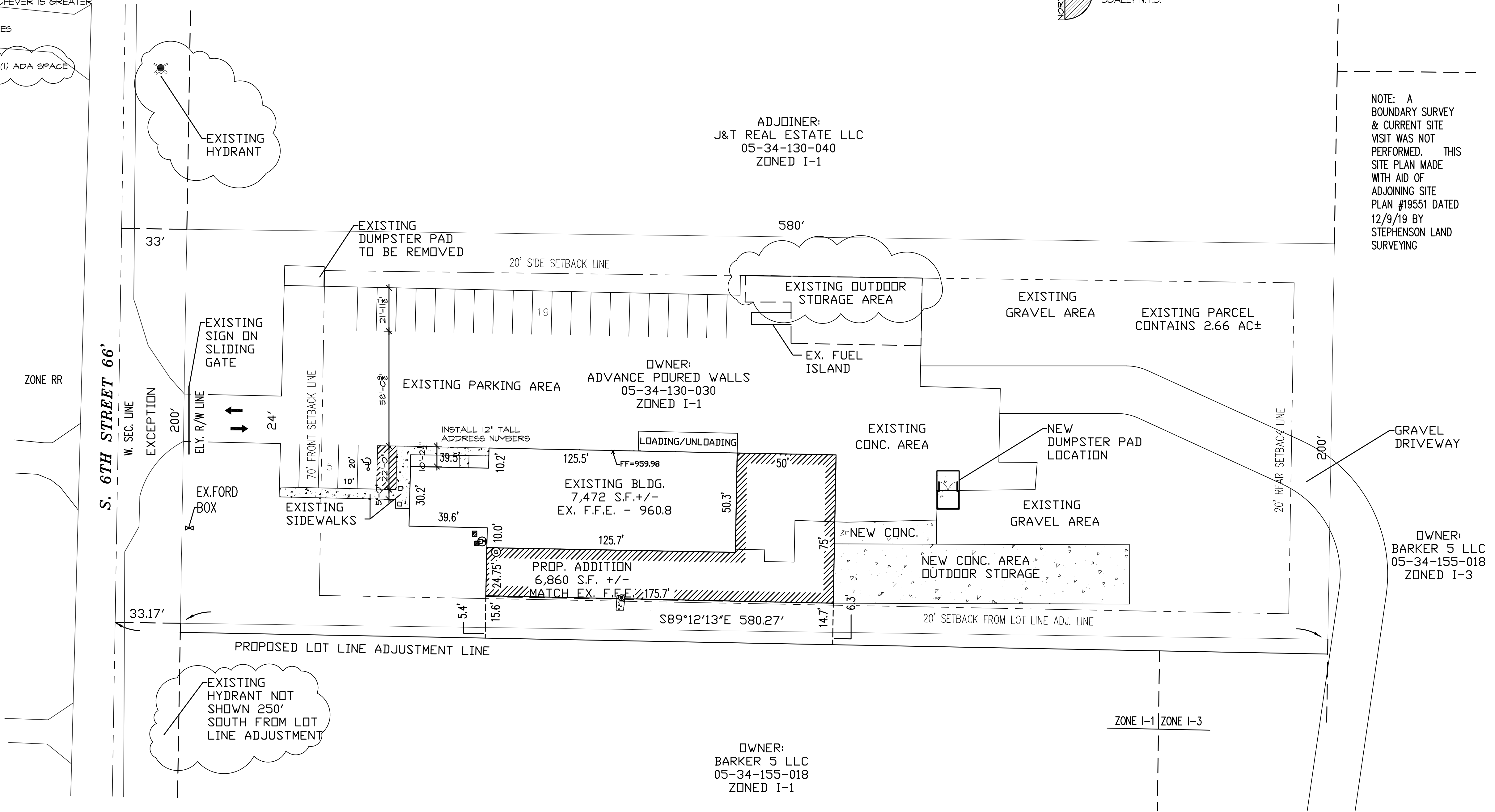
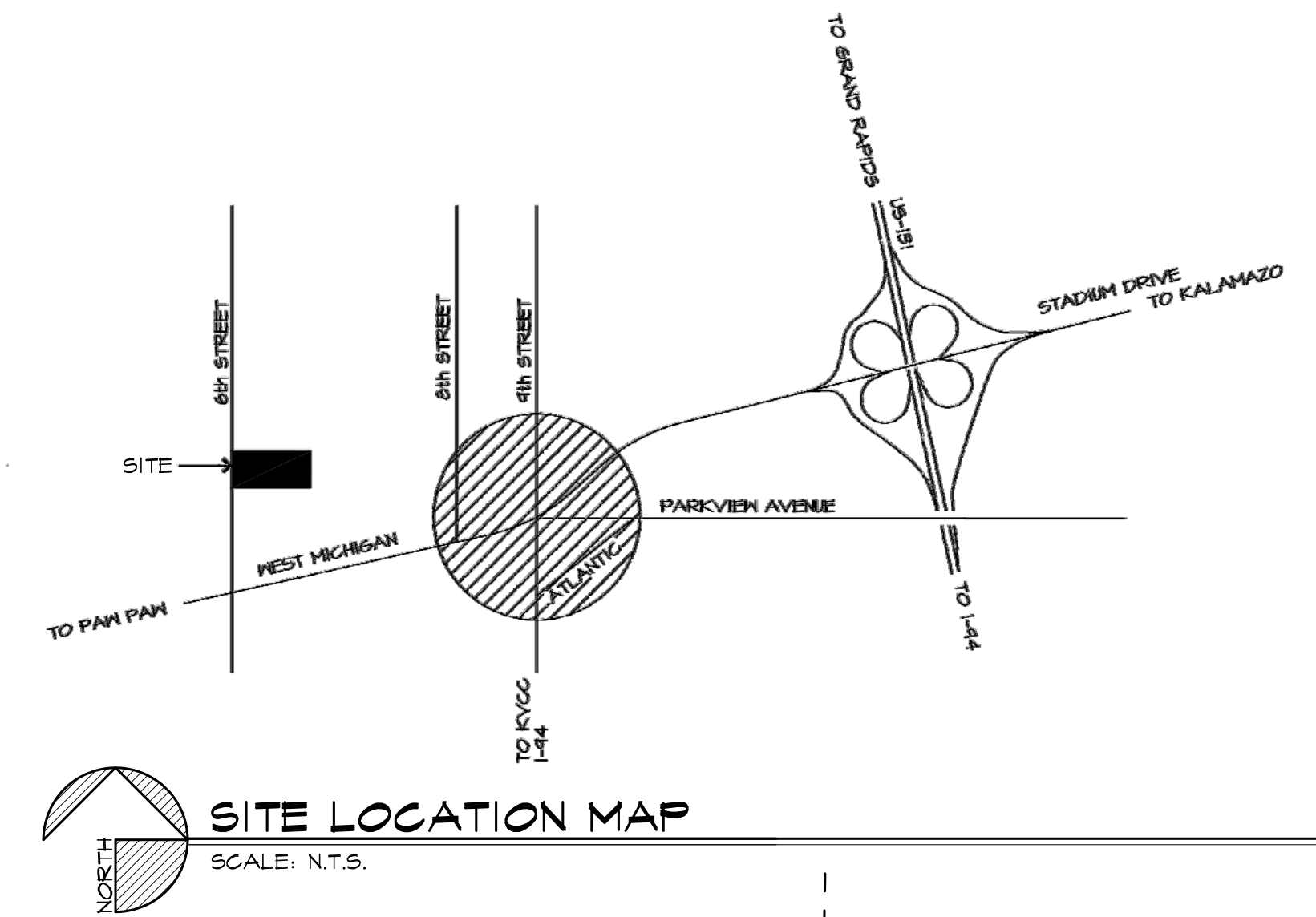
SITE:
 GROSS AREA OF SITE - 2.66 +/- ACRES (115,843 SQUARE FEET)
 ZONING - I-1 (INDUSTRIAL DISTRICT)
 PERCENT LAND COVERED BY BUILDING W/ ADDITION - 14,374 S.F.
 PERCENT LAND RESERVED FOR OPEN SPACE - 51%
SITEBACKS:
 FRONT: 10'-0"
 REAR: 20'-0"
 SIDE: 20'-0"

BUILDING:
 PROPOSED USE - STORAGE
 BUILDING HEIGHT - 18'-0" EAVE
 EXISTING BUILDING - 7,514 S.F. +/-
 PROPOSED ADDITION - 6,860 S.F.

REQUIRED SITE PARKING:
 WAREHOUSE: ONE SPACE REQUIRED PER 1500 S.F. OF NET FLOOR AREA DEVOTED TO OTHER USES OR ONE PER EMPLOYEE WHICHEVER IS GREATER
 TOTAL NUMBER OF EMPLOYEES -
 BUILDING ADDITION - 6,860 / 1500 = 5 PARKING SPACES
 PARKING REQUIRED - 10 PARKING SPACES
 OR ONE PER EMPLOYEE (23 EMPLOYEES TOTAL)
 PARKING PROVIDED - 24 PARKING SPACES, INCLUDES (1) ADA SPACE

GENERAL NOTES:

1. PROPERTY LINE INFORMATION BASED ON BOUNDARY SURVEY BY STEPHENSON LAND SURVEYING
2. THESE PLANS SHALL BE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNTILL SITE PLAN APPROVAL HAS BEEN GRANTED BY OSHTEMO TOWNSHIP.
3. CONSTRUCTION NOT SHALL COMMENCE UNTIL SITE PLAN APPROVAL HAS BEEN GRANTED AND ALL NECESSARY PERMIT/APPROVALS HAVE BEEN OBTAINED.
4. ENVIRONMENTAL CHECKLIST AND HAZARDOUS MATERIALS CHECKLIST SHALL BE COMPLETED AND SUBMITTED BY OWNER TO THE TOWNSHIP AS PART OF SITE PLAN REVIEW.



NOTE: A BOUNDARY SURVEY & CURRENT SITE VISIT WAS NOT PERFORMED. THIS SITE PLAN MADE WITH AID OF ADJOINING SITE PLAN #19551 DATED 12/9/19 BY STEPHENSON LAND SURVEYING

ADJOINER:
 J&T REAL ESTATE LLC
 05-34-130-040
 ZONED I-1

OWNER:
 ADVANCE POURED WALLS
 05-34-130-030
 ZONED I-1

OWNER:
 BARKER 5 LLC
 05-34-155-018
 ZONED I-3

OWNER:
 BARKER 5 LLC
 05-34-155-018
 ZONED I-1



MISS DIG
 3 WORKING DAYS BEFORE STARTING YOUR PROJECT
 1-800-482-7171 (TOLL FREE)



PROPOSED BUILDING ADDITION
ADVANCE POURED WALLS
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DEVELOPERS
BUILDERS
 MEYER C. WEINER CO.
 700 MALL DRIVE
 PORTAGE, MICHIGAN 49783
 PHONE 269 323 2441
 FAX 269 323 3262

REVISIONS:
 SPA 01.20.21

DATE: 01.07.21
 PROJECT: 2101

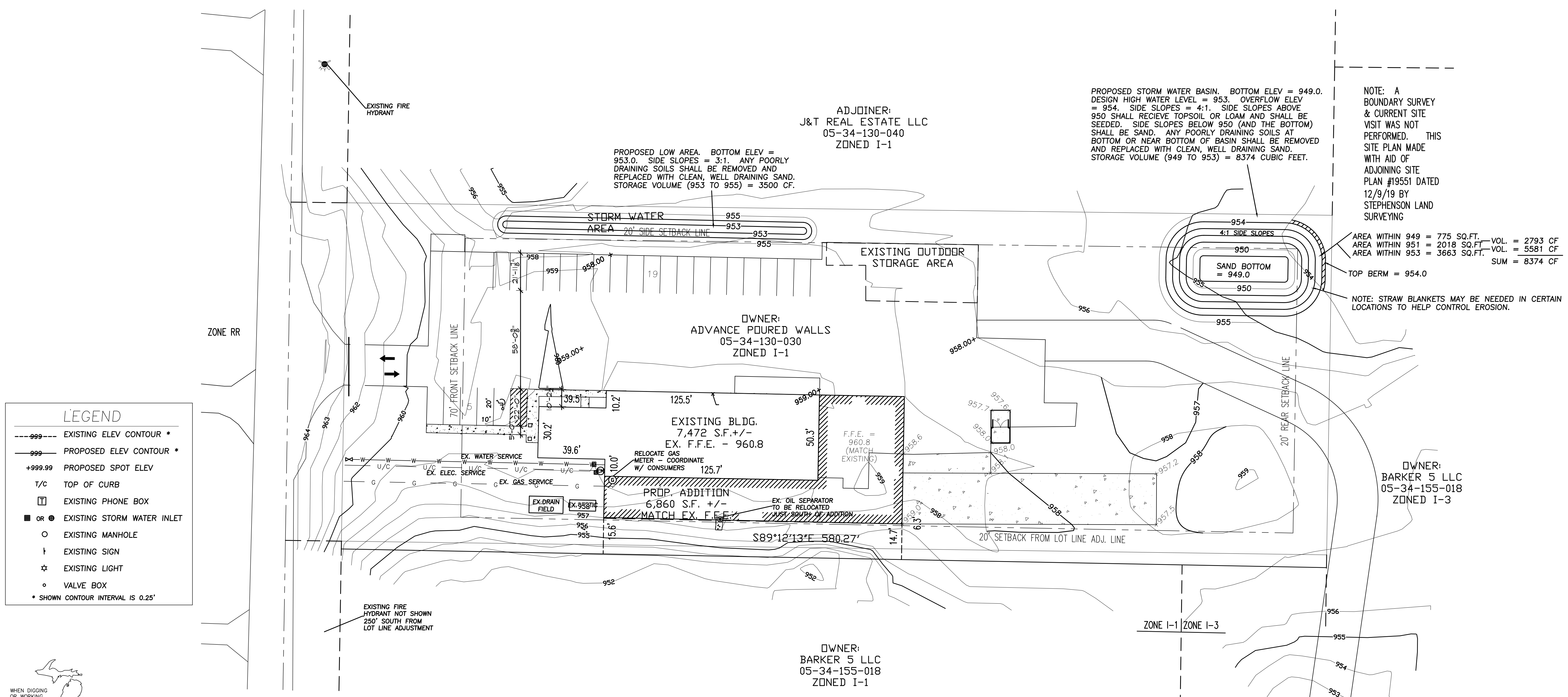
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GENERAL NOTES:

- SOIL EROSION CONTROL NOTES:**
- ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL, EROSION AND SEDIMENTATION CONTROL ACT (PA 451 OF 1994, AS AMENDED) AS ADMINISTERED BY THE COUNTY OF KALAMAZOO
 - EARTHWORK CONTRACTORS SHALL BE RESPONSIBLE FOR THE FOLLOWING:
 - BERMING OR FILTERING OF PROPERTY LINES AT ALL LOCATIONS WHERE EROSION COULD OCCUR
 - PROTECTION OF ALL EXISTING AND NEWLY CONSTRUCTED STORM SEWER STRUCTURES, WHETHER ADJACENT TO OR ON THE SITE.
 - MINIMIZATION OF TRACKING OF MATERIAL OFF SITE.
 - SWEEEPING & CLEANING OF ADJACENT STREETS AS NECESSARY.
 - OBTAINING SOIL EROSION CONTROL PERMIT IF REQUIRED.
- RESTORATION NOTES:**
- ALL DISTURBED AREAS SHALL BE RESTORED WITH MINIMUM 4" TOPSOIL, GRASS SEED, AND MULCH, OR OTHER REQUIRED LANDSCAPING.
 - EXISTING STREETS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTING PRIOR TO CONSTRUCTION.
- TEMPORARY SOIL EROSION CONTROL MEASURES:**
- EARTH GRADING AROUND ALL MANHOLES/CATCH BASINS SHALL BE SUCH THAT RAIN WATER/EROSION RUN-OFF CANNOT ENTER.
 - FILTER FABRIC SHALL BE PLACED ON GRATE COVERS TO PREVENT SOIL EROSION FROM ENTERING.
 - ALL STREETS SHALL BE KEPT CLEAR OF SOIL AND MUD. CONTRACTOR SHALL SWEEP/CLEAN AS NEEDED.
 - ANY EVIDENCE OF SOIL EROSION SHALL BE EXAMINED AND ADDRESSED BY CONTRACTOR. INVOLVEMENT BY ENGINEER AND/OR KALAMAZOO COUNTY MAY BE NECESSARY.
 - SOIL EROSION SHALL NOT BE ALLOWED ONTO ADJOINING PROPERTIES
 - SILTATION FENCING SHALL BE PLACED IF REQUIRED.
 - ALL DISTURBED AREAS SHALL RECEIVE TOPSOIL AND SEEDING FOR PERMANENT CONTROL MEASURES.

FIRE REQUIREMENTS

PER BUILDING S.F. REQUIRED 1,500 GALLON/MINUTE AND 2 HOUR FLOW DURATION
 REQUIRED 1 HYDRANT
 MAXIMUM DISTANCE IS 250 FEET FROM ANY POINT ON STREET/ROAD FRONTAGE
 HYDRANTS EXISTING = 2
 EX. HYDRANT 89'-0" NORTH OF NORTH PROPERTY LINE
 EX. HYDRANT 250'-0" SOUTH OF SOUTH LOT LINE ADJUSTMENT
 NO ADDITIONAL HYDRANTS ARE REQUIRED



LEGEND

- 999--- EXISTING ELEV CONTOUR *
- 999--- PROPOSED ELEV CONTOUR *
- +999.99 PROPOSED SPOT ELEV
- T/C TOP OF CURB
- EXISTING PHONE BOX
- or ● EXISTING STORM WATER INLET
- EXISTING MANHOLE
- † EXISTING SIGN
- ☆ EXISTING LIGHT
- VALVE BOX
- * SHOWN CONTOUR INTERVAL IS 0.25'

WHEN DIGGING OR WORKING NEAR OVERHEAD ELECTRIC WIRES IN MICHIGAN, CALL

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SITE PLAN UTILITY / GRADING PLAN

SCALE: 1"=30'-0"

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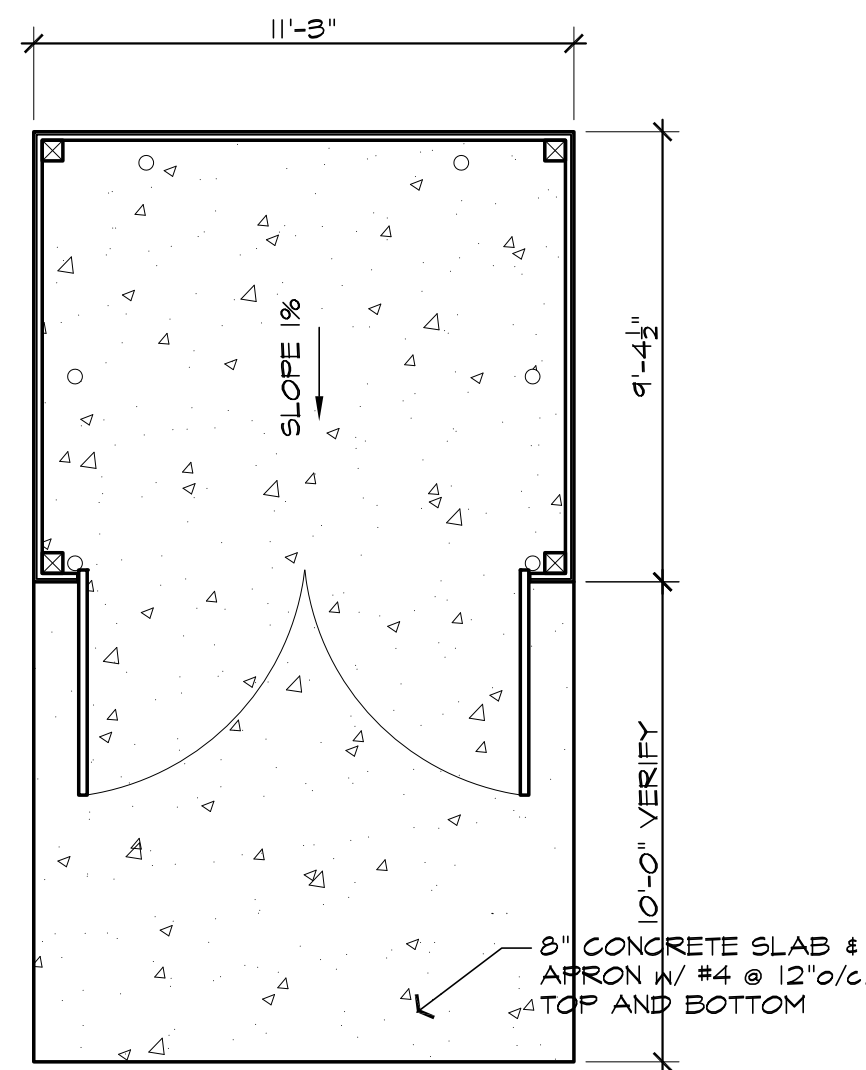
REVISIONS:

spa 01.28.21

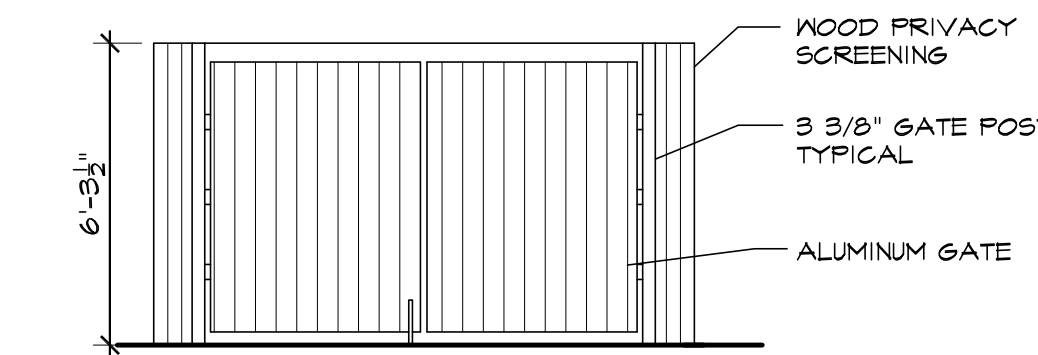
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 PROJECT: 2101

SD1.1

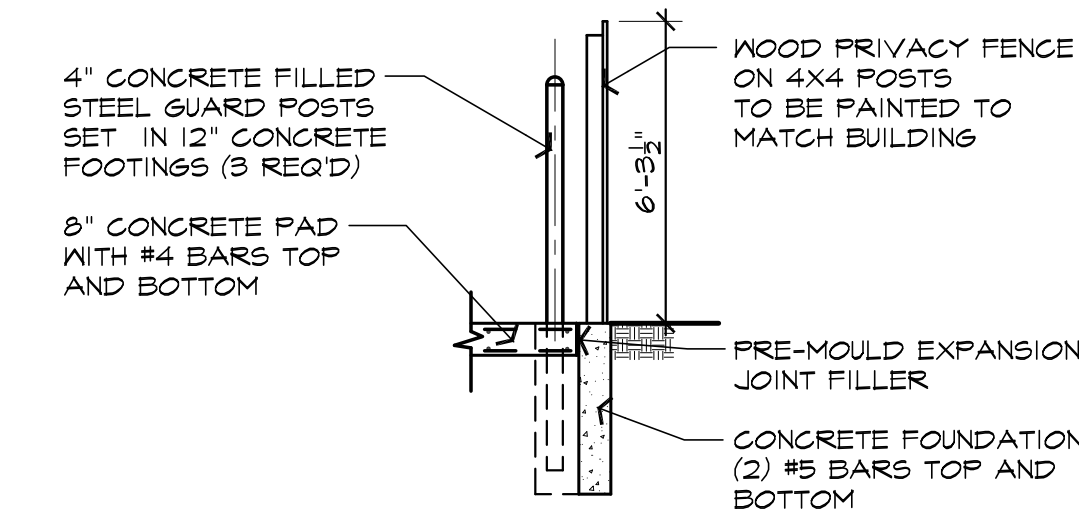
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



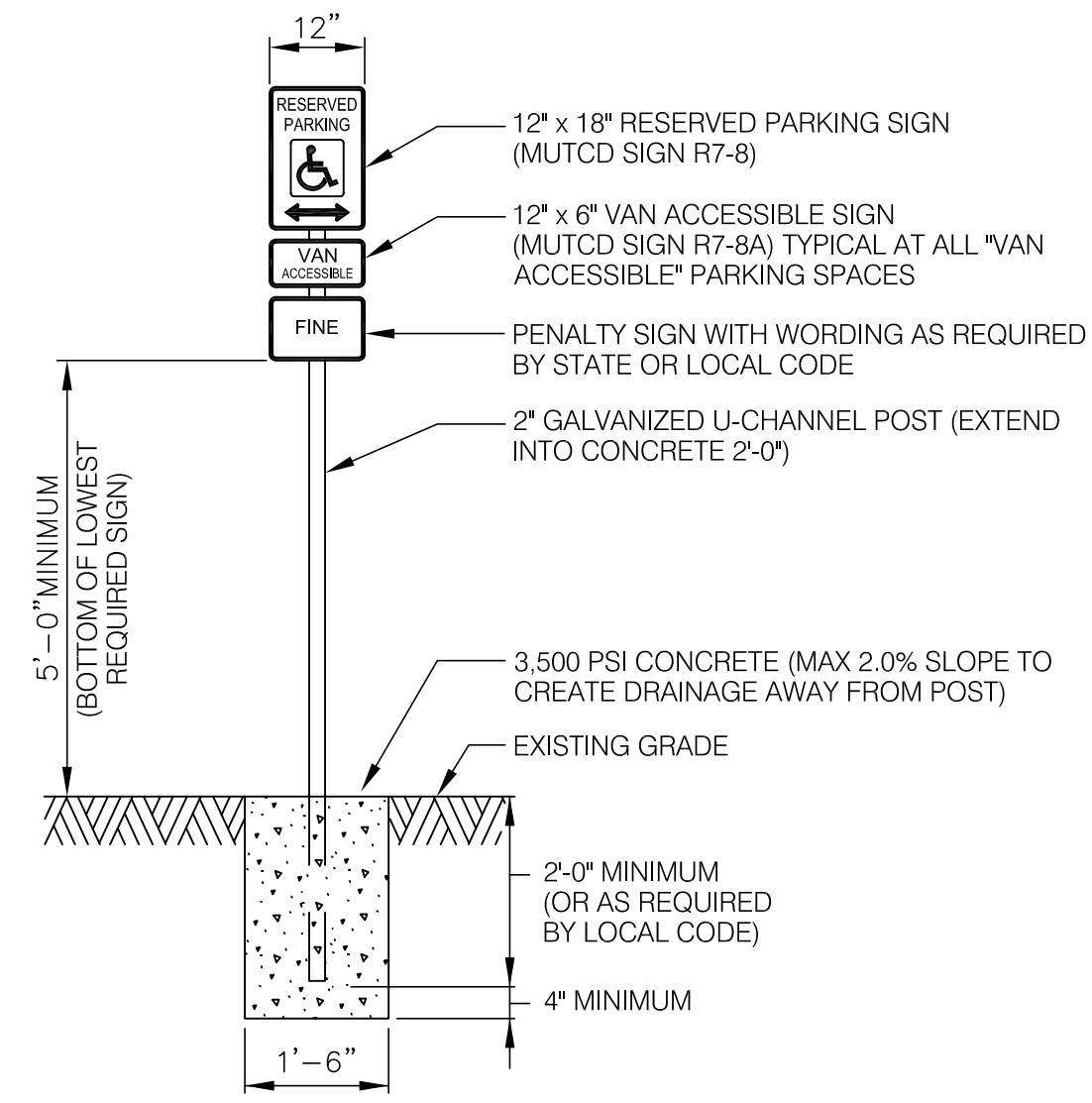
1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4"=1'-0"



2 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4"=1'-0"



3 DUMPSTER ENCLOSURE SECTION
SCALE: 1/4"=1'-0"

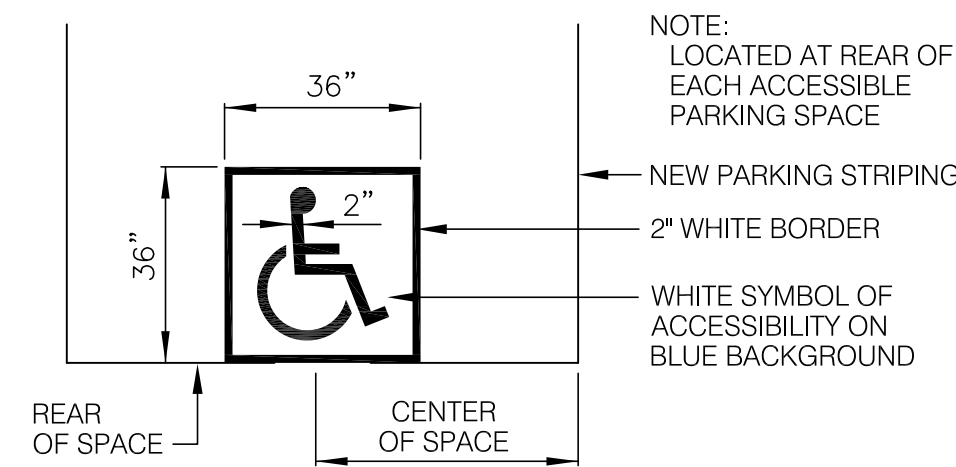


- NOTES:
- ONE REQUIRED AT EACH ACCESSIBLE SPACE.
 - WHERE ACCESSIBLE SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.
 - SIGNS SHALL BE MOUNTED TO POST WITH 3/8" CADMIUM PLATED BOLTS, NUTS AND WASHERS.
 - SIGNS SHALL CONFORM TO THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) FOR SIZE, COLOR AND DIMENSIONS.

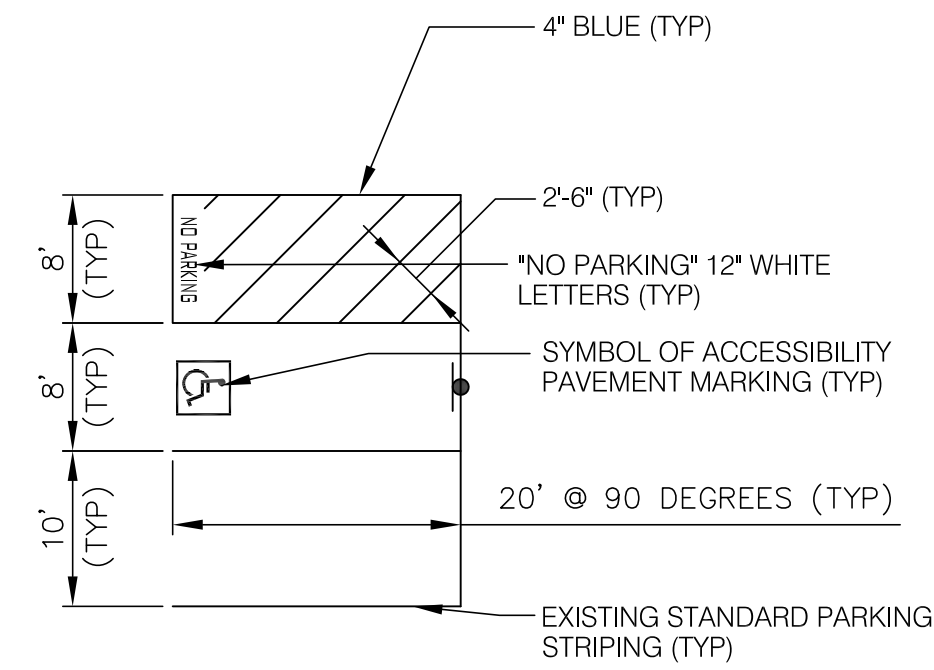
4 RESERVED SIGN - ACCESSIBLE PARKING
SCALE: 1/4"=1'-0"

NOTES:

- CONTRACTOR SHALL VERIFY EXISTING PAINT STRIPING FOR ACCESSIBLE SPACES AND AISLES IS IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
- BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH COLOR 15180 OF FEDERAL STANDARDS 595B.
- PROVIDE ACCESSIBLE PARKING SIGN POSTS WITH MOUNTED SIGNS IN ACCORDANCE WITH THE PARKING SIGN DETAIL.
- CONTRACTOR SHALL VERIFY THAT ALL ACCESSIBLE PARKING SIGNS MATCH IN TERMS OF DIMENSIONS AND CONTENT, AND MEET STATE AND LOCAL REQUIREMENTS. REPLACE SIGNS AS REQUIRED THAT DO NOT MEET THIS CRITERIA.
- PROVIDE PRECAST CONCRETE WHEEL STOP AS SHOWN IN PARKING LOT STRIPING DETAILS.
- * THE CONTRACTOR SHALL MAINTAIN A MINIMUM 9' WIDE STANDARD PARKING SPACE AT THE TRANSITION TO ADJACENT EXISTING SPACES.



SYMBOL OF ACCESSIBILITY PAVEMENT MARKING



5 PARKING LOT STRIPING DETAIL
NOT TO SCALE

PROPOSED BUILDING ADDITION
ADVANCE Poured WALLS
3425 SOUTH 6TH STREET
KALAMAZOO, MICHIGAN 49009

ander Weele
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DEVELOPERS **BUILDERS**

MEYER C. WEINER CO.
700 MALL DRIVE
PORTAGE, MICHIGAN 49082
PHONE: 269.323.2441
FAX: 269.323.3262

REVISIONS:

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SD2.0

Symbol	Label	Quantity	Manufacturer	Description	Lamp
☐	A	3	LITHONIA LIGHTING	DSXW2 LED 20C 1000 40K TFTM MVOLT LED WALL MOUNT FIXTURE	LED

NOTE: NEW LIGHTS ARE BUILDING MOUNT AT 14'-0" A.F.F.

SITE LUMINAIRE SCHEDULE

SCALE: N.T.S.



D-Series Size 2 LED Wall Luminaire

Capable Luminaire

This item is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

This luminaire is A+ Certified when ordered with D11 controls marked by a shaded background. DTL DLU equipped luminaires meet the A+ specification for luminaire to photocell interoperability.

This luminaire is part of an A+ Certified solution for RCOM or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit www.acuitybrands.com/a-plus.

1. See ordering tree for details.

2. A+ Certified Solutions for RCOM require the order of one RCOM node per luminaire. Sold Separately. Link to Rcom; Link to DTL DLU.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBT2D

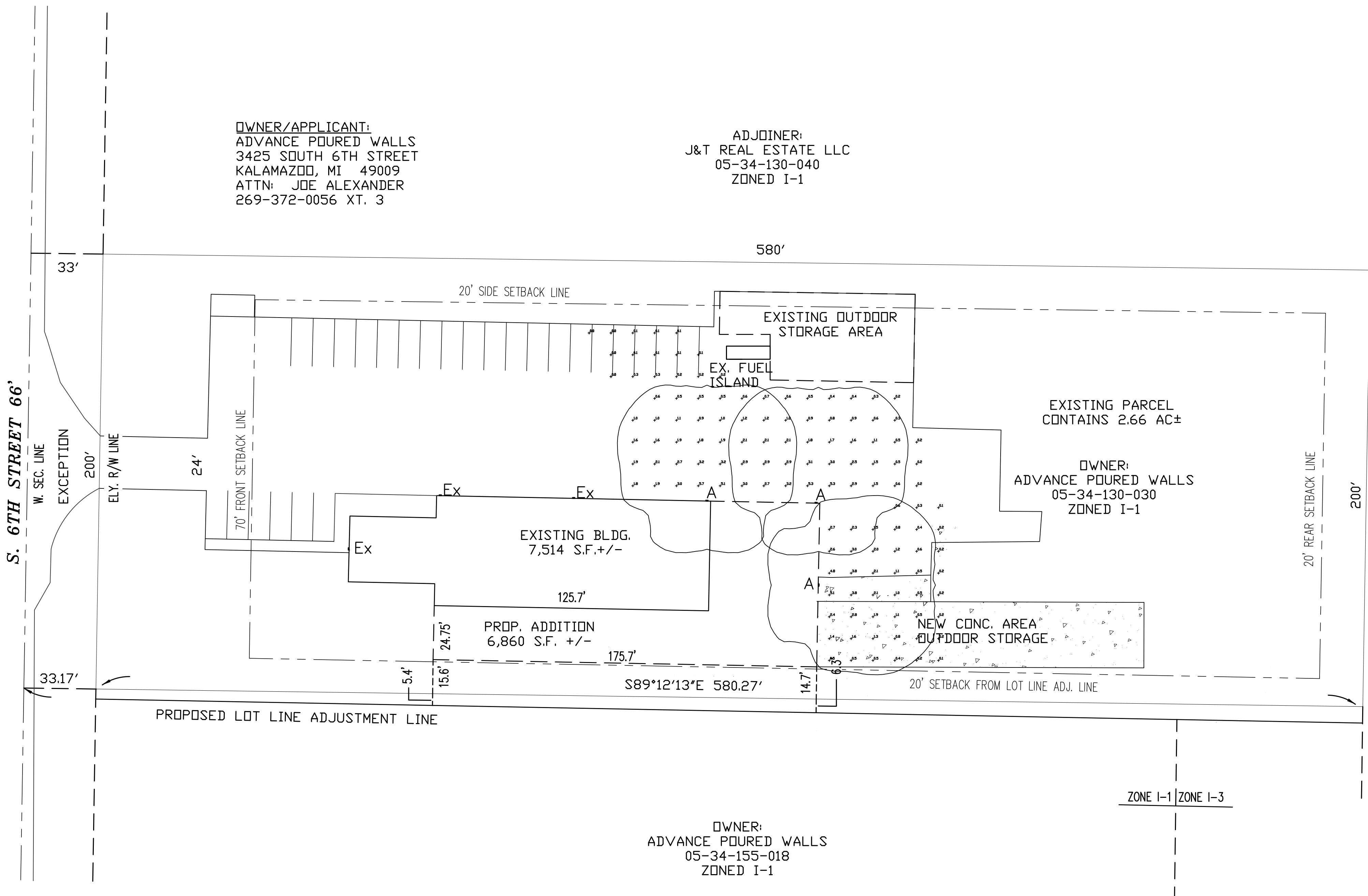
DSXW2 LED	30C	700	40K	T3M	MVOLT	DDBT2D
DSXW2 LED	30C	700	40K	T3M	MVOLT	DDBT2D
DSXW2 LED	30C	700	40K	T3M	MVOLT	DDBT2D

Shipping included: 1. See ordering tree for details.

Shipping excluded: 1. See ordering tree for details.

Shipping excluded: 1. See ordering tree for details.

Shipping excluded: 1. See ordering tree for details.



NOTE: A BOUNDARY SURVEY & CURRENT SITE VISIT WAS NOT PERFORMED. THIS SITE PLAN MADE WITH AID OF ADJOINING SITE PLAN #19551 DATED 12/9/19 BY STEPHENSON LAND SURVEYING

OWNER/APPLICANT:
ADVANCE Poured WALLS
3425 SOUTH 6TH STREET
KALAMAZOO, MI 49009
ATTN: JOE ALEXANDER
269-372-0056 XT. 3

ADJOINER:
J&T REAL ESTATE LLC
05-34-130-040
ZONED I-1

EXISTING PARCEL CONTAINS 2.66 AC±

OWNER:
ADVANCE Poured WALLS
05-34-130-030
ZONED I-1

OWNER:
BARKER 5 LLC
05-34-155-018
ZONED I-3

OWNER:
ADVANCE Poured WALLS
05-34-155-018
ZONED I-1

SITE LIGHTING PLAN

SCALE: 1"=30'-0"

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BUILDERS

REVISIONS:

SPA 01.20.21

DATE: 01.07.21
PROJECT: 2101

SL1.0

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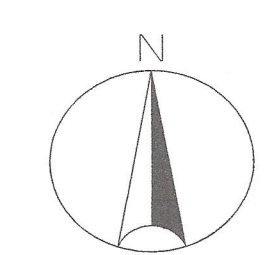
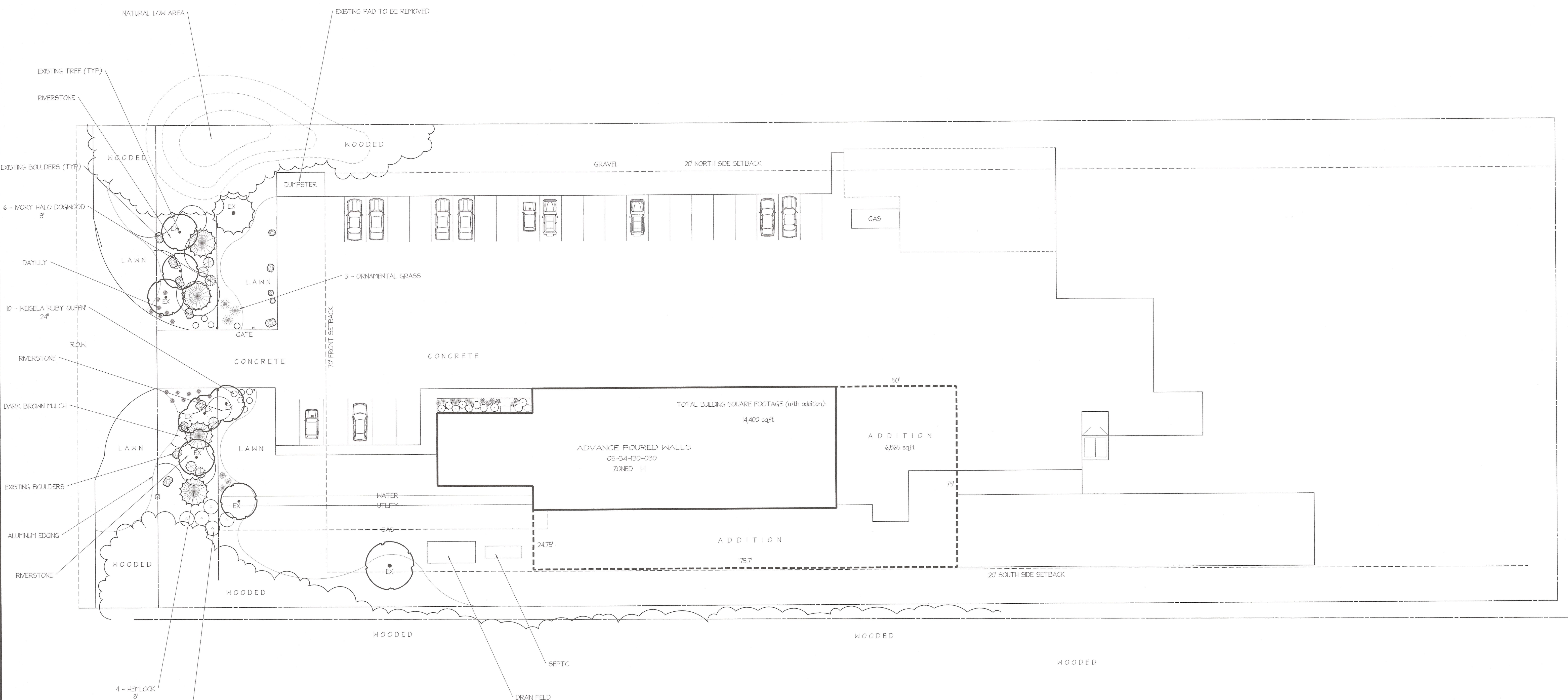
ADVANCE POURED WALLS
KALAMAZOO, MI

ADDITION

3425 S. 6TH STREET

LANDSCAPING REQUIREMENTS FOR EXISTING SITES:

1. Street Right-of-Way Greenbelts need to be 20 feet wide with (1) canopy tree and (2) understory trees every 100 lineal feet
2. Not adding additional parking, so no interior landscaping is required

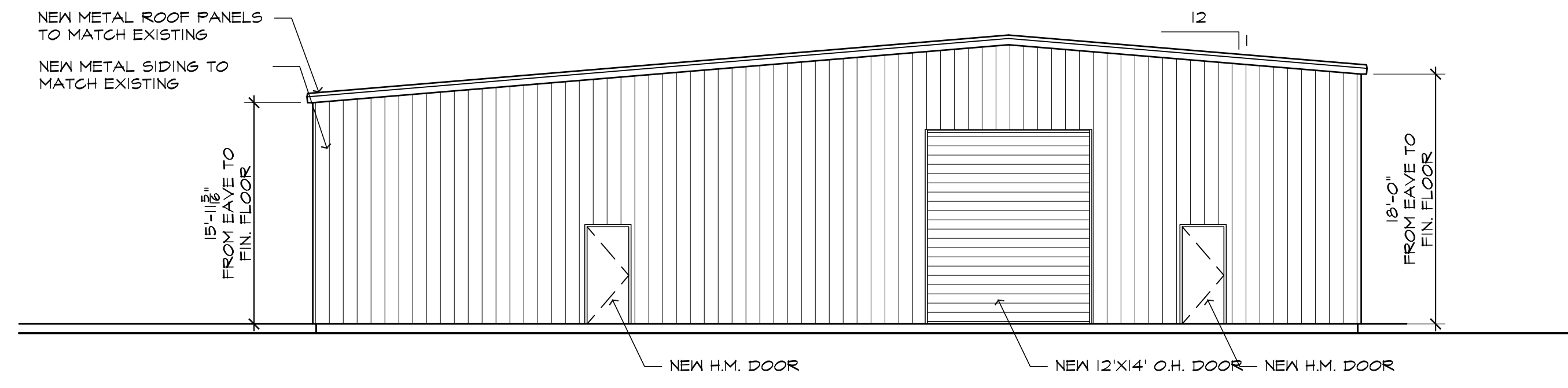


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SCALE IN FEET

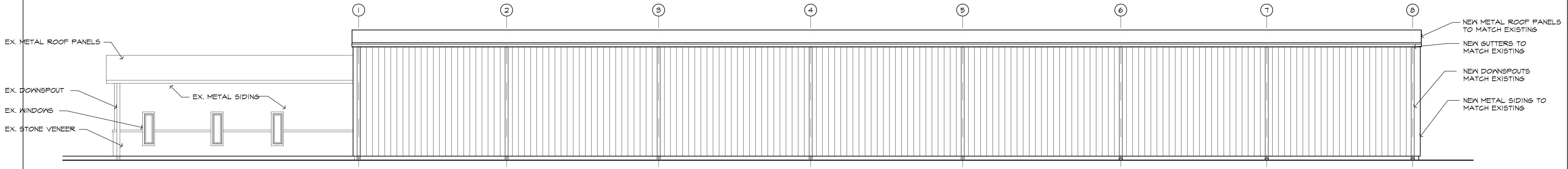
LANDSCAPE PLAN

SHEET :

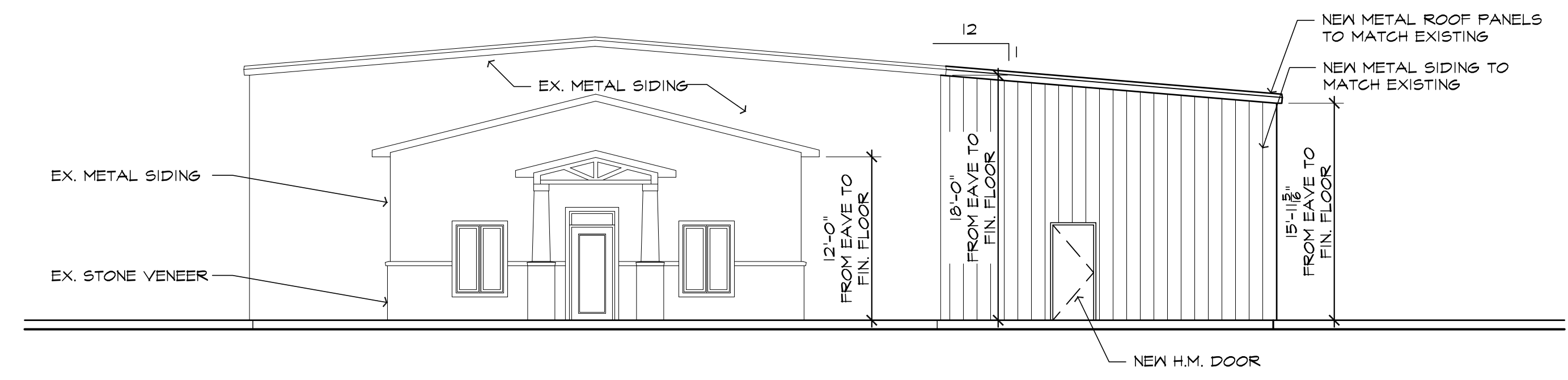
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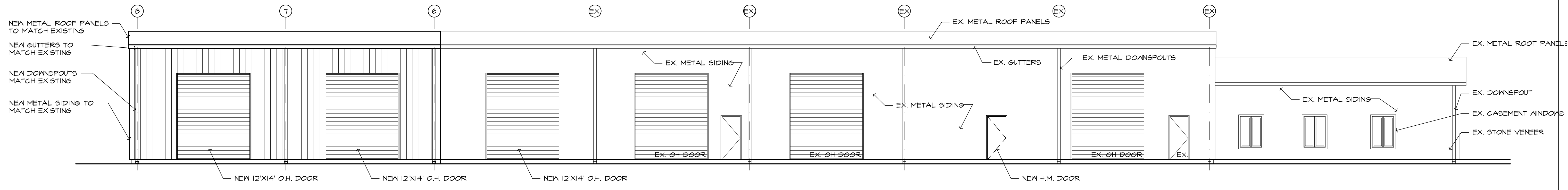
WEST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"

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DEVELOPERS **BUILDERS**

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PHONE 269 323 2441
FAX 269 323 3252

REVISIONS:

DATE: 01.07.21
PROJECT: 2101

A2.0

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February 18, 2021



Mtg Date: February 23, 2021

To: Zoning Board of Appeals

From: Iris Lubbert, Planning Director

Applicant: VIRIDIS Design Group

Owner: John Fetzer Institute Inc.

Property: 9132 W KL Avenue, Parcel number 05-20-255-010

Zoning: RR: Rural Residential

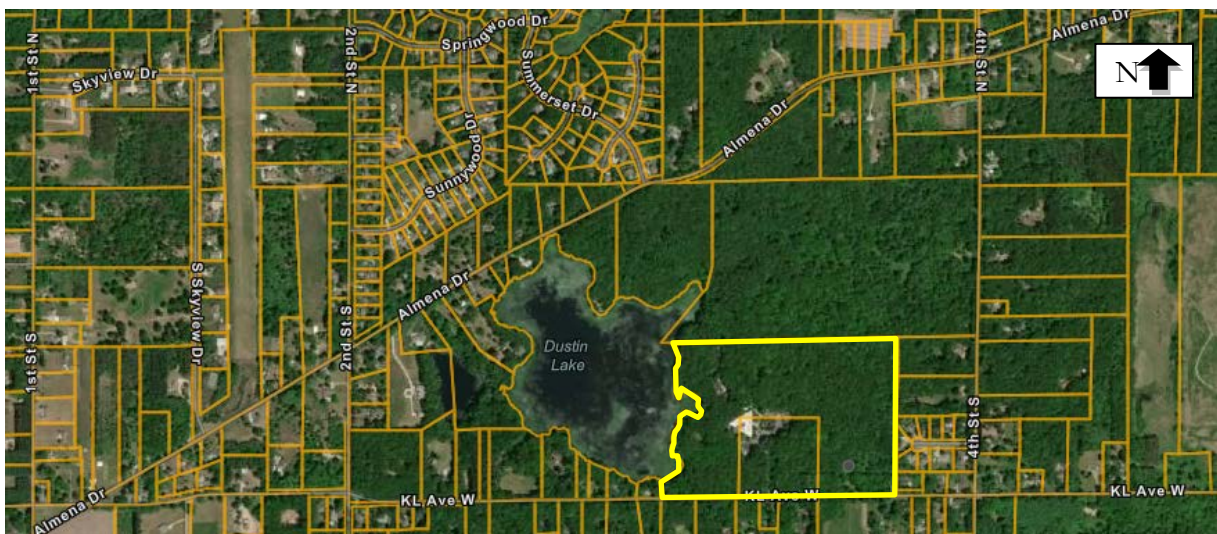
Request: Site Plan approval to construct a new 4,800 square foot fitness and storage facility

Section(s): 5: RR, Rural Residential District
64: Site Plan Review
48: Conditions for Specific Permitted Uses

Project Name: Fetzer Institute Fitness and Storage Facility

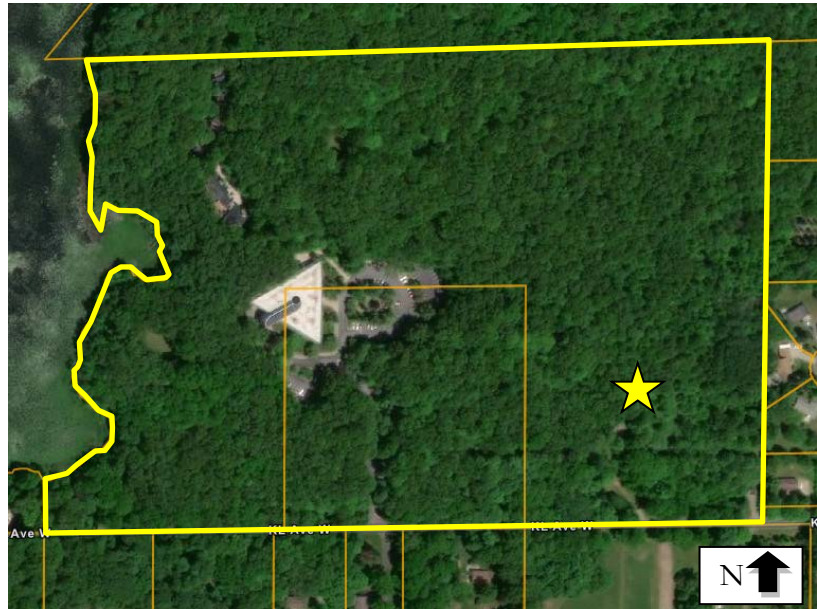
PROPOSAL:

VIRIDIS Design Group, on behalf of John Fetzer Institute Inc., is requesting Site Plan approval from the Zoning Board of Appeals to construct a 4,800 square foot fitness and storage facility as an accessory use to their main campus at 9292 W KL Avenue. The property, outlined in yellow in the map expert below, is located west of S 4th Street, on the north side of W KL Avenue.



OVERVIEW:

John Fetzer Institute Inc. is a private foundation whose mission is to help build the spiritual foundation for a loving world. The foundation has a couple of retreat centers in Michigan, one of which is the Seasons: A Center for Renewal, located at 9292 W Kl Avenue. This retreat center currently straddles two parcels, 05-20-255-020 and 05-20-255-010, shown on the right. The proposal is to relocate the exercise facility from the existing main building to the proposed fitness and storage facility, approximate location starred in the arial to the right. The exercise facility will be for employee use only. As part of this project the two parcels will be combined. A land combination application has been received and approved.



ANALYSIS:

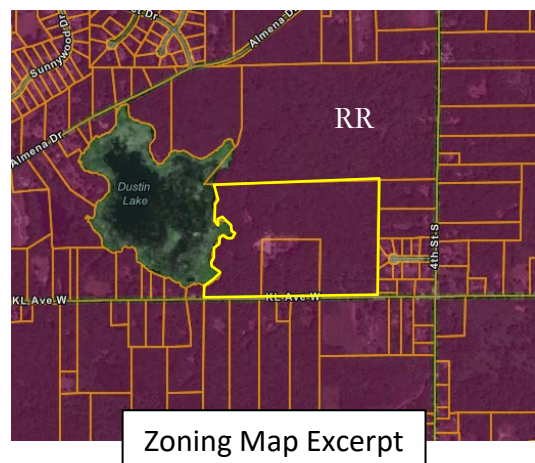
The entirety of the property in question is zoned RR, Rural Residential. Uses permitted in the RR zoning district are outlined in Article 5 of the Township’s Zoning Code. Nonprofit educational, noncommercial recreational and noncommercial business centers are identified as a Permitted Uses with Conditions within this section. As new construction of a nonresidential building for a use that does not fall under the Special Use category, review and approval is required by the Zoning Board of Appeals (Section 64.20). A proposal for a site plan needs to be reviewed against the criteria outlined in Section 64.60 - Application Procedure, C - Site Plan. In addition, the conditions tied to the proposed use of a Nonprofit educational, noncommercial recreational and noncommercial business center outlined in Section 48.110 of the ordinance also needs to be considered. A summary of the requirements and analysis of the proposal against these two sections is provided below.

Section 64: Site Plan Review

General Zoning Compliance

Zoning: 9132 W Kl Avenue is located within the RR, Rural Residential District. All properties surrounding this site are also zoned RR. The proposed fitness and storage facility will be part of the Fetzer Institute’s retreat center which is a permitted use within the RR district.

Lot Dimensions: Parcels within the RR, Zoning District require a minimum area of 1.5 acres and frontage of 200 feet (Section 50.10 (A)). The Fetzer Institute site has over 1,900 feet of



frontage along W KL Avenue and a combined area of 56 acres (parcels 05-20-255-020 and 05-20-255-010). The proposed property exceeds the dimensional requirements of the code.

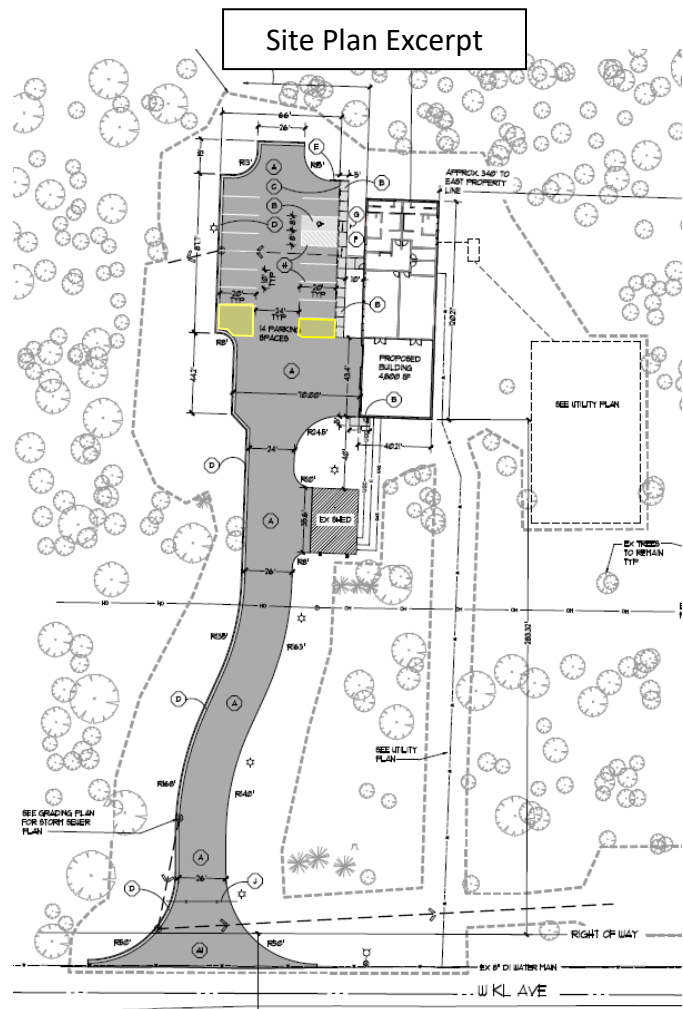
Open Area: The total area of the property under consideration is approximately 56 acres (parcels 05-20-255-020 and 05-20-255-010). If approved this new building, parking area, and drive will add approximately 0.6 acres (0.01%) of impervious surface to the site. A majority of the property will remain open wooded area.

Setbacks: Setbacks required are outlined under Section 50.60 of the ordinance, which indicates a 70-foot setback from KL Avenue. For side and rear yard setbacks the ordinance states that the minimum setback distance is 20 feet or the height of the abutting side of the building at its highest point as measured from the grade of the property line, whichever is greater. The proposed structure will be just under 20 feet tall. The proposed building is located approximately 280 feet from W KL Avenue and over 300 feet from the sides and rear of the property.

Access and Circulation

Access: The existing gravel drive onto W KL Avenue will be removed and a new asphalt drive installed further west to service the proposed fitness and storage building. The applicant has worked with the Road Commission to determine the new curb cut location to provide better site distance to the west. A 24 foot-wide drive will be installed to allow access and parking on the west side of the proposed building, see site plan excerpt to the right. Adequate turn around space has been provided. The Township Fire Marshal is satisfied with the site design.

Parking: The proposed facility is 4,800 square feet, of which 2,818 square feet will serve as the fitness center and the remainder will be utilized as storage. Per Section 52.100 of the ordinance, health and fitness centers require 1 parking space for every 200 square feet of net floor area plus 1 parking space per each employee. No employees are proposed for this facility. No



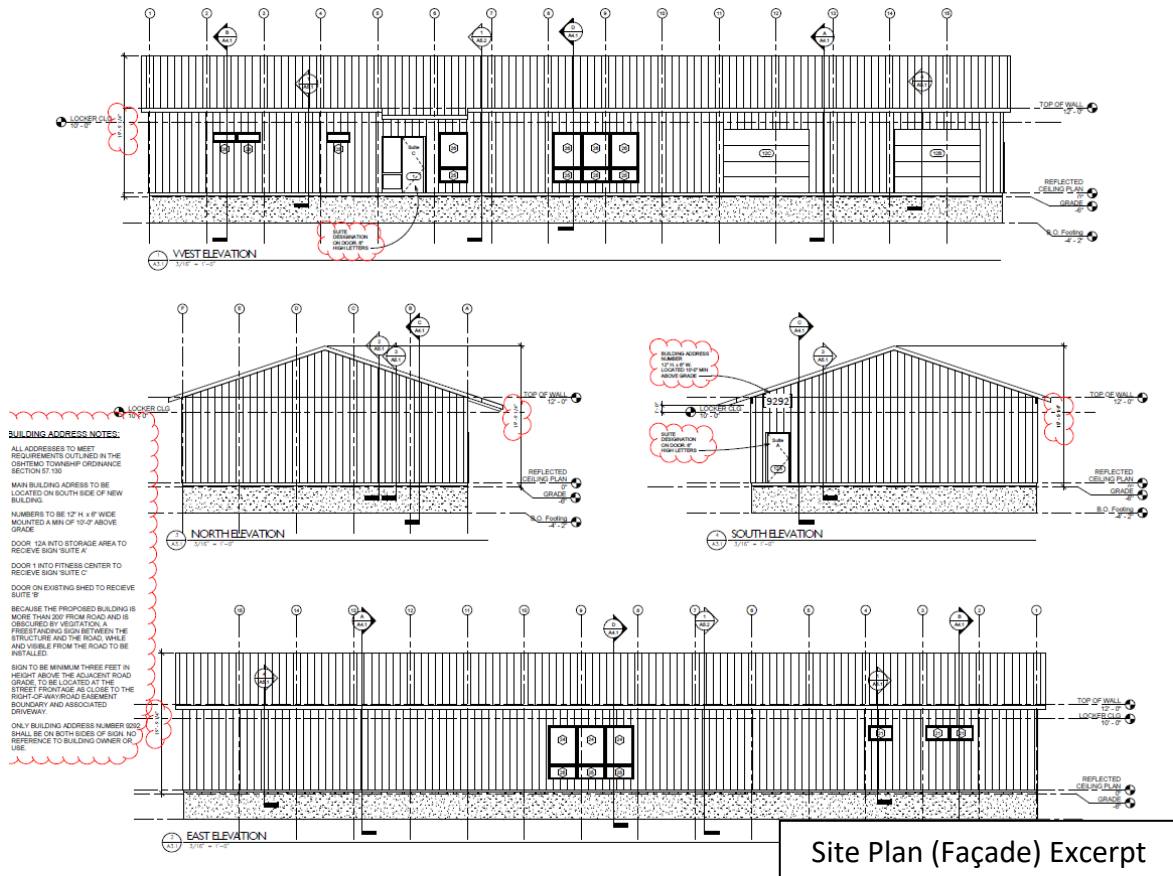
parking is required for storage space. Per this section this site plan is required to have 14 parking spaces with one being ADA. The site plan proposed is providing 13, 10 foot by 20 foot parking spaces and one ADA spot with an access aisle.

A theme throughout the Township’s off-street parking ordinance is to minimize excessive areas of pavement which detract from the aesthetics of an area and contribute to high rates of storm water runoff. As a result, no parking lot shall have parking spaces totaling more than 110% of the minimum parking space requirements. As such, the proposed site could have up to 16 parking spaces. On the proposed plan there are two areas of undesignated pavement that could be used informally for parking, highlighted in yellow in the site plan excerpt on the previous page. It is unclear if these two areas are intended for trucks or fire apparatus turn around. The applicant will need to clarify what these areas are for and accordingly modify the site plan.

Sidewalk – Per Section 57.90 sidewalks indicated on the Township’s Non-motorized Plan shall be installed by the developer when properties adjacent to planned nonmotorized facilities receive site plan approval from the municipality. No nonmotorized facilities are shown on the Township’s Non-motorized Plan in front of this property.

Building Design

The proposed 4,800 square foot fitness and storage facility will be a pole building with horizontal metal siding. Elevations are provided below. No details on the chosen color selection have been provided.



Signage

No signage is proposed on the building. The applicant has noted that a freestanding sign for addressing and wayfinding purposes will be installed between the structure and road. This sign will only have the address of the building and make no reference to building owner or use. This proposed sign is not shown on the submitted site plan. The proposed freestanding sign will be reviewed in detail if the request is approved by the Zoning Board of Appeals when the sign permit application is submitted.

Trash Receptacle

Trash generated by this facility will be collected as part of campus operations and taken to the main campus. This criterion is not applicable.

Landscaping

The applicant has provided a landscaping plan that meets the landscaping standards outlined in Article 53 of the zoning ordinance. The proposed plan shows three new deciduous trees around the parking lot and several shrubs and perennials by the building entrance. In large the plan utilizes the existing foliage on site.

Photometric Plan

The applicant has provided a photometric plan proposing five pole mounted lights and two wall mounted lights. The photometric plan is required to show 0.1 foot candles at the property line or that 0.1 foot candles is accomplished before reaching the property line. Article 54 of the Township Ordinance also requires that all lights are cut-off fixtures. Requirements for mounting height, lumens, minimum color rendering index, and Kelvin ratings are met. The proposed photometric plan meets the standards outlined in Article 54.

Engineering

Prein & Newhof, the Township's civil engineering agent, has reviewed the project site plan. The applicant has addressed all preliminary concerns and no further corrections to the plan are needed.

Fire Department

The Township Fire Marshal has reviewed the project site plan and is satisfied with the design.

Section 48.110: Permitted Use with Conditions for Nonprofit educational, noncommercial recreational and noncommercial business centers

- A. Shall include, but not be limited to the following accessory uses for the benefit of participants and directly relating to such centers: classrooms, libraries, lecture halls, eating facilities, overnight accommodations, conference center facilities, facilities for the production and documentation of audio-visual presentations, satellite communication accommodations, custodial living, and maintenance facilities, office and recreation accessory uses.
The proposed fitness and storage facility falls within the permitted accessory uses outlined in this section.
- B. Buildings shall not be constructed to a height exceeding 40 feet. Buildings and structures shall be set back 200 feet from the front right-of-way line of adjoining streets. Buildings and

structures shall be set back 40 feet from the rear or side property line. Outdoor storage areas shall be screened from view of adjoining residentially developed or zoned land.

The proposed building is just under 20 feet in height. The proposed setbacks, outlined in the site plan review portion of this report, exceed the minimum setbacks outlined in this section. No outdoor storage areas are being proposed.

- C. Such facilities must be located upon one of the designated highways listed in Section 50.60.A of the zoning ordinance.

W KL Avenue is one of the designated highways listed in Section 50.60 A of the zoning ordinance.

- D. Any entrance to the facility must be developed with a traffic deceleration lane. The Zoning Board of Appeals shall have authority to grant a variance from this requirement where in its opinion the deceleration lane would not substantially improve the traffic safety because of the particular characteristics of the facility, the road upon which the entrance is located, or the volume of traffic upon the road. A permit will be needed for the driveway from the Road Commission of Kalamazoo County.

The main campus of the Fetzer Institute and its entrance already exists. Staff, including the Fire and Engineering department, have no concerns with the newly proposed entrance to access the fitness and storage facility. A permit from the Road Commission of Kalamazoo County (RCKC) is required prior to building permit issuance. The RCKC has reviewed and provided initial comments on the proposed plan and did not convey the need for a deceleration lane. The Zoning Board of Appeals is asked to waive this requirement.

- E. Not less than 75 percent of the site must be maintained as open space unencumbered by buildings, structures, paved roads, sidewalks, or parking areas.

Even with this new accessory facility, more than 75 percent of the site will remain open space.

- F. The facility shall be designed so as to limit the number of participants to not exceed ten per acre.

The total area of the property under consideration is approximately 56 acres (parcels 05-20-255-020 and 05-20-255-010); the site can be designed to accommodate 560 participants. The proposed accessory building will be used by staff only – there will be no increase to the overall number of participants onsite.

- G. Adequate off-street parking must be constructed to insure sufficient parking space to meet the reasonably foreseeable demands upon the facility but not exceeding one parking space for each person the facility is designed to serve and shall be effectively screened from adjoining residentially developed or zoned land.

The proposed parking onsite for the fitness and storage facility meet code requirements as outlined under the site plan review section of this report. In addition, the facility is surrounded by existing trees and setback significantly from the road and neighboring residential properties. Sufficient screening from neighboring residential uses and zones is in place.

- H. During Site Plan review, the Zoning Board of Appeals shall consider whether more than one vehicular entrance road is necessary for public safety and fire protection.

A secondary entrance to the primary campus is not proposed as part of this project. An existing gravel curb cut exists to the site under consideration. As a result of visibility concerns from both staff and the Road Commissions of Kalamazoo County the applicant has agreed to close the existing curb cut and move the entrance to this proposed fitness and storage facility further west. Due to the overall scale of the site and location of the proposed facility in relation to the Fetzer Institutes' primary campus, an individual entrance to service this facility is reasonable. The Township Fire Marshal is satisfied with the site design.

RECOMMENDATION:

Staff recommends that the Zoning Board of Appeals approve the proposed Site Plan for the John Fetzer Institute's 4,800 square foot fitness and storage facility located at 9132 W KL Avenue with the following conditions:

1. The Zoning Board of Appeals, per section 48.110 (D), waives the requirement for a deceleration lane to be installed to service the proposed fitness and storage facility.
2. Use of the exercise facility shall be for employee use only.
3. Parcels 05-20-255-020 and 05-20-255-010 shall be combined.
4. Clarification is provided to staff on the two areas of undesignated pavement within the proposed parking lot and an updated site plan is submitted accordingly prior to building permit issuance.
5. The color selection of the proposed building shall be submitted prior to building permit issuance.
6. A copy of the final site plan with the seal of the architect, engineer, surveyor or landscape architect for those sections of the plan set in which they are responsible shall be submitted prior to building permit issuance.
7. A permit from the Road Commission of Kalamazoo County (RCKC) shall be required for the driveway.

Attachments: Application, Site Plan, Floor Plan

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7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS FETZER INSTITUTE FITNESS/STORAGE

PLANNING & ZONING APPLICATION

Applicant Name : Tim Britain
Company VIRIDIS Design Group
Address 4407 Stoney Ave
Kalamazoo, MI 49004
E-mail tim@virdg.com
269.377.1189 Fax NA
Telephone
Interest in Property Consultant

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

OWNER*:

Name John Fetzer Institute Inc.
Address 9292 W KL Ave
Kalamazoo, MI 49009
Email _____
Phone & Fax _____

Fee Amount _____
Escrow Amount _____

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

CONSTRUCT POLE BUILDING FOR STORAGE AND FITNESS FACILITY

LEGAL DESCRIPTION OF PROPERTY *(Use Attachments if Necessary):*

SEC 20-2-12 S1/2 NEFR 1/4 EXC FOR LAKE ALSO EXC E1/2 SE1/4 NEFR1/4 ALSO
EXC SE 1/4 SW 1/4 NEFR 1/4 (H 20-5-1)

PARCEL NUMBER: 3905- 05-20-255-010

ADDRESS OF PROPERTY: 9132 W KL AVE, KALAMAZOO MI 49009

PRESENT USE OF THE PROPERTY: STORAGE SHED

PRESENT ZONING RR **SIZE OF PROPERTY** 45.40 AC

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.

[Signature]
Owner's Signature *(* If different from Applicant)*

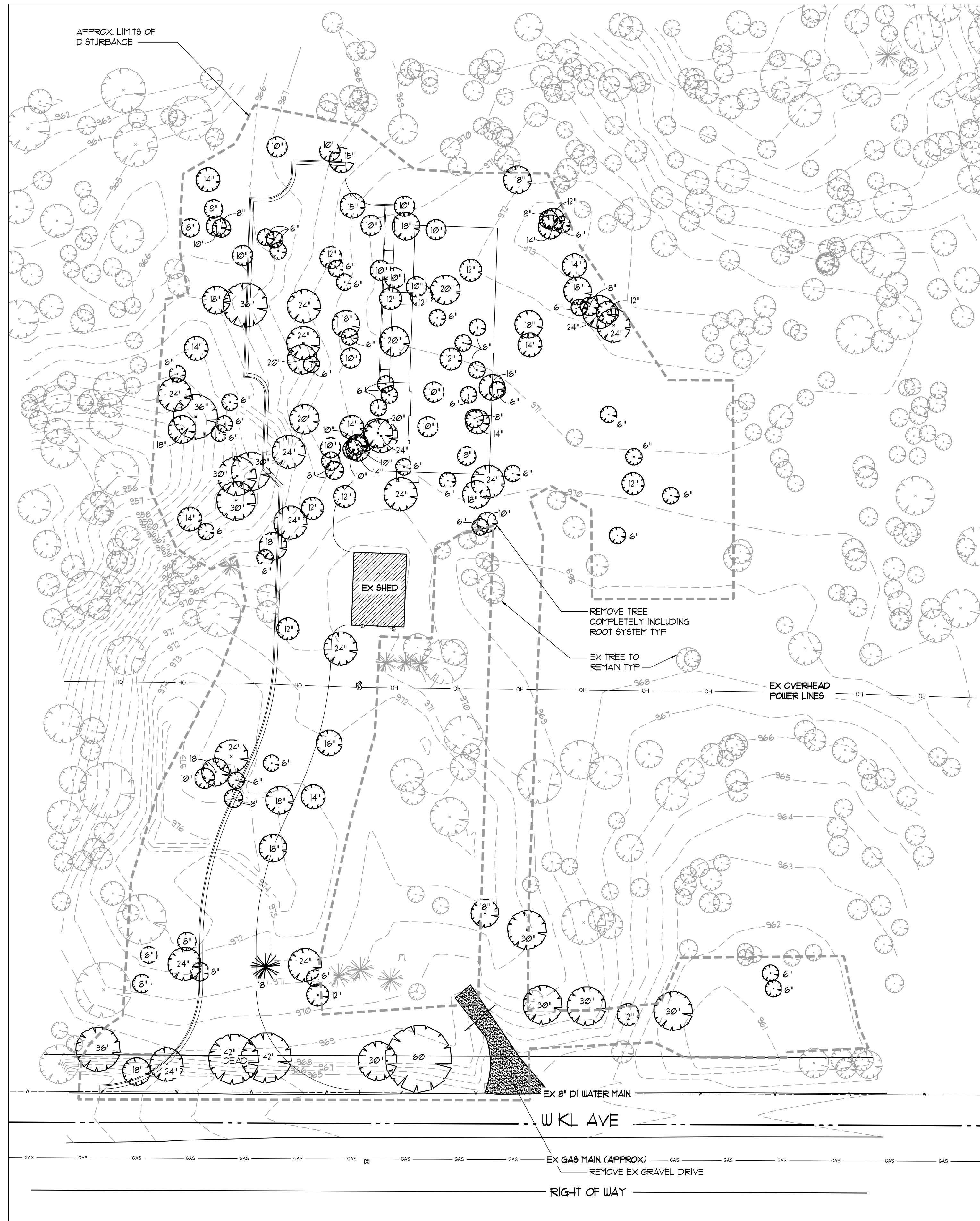
(-11-2)
Date

[Signature]
Applicant's Signature

01.15.2021
Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

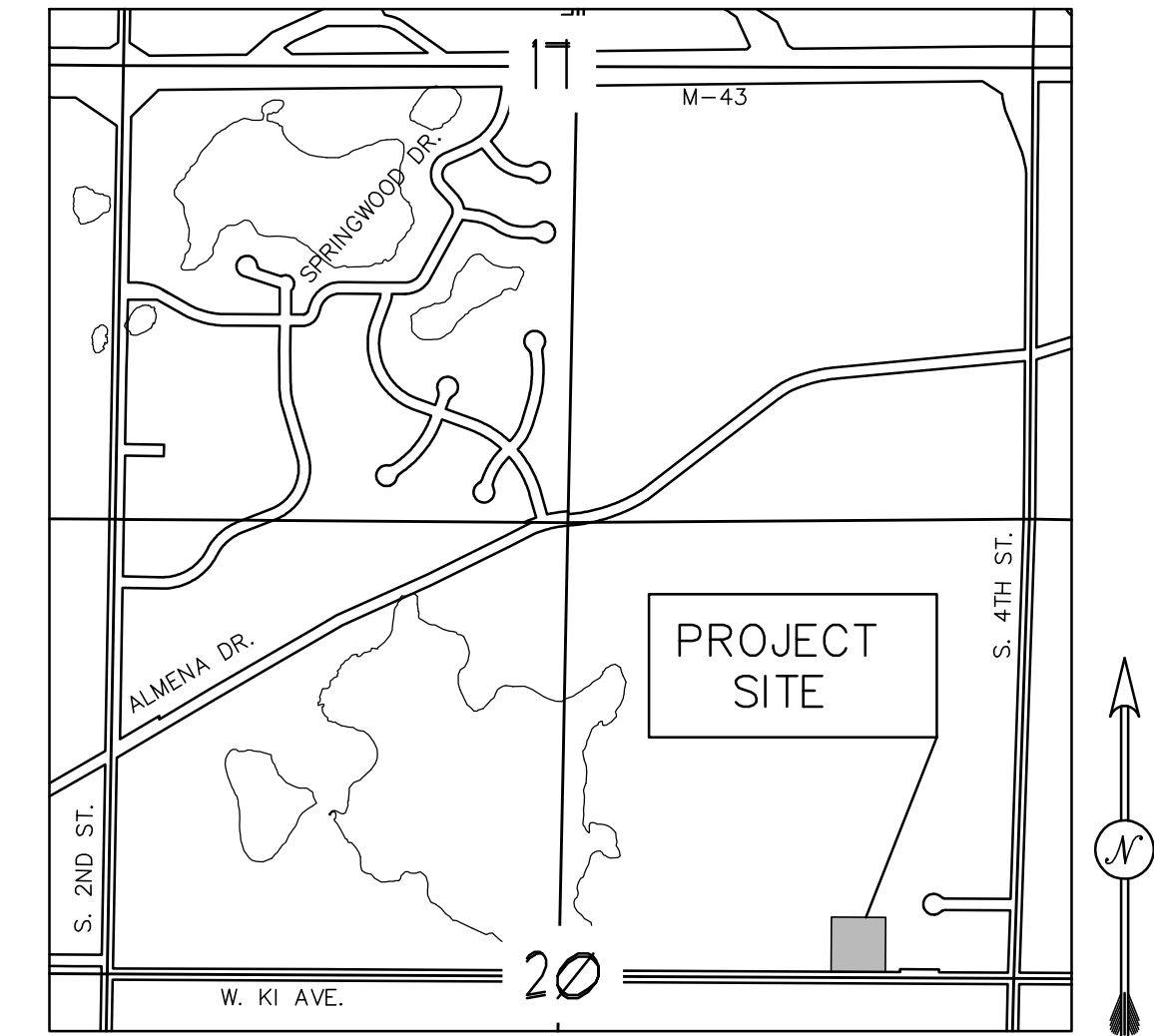
PLEASE ATTACH ALL REQUIRED DOCUMENTS



NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY FREIN AND NEUHOFF, 11071 SOUTH PARK ST SUITE 200, KALAMAZOO, MI 49001 (269) 372-1150.
2. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
3. PROTECT ALL BENCHMARKS DURING CONSTRUCTION. ANY BENCHMARKS DISTURBED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE.
5. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED. PROTECT TREES WITH TREE PROTECTION FENCE.
6. VERIFY LOCATIONS OF ALL BELOW-GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL 811.

TREE REMOVAL INFORMATION
 APPROX 134 TREES TO BE REMOVED RANGING MOSTLY FROM 6" TO 30" AND INCLUDE A MIX OF MOSTLY HICKORY, BEECH, WALNUT, MAPLE, PINE AND OAK



LOCATION MAP - N.T.S.

VIRIDIS
 Design Group
 313 North Burdick Street, Kalamazoo, Michigan 49007
 (269) 978-9143 (voice) - (866) 683-5066 (fax)
 viridis@viridig.com

REMOVALS PLAN
 STORAGE / EXERCISE FACILITY
 FETZER INSTITUTE
 9132 W. KL AVE, KALAMAZOO, MI 49009

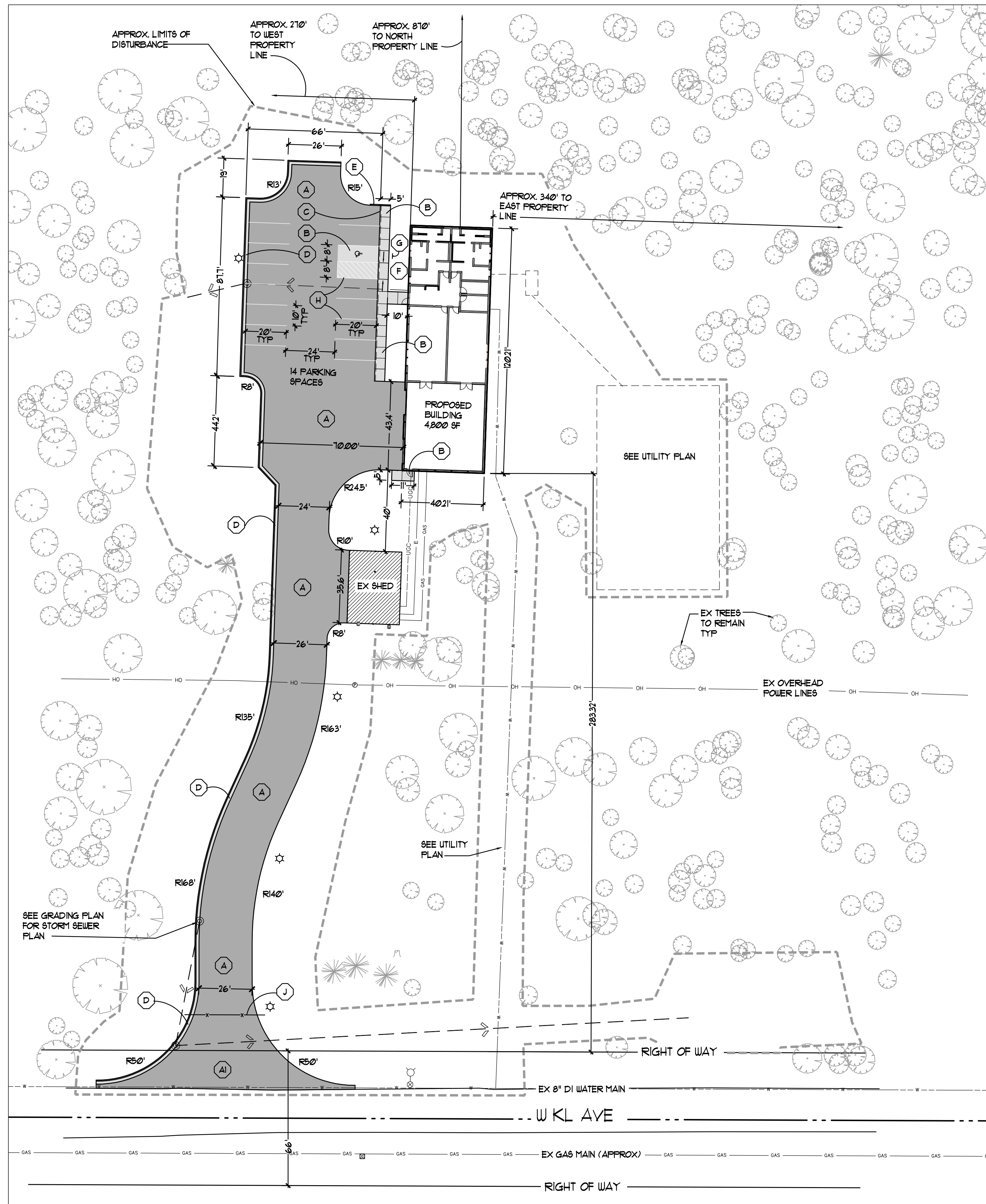
Revisions

Site Plan	01/12/21
Site Plan Rev	02/02/21

Sheet
C1.0

72 HOURS BEFORE YOU DIG CALL MISS 1-800-482-7171

SCALE IN FEET



PROPOSED FEATURES LEGEND:

KEY	DESCRIPTION	DETAIL
(A)	HMA PAVING	1 / C6.0
(A1)	HMA PAVING WITHIN RIGHT OF WAY	1 / C6.0
(B)	CONCRETE SIDEWALK	5 / C6.0
(C)	INTEGRAL CONCRETE CURB	3 / C6.0
(D)	CONCRETE CURB AND GUTTER	4 / C6.0
(E)	HEADER CURB	2 / C6.0
(F)	BARRIER FREE RAMP	6 / C6.0
(G)	BARRIER FREE SIGN	1 / C6.0
(H)	PAVEMENT MARKINGS	N/A
(J)	KEY CARD ACCESS GATE	N/A

GENERAL NOTES

1. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. AT THE SITE. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE. USE PRIVATE UTILITY LOCATOR SERVICE FOR ANY UTILITIES MISS DIG WILL NOT TRACE.
2. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
3. EROSION SHALL BE CONTROLLED AS SPECIFIED AND AS REQUIRED BY LOCAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION.
4. ALL DIMENSIONS ARE GIVEN TO BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
5. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE 4" TOPSOIL AND LAWN PER SPECIFICATIONS, SUPPLEMENT WITH IMPORTED TOPSOIL AS REQUIRED TO PROVIDE 4" DEPTH.

BARRIER-FREE NOTES

- BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
 - NO CHANGES IN LEVEL GREATER THAN 1/4" ALONG ACCESSIBLE ROUTE. NO CHANGES IN LEVEL PERMITTED ALONG A RAMP OR LANDING.
 - 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMPS ARE PROVIDED).
 - 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.

SITE PLAN NOTES

1. PLANS PREPARED BY VIRIDIS DESIGN GROUP, 313 N BURDICK ST KALAMAZOO, MI 49007 ON JANUARY 12, 2021.
2. OWNER IS THE FETZER INSTITUTE 9132 WEST KL AVE, KALAMAZOO, MI 49009.
3. SITE ZONING IS RURAL RESIDENTIAL (RR). ALL ADJACENT PARCELS ARE ALSO ZONED RURAL RESIDENTIAL (RR).
4. EXISTING WOODED SITE INCLUDES A STORAGE SHED (TO REMAIN), A GRAVEL DRIVEWAY, AND AN EXISTING GRAVEL ACCESS DRIVE ON KL AVE.
5. PROPOSED DEVELOPMENT INCLUDES CONSTRUCTION OF A POLE BUILDING FOR STORAGE AND FITNESS CENTER FOR THE FETZER INSTITUTE (NOT FOR PUBLIC).
6. EXISTING SITE IS 45.40 ACRES.
TOTAL AREA OF PAVEMENT - 0.45 AC (19,652 SF)
TOTAL AREA OF BUILDING - 0.11 AC (4,800 SF)
TOTAL AREA - 0.56 AC (24,452 SF)
7. PERCENT OF LAND COVERAGE BY BUILDINGS = 0.0025
8. PARKING REQUIREMENT:
HEALTH AND FITNESS CENTER: 1 PER 200 SF OF NET FLOOR AREA, PLUS ONE PER EMPLOYEE ON LARGEST SHIFT.

TOTAL PROPOSED NET FLOOR AREA SF = 2,818
NUMBER OF EMPLOYEES = 0

2,818 SF OF FLOOR AREA / 200 = 14 SPACES REQUIRED
TOTAL PARKING PROVIDED = 14 SPACES



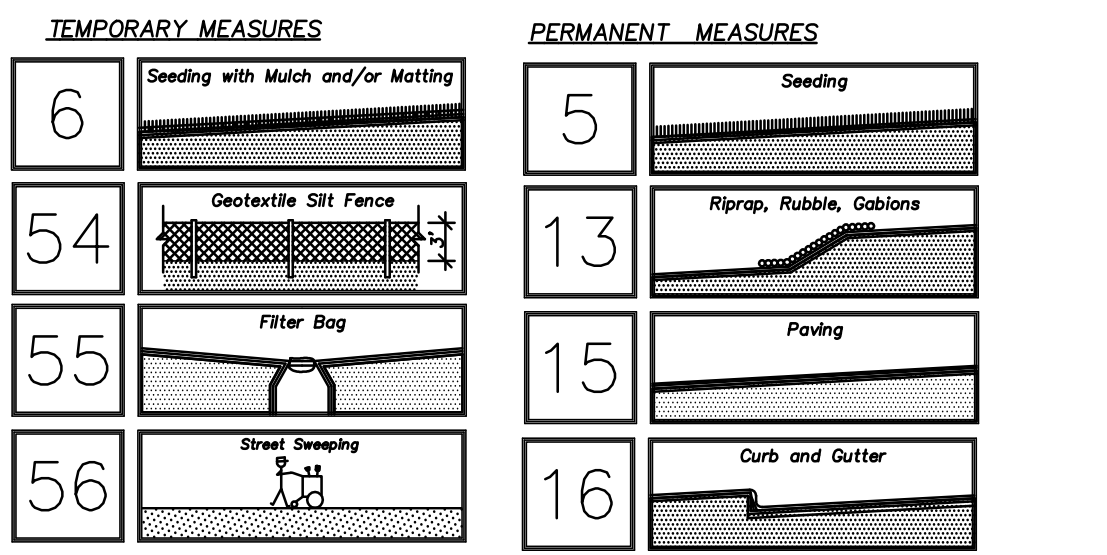
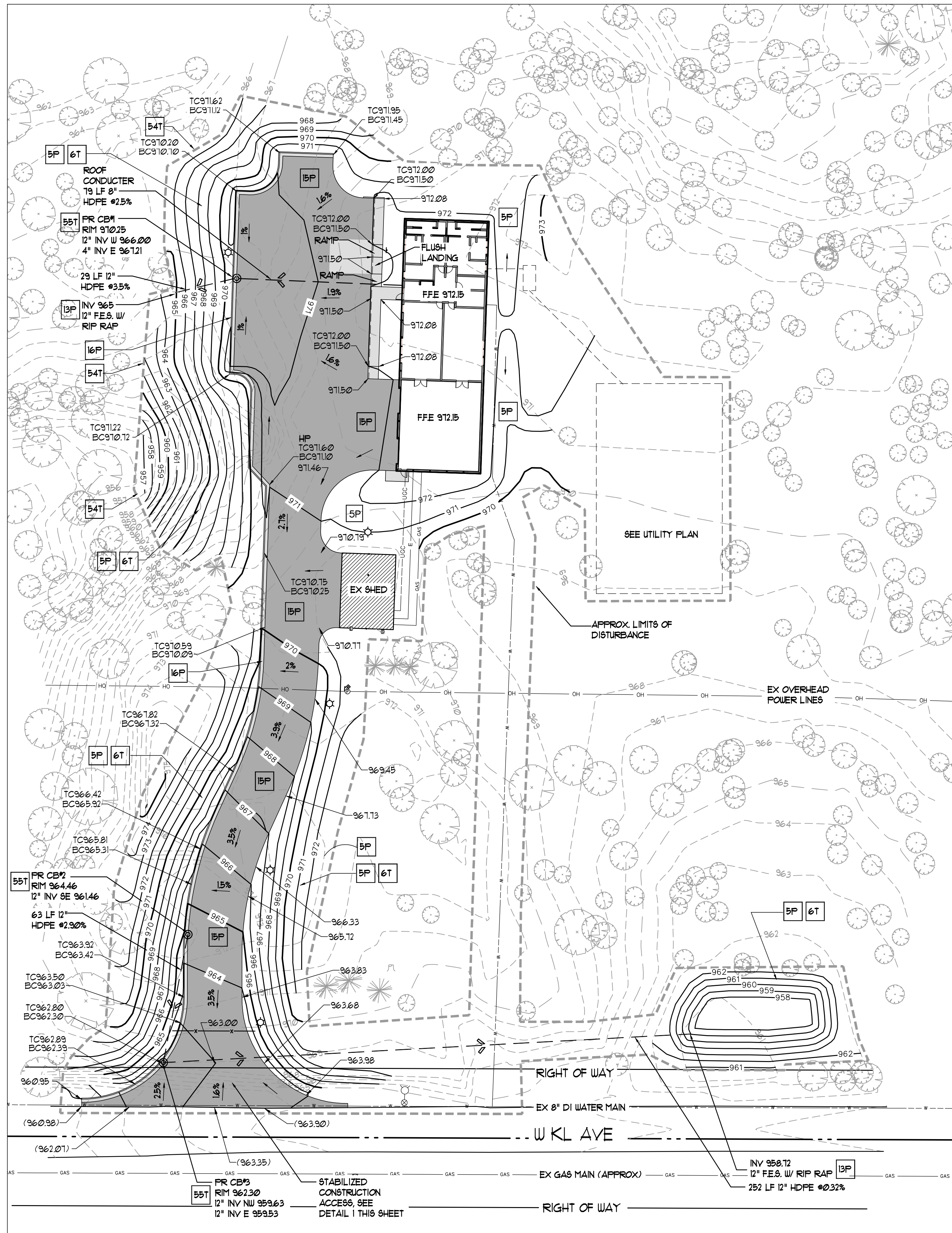
LAYOUT PLAN
STORAGE / EXERCISE FACILITY
FETZER INSTITUTE
9132 W. KL AVE, KALAMAZOO, MI 49009

Revisions

Site Plan	01/12/21
Site Plan Rev	02/02/21

Sheet
C2.0

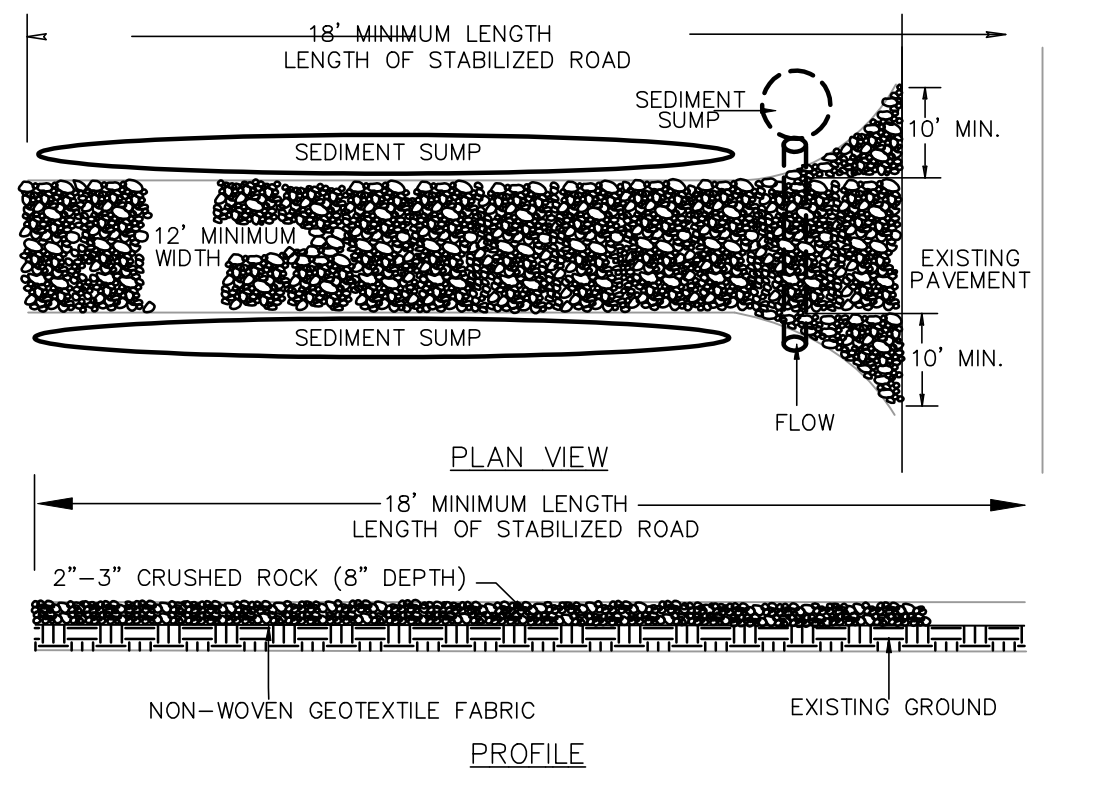
72 HOURS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7177



55T TEMPORARY CONTROL MEASURES
5P PERMANENT CONTROL MEASURES

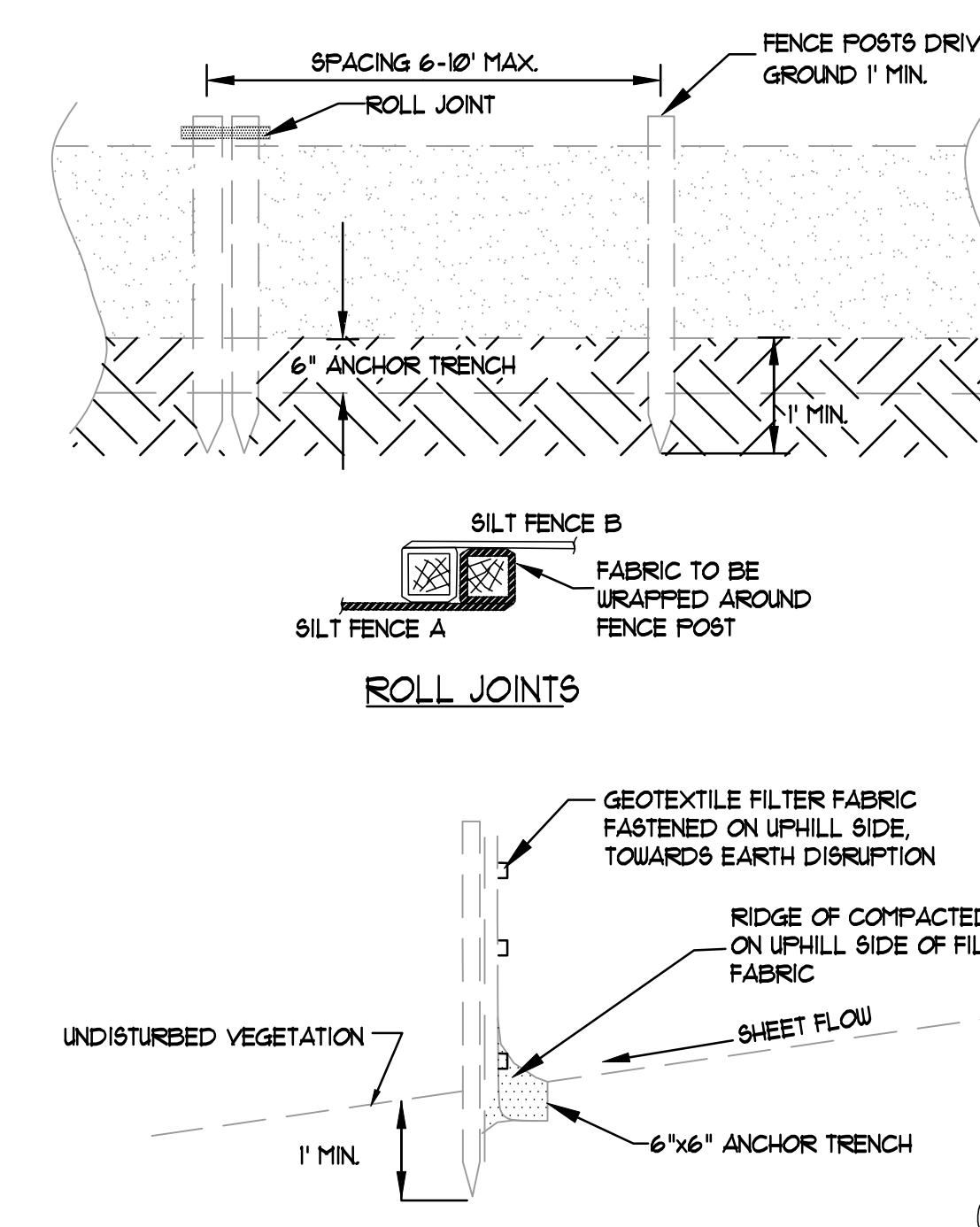
SOILS
CoC - Coloma loamy sand,
6 to 12 percent slopes.

CONSTRUCTION SEQUENCE	APRIL 2021	MAY 2021	JUNE 2021	JULY 2021	AUGUST 2021	SEPTEMBER 2021
TEMPORARY CONTROL MEASURES						
TREE REMOVAL						
TOPSOIL / SEDIMENT CONTROL						
ROUGH GRADING						
SITE UTILITIES						
PAVING AND STRUCTURES						
PERMANENT CONTROL MEASURES						
FINISH GRADING AND SEEDING						



- NOTES:
- ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES.
 - CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS/WATERBODIES.
 - CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION, WITH SEDIMENT SUMP PLACED DOWNFLOW OF CULVERT.

1 Stabilized Construction Access Detail
Not to Scale



2 Silt Fence Detail
Not to Scale

GENERAL EARTHWORK NOTES:

- FOR WORK AT OR ABOVE SUBGRADE ELEVATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED EARTHWORK VOLUMES BASED ON THE GRADING PLAN. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS I ENGINEERED FILL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE HAULING AND SPOILING SOILS OFF-SITE IN THE BID. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO ACHIEVE THE FINISH GRADES SHOWN.
- REFER TO THE SPECIFICATIONS FOR FULL EARTHWORK REQUIREMENTS.
- ALL NEW SIDEWALKS AND PAVEMENTS SHALL BE PLACED AT AN ELEVATION THAT PROVIDES POSITIVE DRAINAGE AND CONSISTENT SLOPES. ENSURE NO LOW SPOTS ARE CREATED. NEW WALKS SHALL MEET EXISTING WALKS FLUSH AT EXISTING GRADE. NOTIFY OWNER AND/OR ENGINEER IF GRADES ON PLAN CANNOT BE MET TO ENSURE POSITIVE DRAINAGE.
- MATCH ADJACENT PAVEMENT GRADES WHERE NEW PAVEMENT BUTTS TO EXISTING PAVING.
- PLACE SILT FENCE ALONG EDGE OF PAVEMENT OR BACK OF CURB FOLLOWING GRADING OPERATIONS UNTIL SLOPES ARE STABILIZED.

GENERAL NOTES

- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CALL "1188 DIG" AND VERIFY ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. AT THE SITE, ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE. USE PRIVATE UTILITY LOCATOR SERVICE FOR ANY UTILITIES 1188 DIG WILL NOT TRACE.
- ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- EROSION SHALL BE CONTROLLED AS SPECIFIED AND AS REQUIRED BY LOCAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION.
- ALL DIMENSIONS ARE GIVEN TO BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE 4" TOPSOIL AND LAWN PER SPECIFICATIONS. SUPPLEMENT WITH IMPORTED TOPSOIL AS REQUIRED TO PROVIDE 4" DEPTH.

BARRIER-FREE NOTES

- BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
 - NO CHANGES IN LEVEL GREATER THAN 1/4" ALONG ACCESSIBLE ROUTE. NO CHANGES IN LEVEL PERMITTED ALONG A RAMP OR LANDING.
 - 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMPS ARE PROVIDED).
 - 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN BF. PARKING AND ACCESSIBLE AREAS.

SESC NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL CONTRACT DOCUMENTS, APPROVED S.E.S.C. PLANS, PERMIT CONDITIONS AND WITH PARTS 31 AND 91 OF PUBLIC ACT 451 OF 1994.
- PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL RETAIN A D.E.Q. CERTIFIED STORM WATER OPERATOR (C.S.W.O.) TO PROVIDE THE REQUIRED S.E.S.C. REPORTS (WHICH INCLUDE THE WEEKLY AND STORM EVENT REPORTS AS WELL AS ALL FOLLOW UP REPORTS FOR BOTH VIOLATIONS AND STORM EVENT CORRECTIONS) ON THE STANDARD D.E.Q. FORM. THE CONTRACTOR SHALL PROVIDE THE REPORTS TO THE OWNER ON A WEEKLY BASIS, AND RETAIN THOSE REPORTS FOR THREE YEARS.
- PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL S.E.S.C. MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS DIRECTED BY THE OWNER IMMEDIATELY PRIOR TO OWNER TAKING RESPONSIBILITY FOR THE SITE. THE CONTRACTOR WILL BE REQUIRED TO CLEAN ALL CATCH BASINS AFFECTED BY THE CONSTRUCTION, BOTH WITHIN THE CONTRACT LIMITS AND ALL SURROUNDING ROADS AND LAWN AREAS WHERE SOIL MAY HAVE SPREAD AS THE RESULT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER, IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
- WATER FROM TRENCHES AND OTHER EXCAVATION SHALL BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
- IF SEDIMENT EXTENDS BEYOND THE PROJECT LIMITS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND RESTORATION OF ALL SURFACES AND UTILITY SYSTEMS TO THE CONDITION THAT EXISTED PRIOR TO THE CONTRACT AWARD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL S.E.S.C. MEASURES ON A DAILY BASIS.
- SHOULD VIOLATIONS BE IDENTIFIED BY THE OWNER, C.S.W.O., M.E.A./C.E.A. OR D.E.Q., THEY SHALL BE CORRECTED WITHIN 24 HOURS OF NOTIFICATION. THE CORRECTION(S) SHALL BE APPROVED BY THE OWNER, C.S.W.O., M.E.A./C.E.A. OR D.E.Q. ALL SUBSEQUENT INSPECTIONS PERFORMED BY THE OWNER, C.S.W.O., M.E.A./C.E.A. OR D.E.Q. AS A RESULT OF THE VIOLATION (AND ANY OTHER ASSOCIATED COSTS) WILL BE PAID BY THE CONTRACTOR. IF IDENTIFIED VIOLATIONS ARE NOT CORRECTED WITHIN 24 HOURS OF WRITTEN NOTICE, THE OWNER WILL MAKE THE REQUIRED REPAIRS WITHOUT FURTHER NOTIFICATION, AT THE CONTRACTOR'S EXPENSE.

STORM STRUCTURE SCHEDULE

KEY	DESCRIPTION	CASTING (OR APPR. EQUAL)	DETAIL
CB #1	4' DIA. PRECAST CATCH BASIN	EJW 1040 WITH M1 GRATE	8 / C60
CB #2	4' DIA. PRECAST CATCH BASIN	EJW 1040 WITH M1 GRATE	8 / C60
CB #3	4' DIA. PRECAST CATCH BASIN	EJW 1040 WITH N GRATE	8 / C60

- SITE INFORMATION
- GREATER THAN 1 MILE TO THE NEAREST WELLHEAD PROTECTION AREA
 - GREATER THAN 500 FEET TO THE NEAREST LAKE / STREAM
 - APPROXIMATELY 20 ACRES OF DISTURBANCE

ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS OF OSHTENO TOWNSHIP, KALAMAZOO COUNTY, AND THE STATE OF MICHIGAN. PROTECTIVE MEASURES AS SHOWN BELOW SHALL BE PROVIDED AT A MINIMUM AND CONFIRMED WITH LOCAL AGENCY REQUIREMENTS.

ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AFTER PERMANENT GROUND COVER IS ESTABLISHED. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION TO THE EXTENT POSSIBLE.

72 HOURS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171



VIRIDIS
Design Group

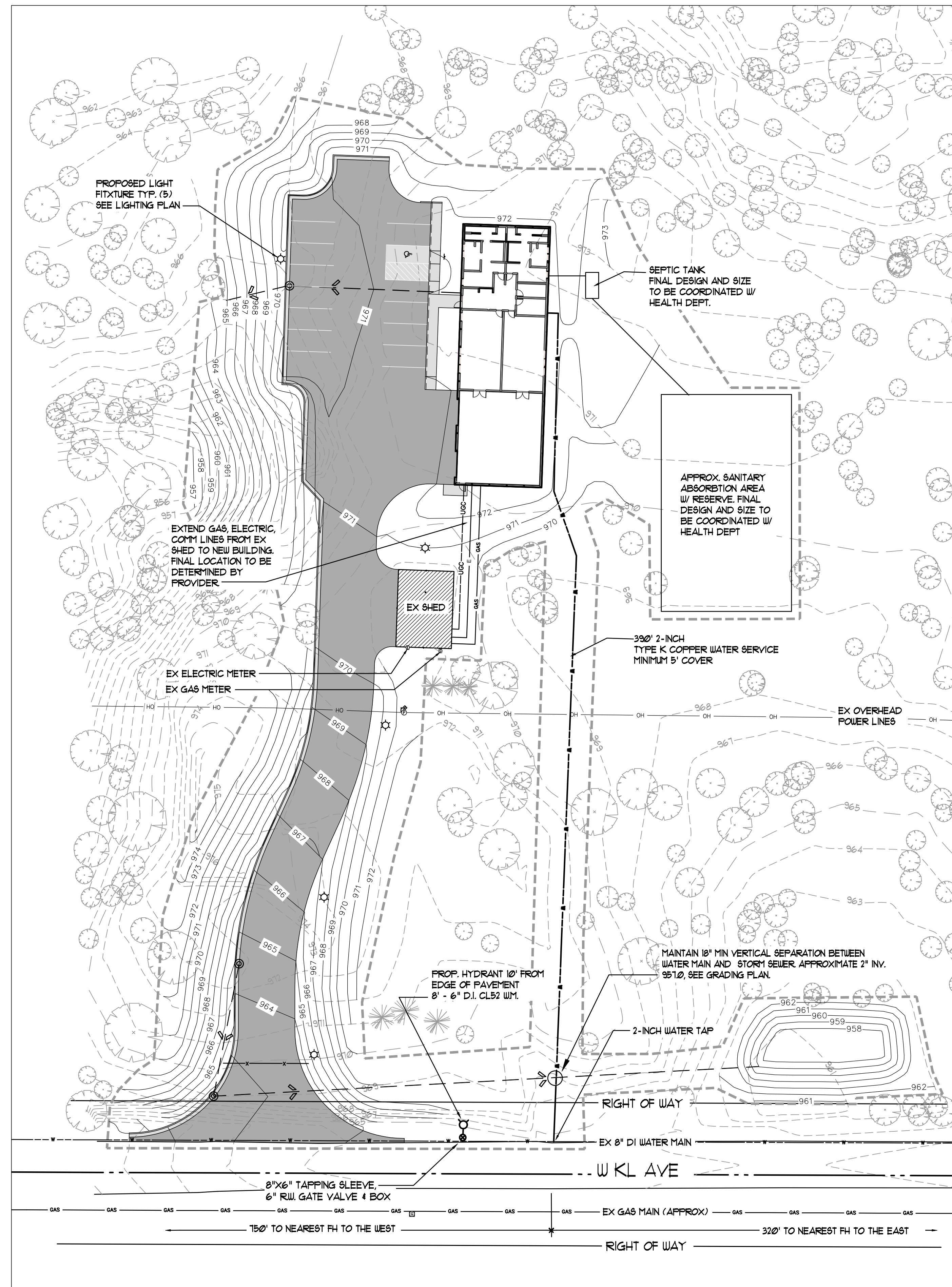
313 North Burdick Street, Kalamazoo, Michigan 49007
(269) 978-5143 (voice) - (866) 683-5060 (fax)
viridis@viridig.com

GRADING AND SESC PLAN
STORAGE / EXERCISE FACILITY
FETZER INSTITUTE
9132 W. KL AVE, KALAMAZOO, MI 49009

Revisions

Site Plan	01/12/21
Site Plan Rev	02/02/21

Sheet
C3.0



UTILITY NOTES

1. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CALL 'MISS DIG' AND VERIFY ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS BEFORE BEGINNING WORK AT THE SITE. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE. USE PRIVATE UTILITY LOCATOR SERVICE FOR ANY UTILITIES MISS DIG WILL NOT TRACE.
2. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
3. EROSION SHALL BE CONTROLLED AS SHOWN ON SHEET C3.0 AND AS REQUIRED BY LOCAL, STATE OR FEDERAL AUTHORITIES HAVING JURISDICTION.
4. ALL WATER MAIN CONSTRUCTION SHALL CONFORM TO TO STANDARDS AND SPECIFICATIONS OF THE CITY OF KALAMAZOO.
5. WATER SERVICE SHALL BE COORDINATED WITH THE CITY OF KALAMAZOO DEPARTMENT OF PUBLIC SERVICES.
6. ONSITE SANITARY DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE KALAMAZOO COUNTY HEALTH DEPARTMENT. CONTRACTOR SHALL OBTAIN PERMIT PRIOR TO INSTALLATION.
7. MAINTAIN 18" CLEARANCE MINIMUM WHERE WATER SERVICE CROSSES STORM OR SANITARY SEWER LINES.
8. MAINTAIN MINIMUM 5' COVER OVER WATER MAIN AND WATER SERVICE.

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UTILITY PLAN
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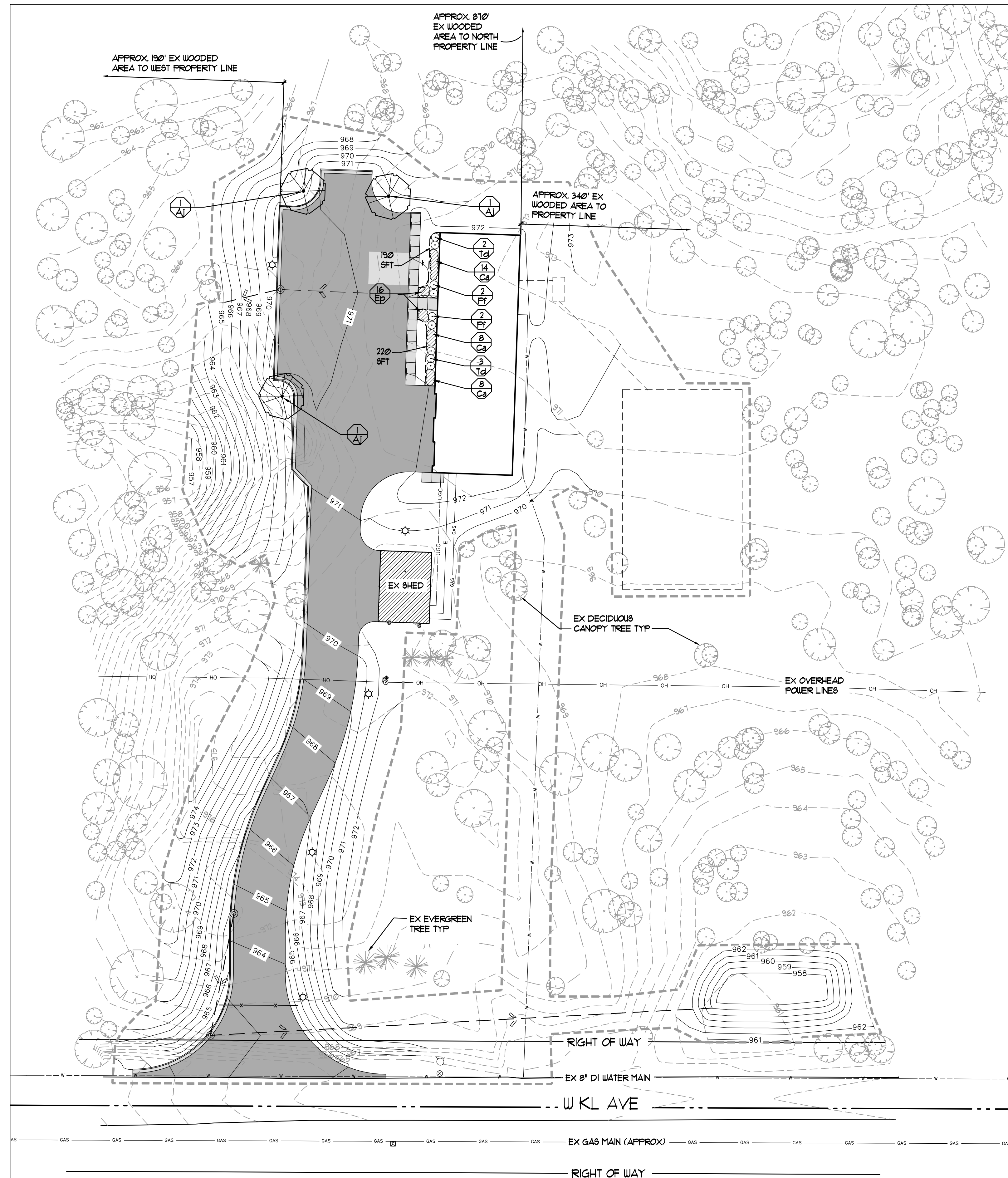
Revisions

Site Plan	01/12/21
Site Plan Rev	02/02/21

Sheet
C4.0

72 HOURS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

SCALE IN FEET



LANDSCAPE NOTES

1. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS 4 TO A 2" DEPTH IN ALL GROUNDCOVER BEDS.
2. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK TO ORIGINAL CONDITION.
3. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
4. PLANTING SOIL MIX SHALL CONSIST OF 50% TOPSOIL, 30% SAND AND 20% LEAF COMPOST. SPREAD PLANTING SOIL MIX TO A DEPTH OF 12 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT.
5. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO PLANTING INSTALLATION.
6. PLACE EROSION CONTROL BLANKET ON ALL SLOPES 1:4 AND STEEPER.
7. ALL NON-PAVED DISTURBED AREAS TO BE SEEDED LAWN.

LANDSCAPE LEGEND

KEY	DESCRIPTION	DETAIL
	PROPOSED DECIDUOUS TREE	4 / C40
	PROPOSED SHRUBS	1 / C40
	PROPOSED PERENNIALS	3 / C40
	LANDSCAPE EDGING	2 / C40

PLANT LIST

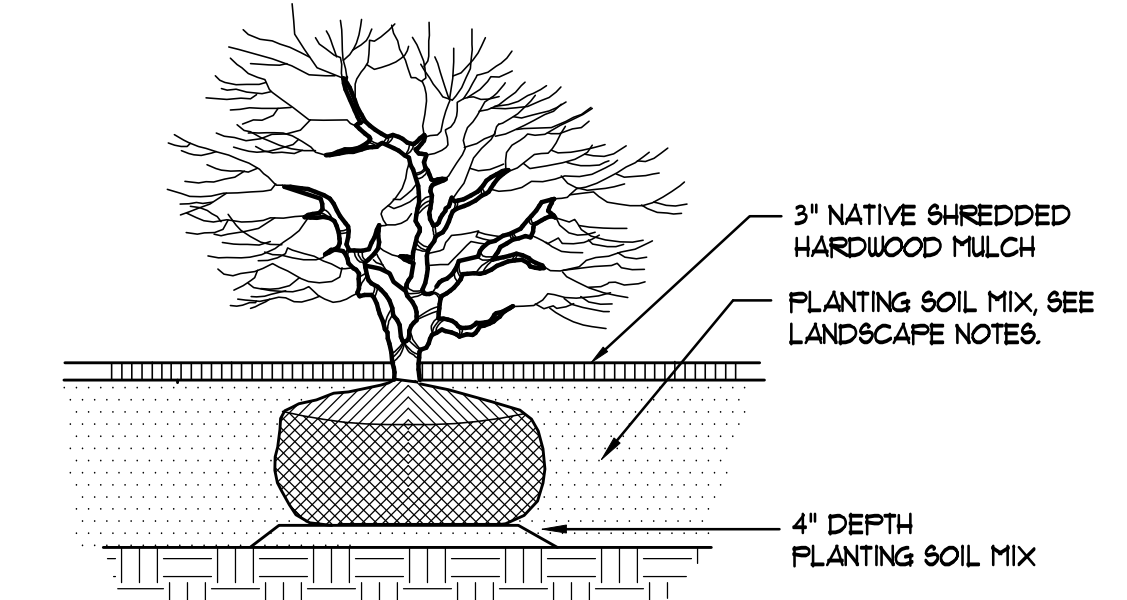
	SYM.	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	COM.
DECIDUOUS TREES	AJ	Acer x freemanii 'Jeffersd'	Autumn Blaze Maple	3	25" Cal.	B4B	
SHRUBS	Pf	Potentilla Fruticosa	Shrubby Cinquefoil	4	2"	Cont.	3' O.C.
	Td	Taxus x Media 'Densiflora'	Dense Yew	5	2"	Cont.	3' O.C.
PERENNIALS	Ca	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	30	36" HT.	Cont.	30" O.C.
ORN. GRASSES & GROUND COVERS	Ep	Echinacea 'Pixie Meadowlark'	Pixie Meadow Coneflower	16	4"	Cont.	24" O.C.

PARKING LOT LANDSCAPING

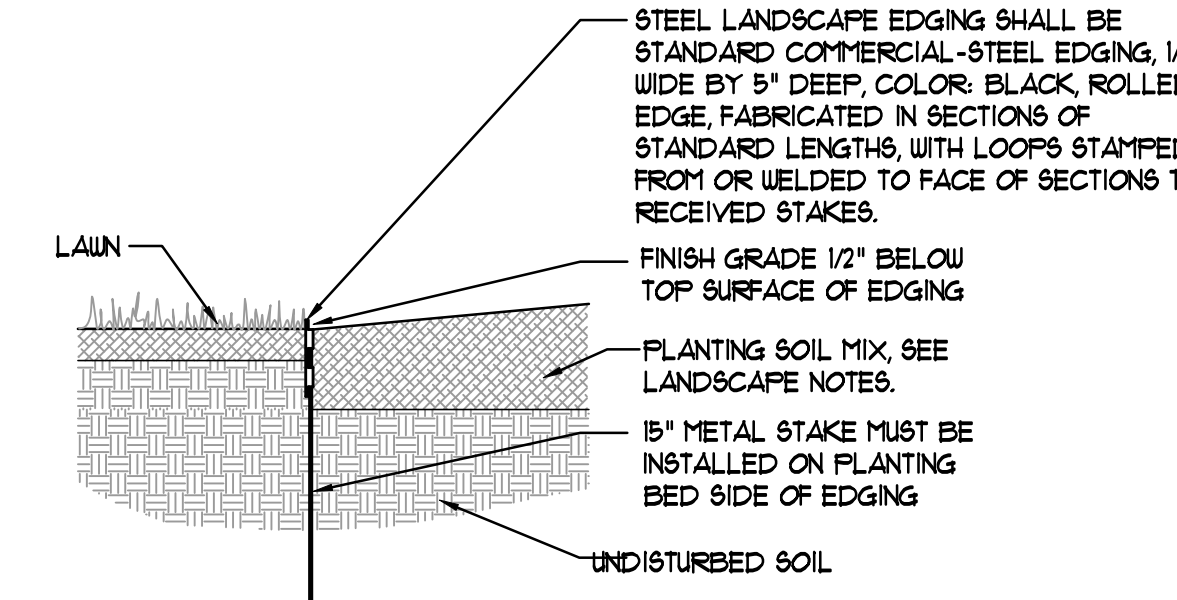
25 SFT PER PARKING SPACE
 16 SPACES X 25 SFT = 400 SFT LANDSCAPING REQUIRED
 410 SFT LANDSCAPING PROVIDED
 1 TREE + 2 SHRUBS PER 200 SFT + 2 TREES + 4 SHRUBS REQUIRED
 3 TREES AND 9 SHRUBS PROVIDED

BUFFER, GREEN BELT, & INTERIOR LANDSCAPING

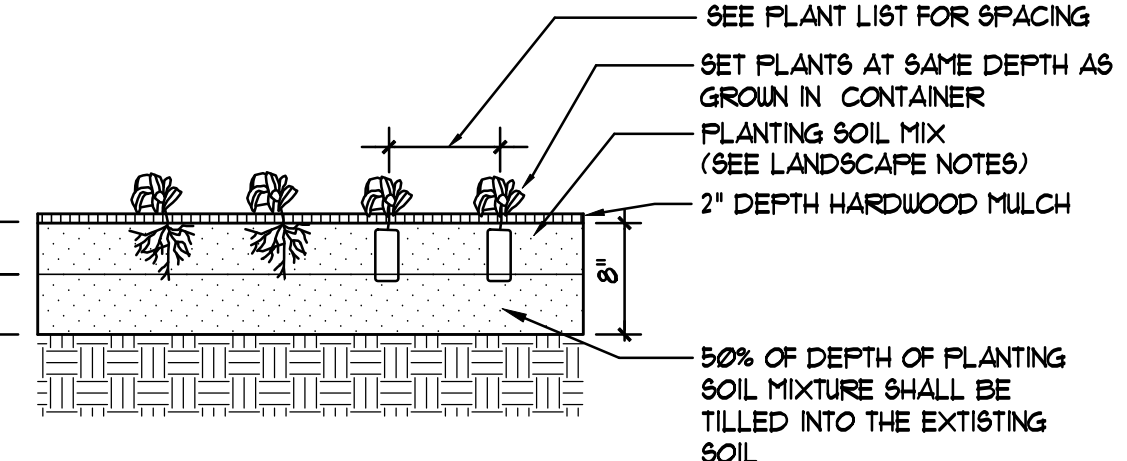
EXISTING WOODED AREAS AND TREES TO BE USED FOR THESE REQUIREMENTS. EXISTING TREES INCLUDE A MIX OF MOSTLY HICKORY, BEECH, WALNUT, MAPLE, PINE AND OAK AND RANGE IN SIZES FROM 6" TO 30"



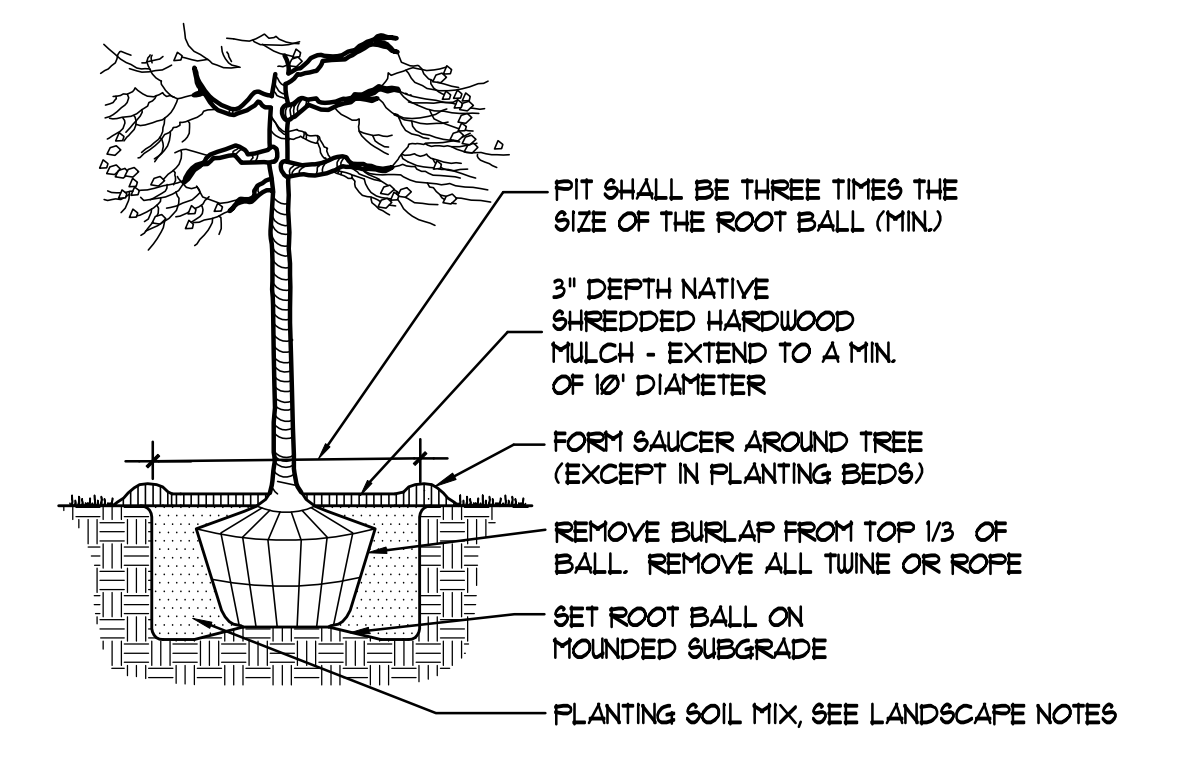
1 Shrub Planting Detail
Not to Scale



2 Metal Edging
Not to Scale

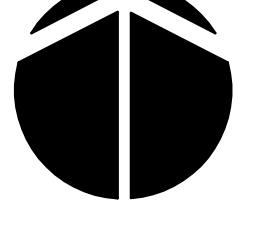


3 Groundcover Planting Detail
Not to Scale



4 Tree Planting Detail
Not to Scale

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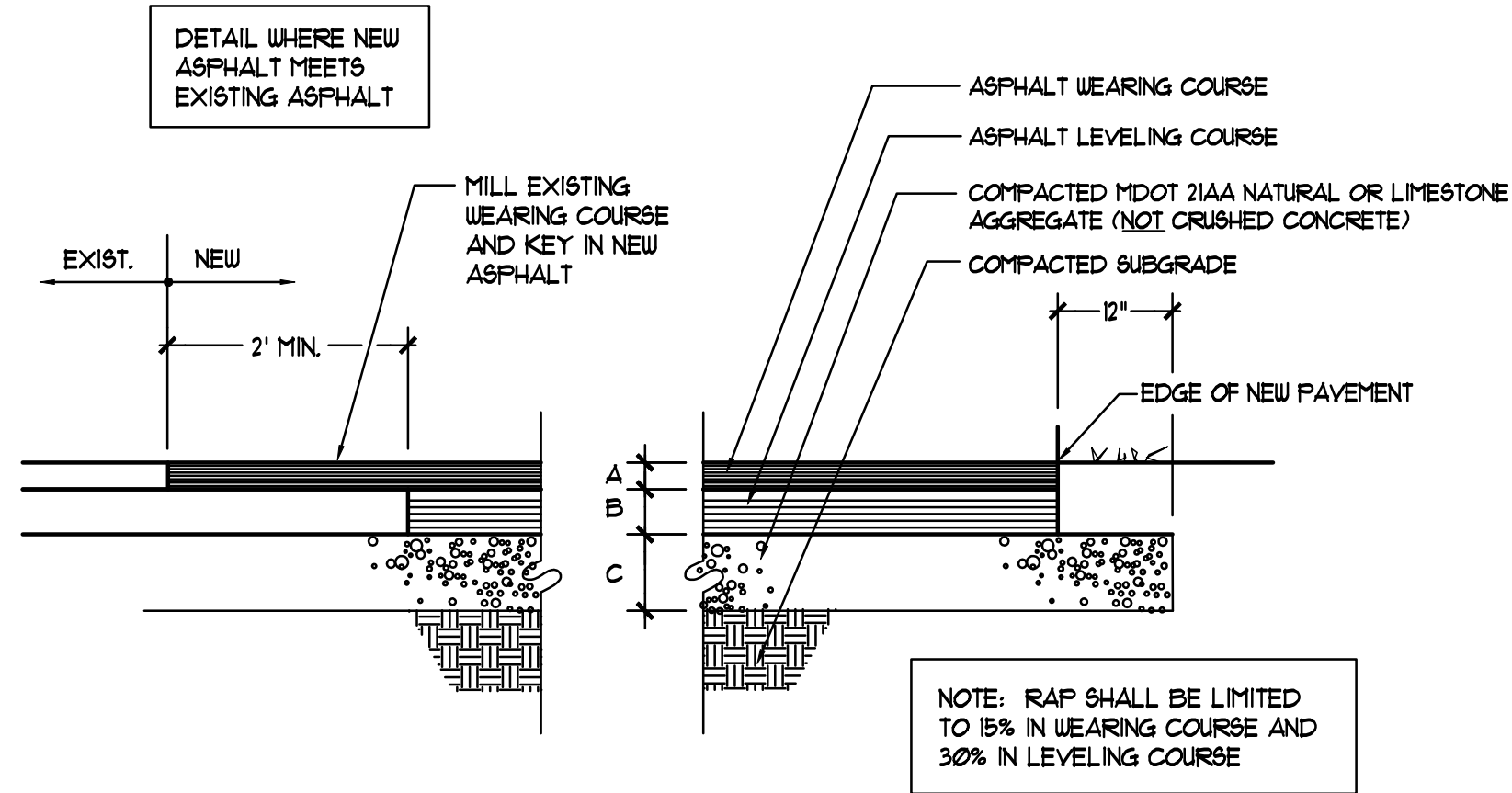
LANDSCAPE PLAN
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Revisions

Site Plan	01/12/21
Site Plan Rev	02/02/21

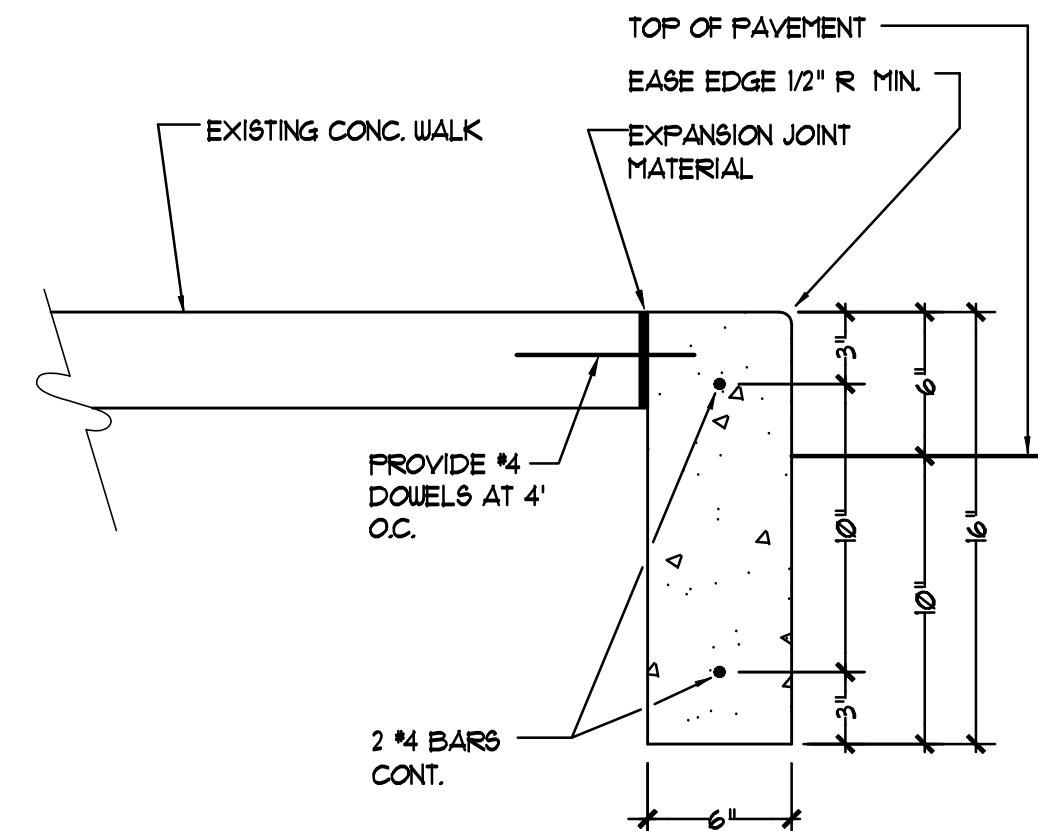
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DIM.	THICKNESS
A	X
B	X
C	X



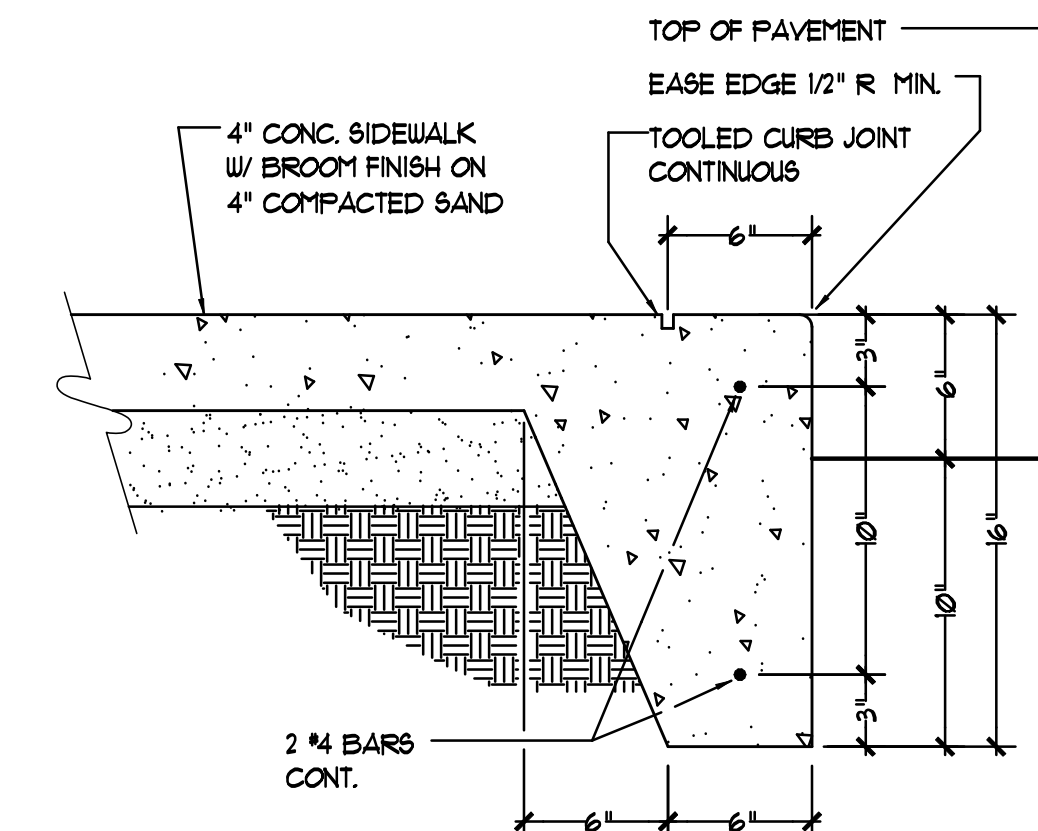
1 Asphalt Paving Detail

Not to Scale



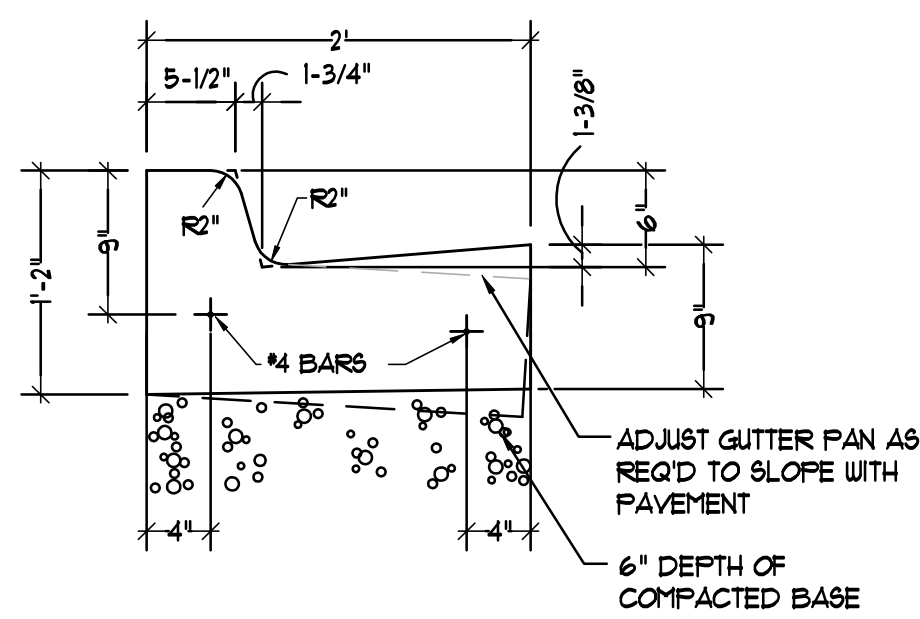
2 Header Curb

Not to Scale



3 Integral Concrete Curb

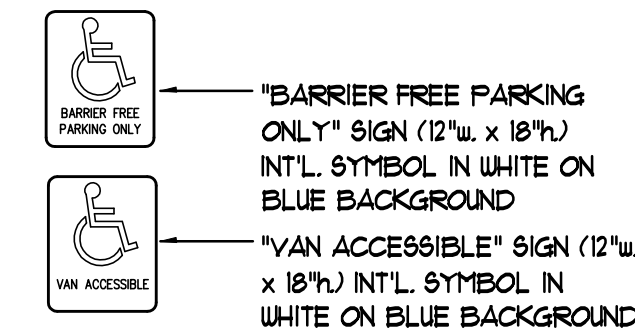
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4 Concrete Curb & Gutter

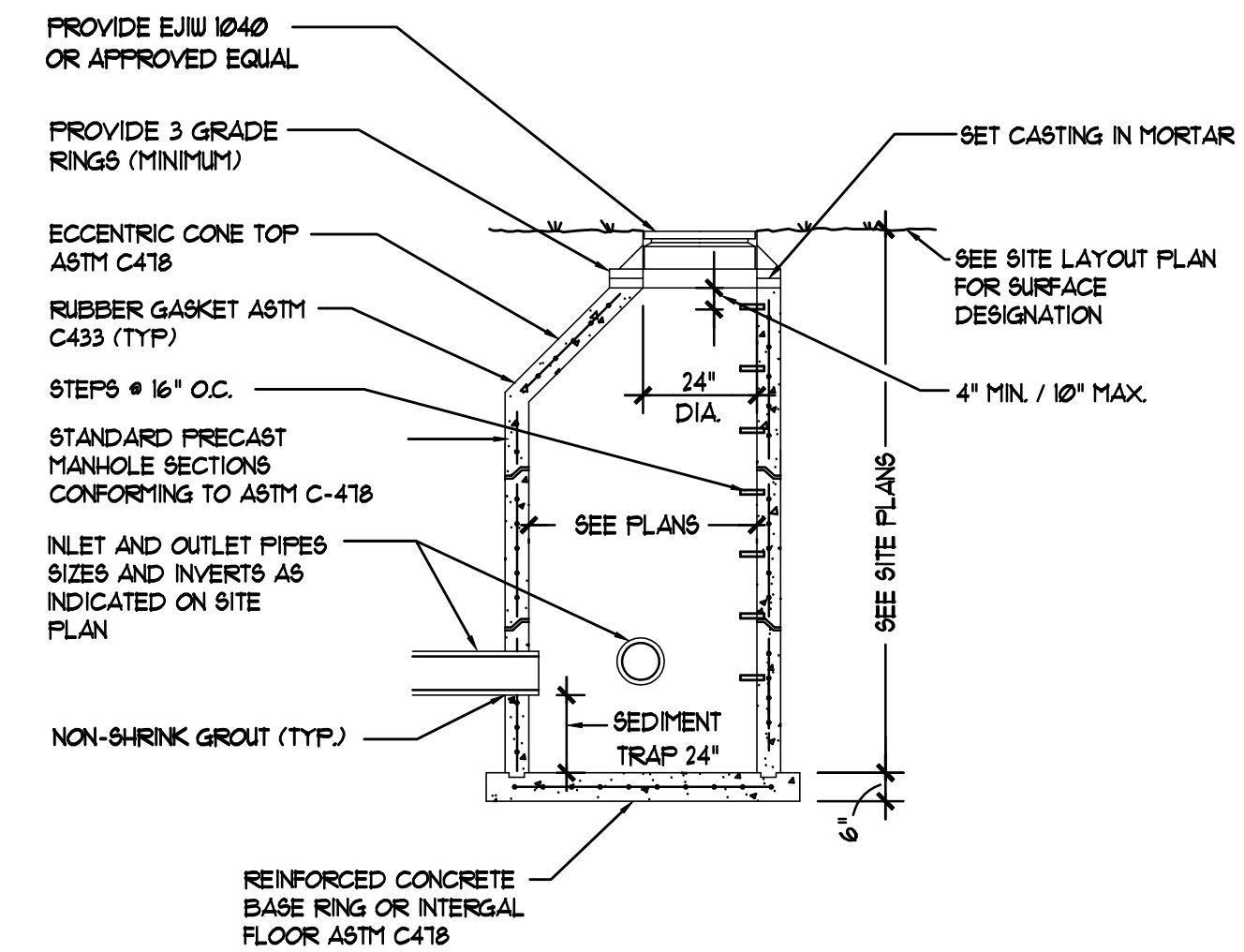
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NOTE: SIGN PANELS SHALL BE 0.080" ALUMINUM WITH 3 MIL REFLECTIVE VINYL LETTERS



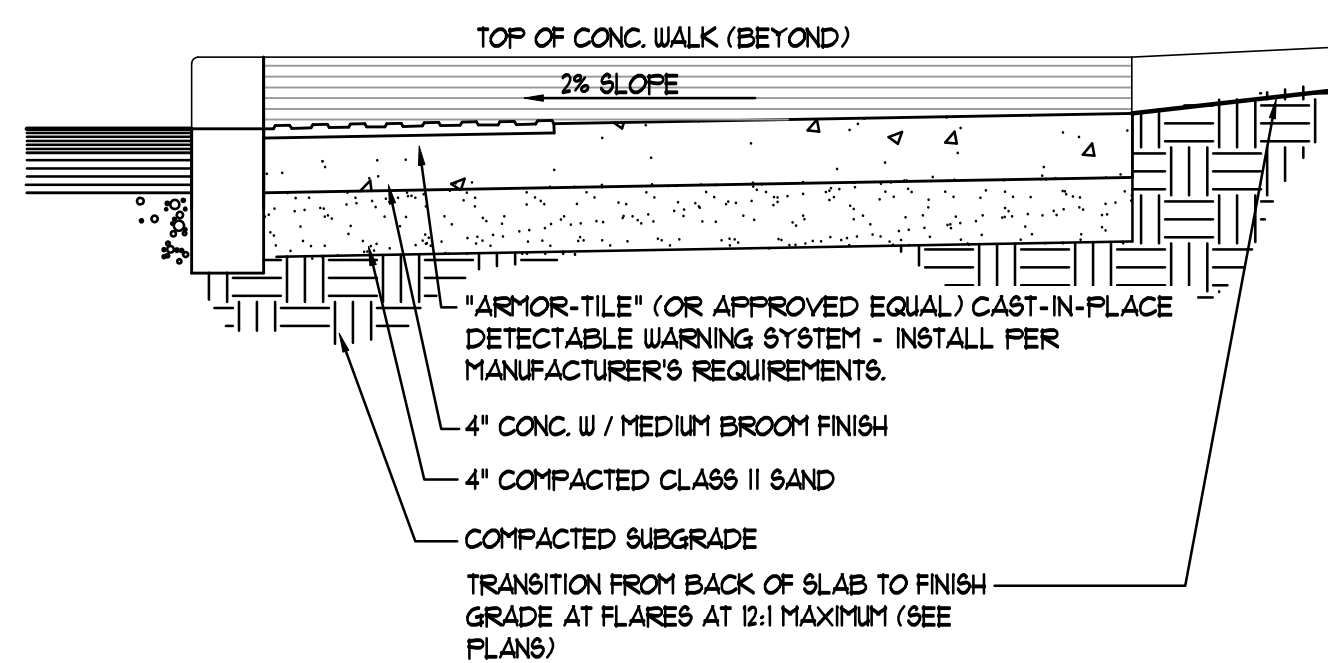
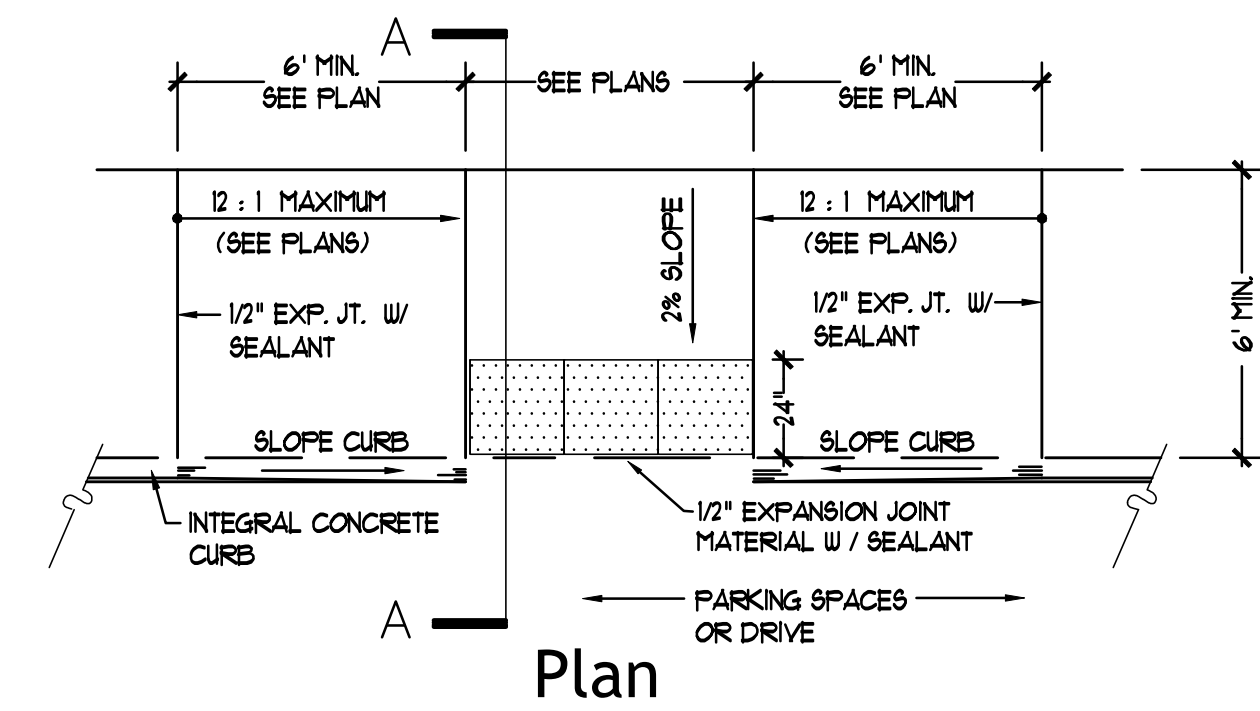
7 Barrier Free Signage Detail

USE CONCRETE FLAT TOP ASTM C418 WHERE ELEVATIONS DICTATE



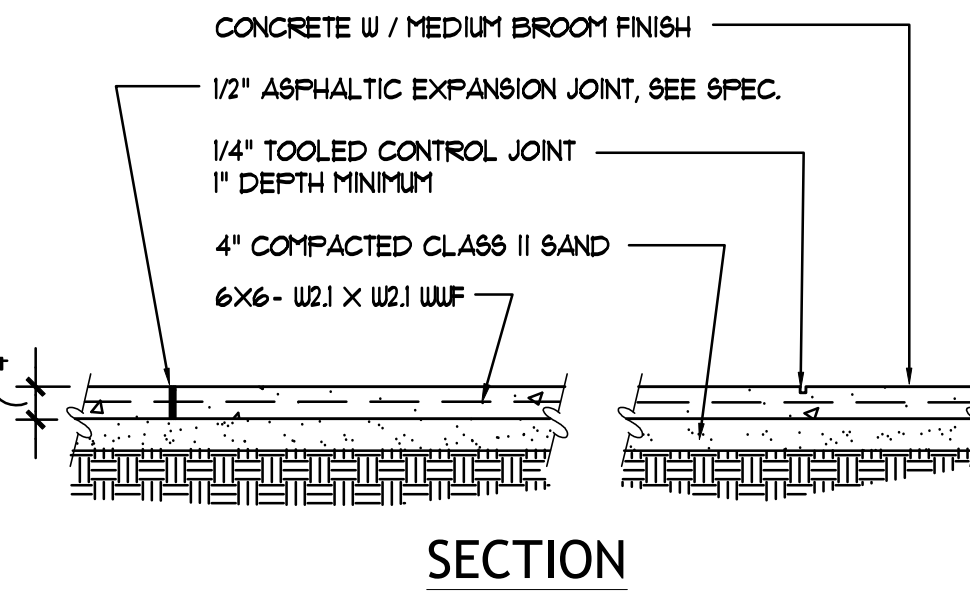
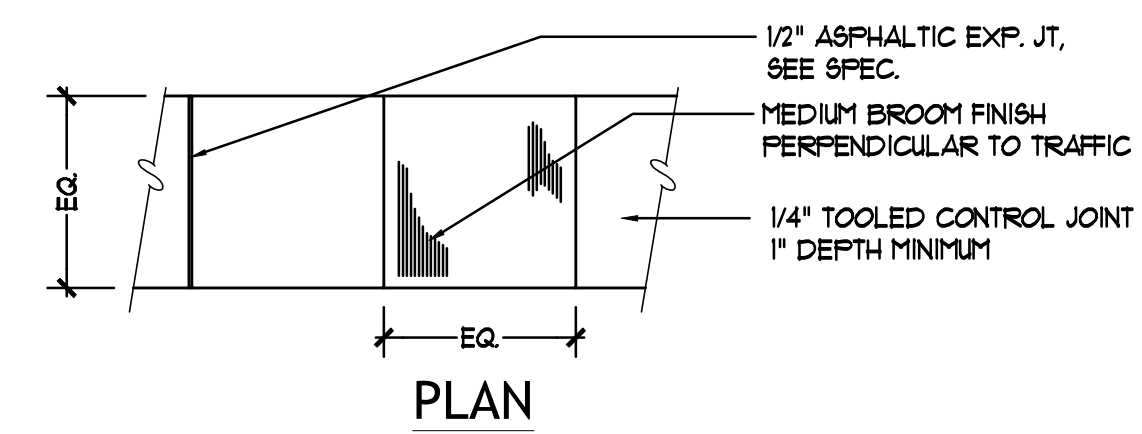
8 Catch Basin Detail

Not to Scale



6 Barrier Free Ramp (Type 2) Detail

Not to Scale



5 Concrete Walk Detail

Not to Scale

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DETAILS

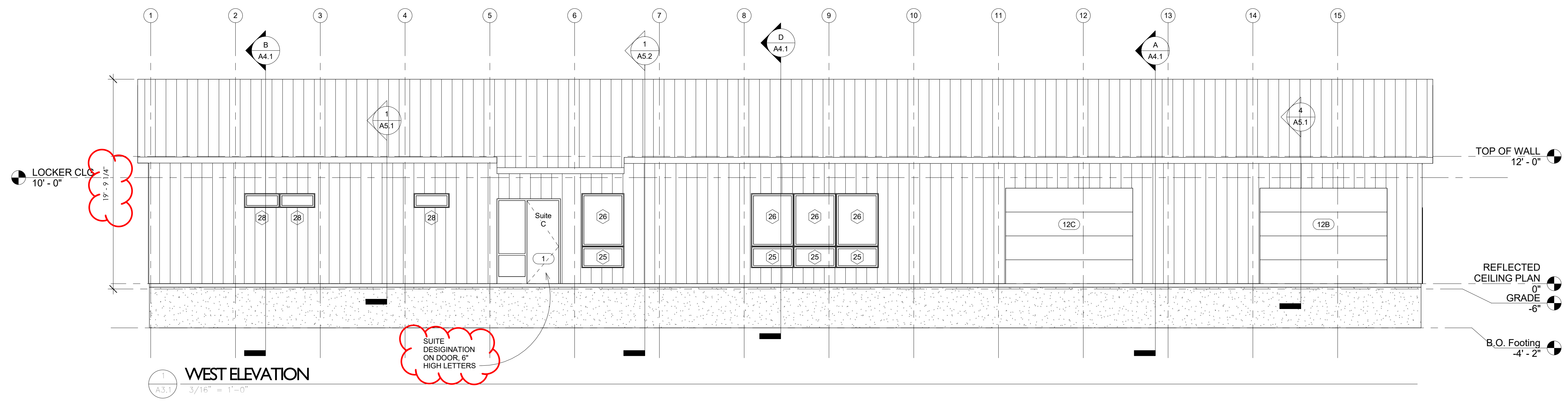
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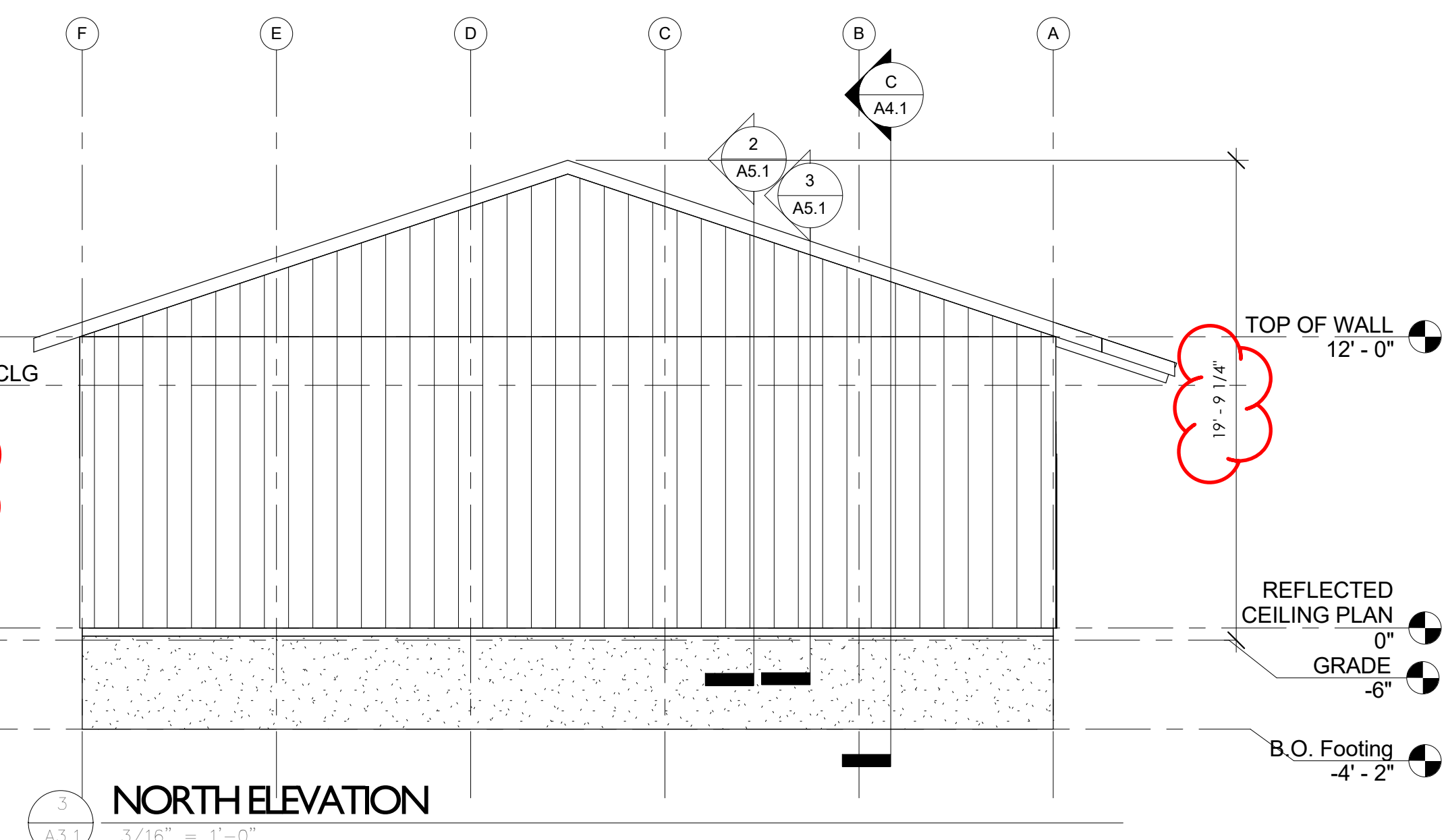
Revisions	
Site Plan	01/12/21
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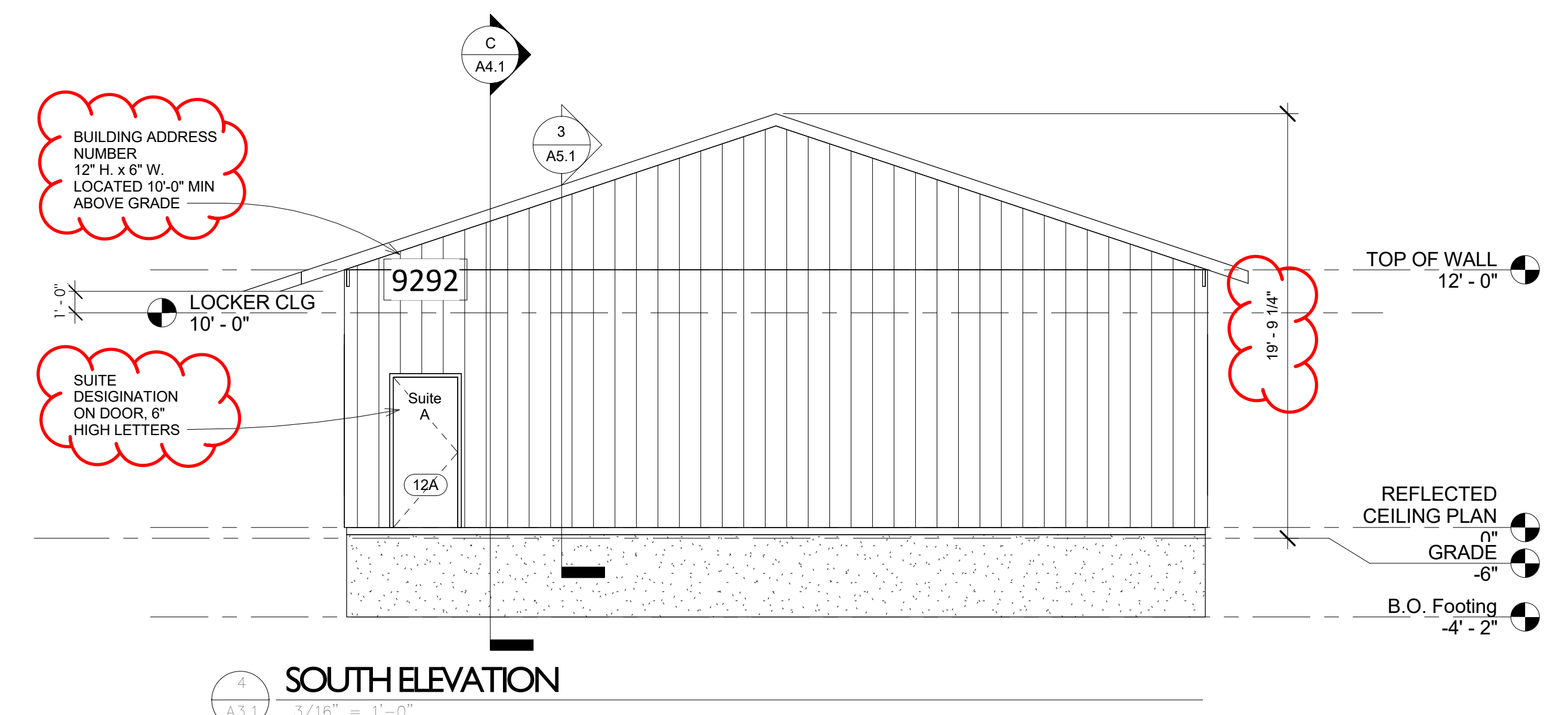
C6.0



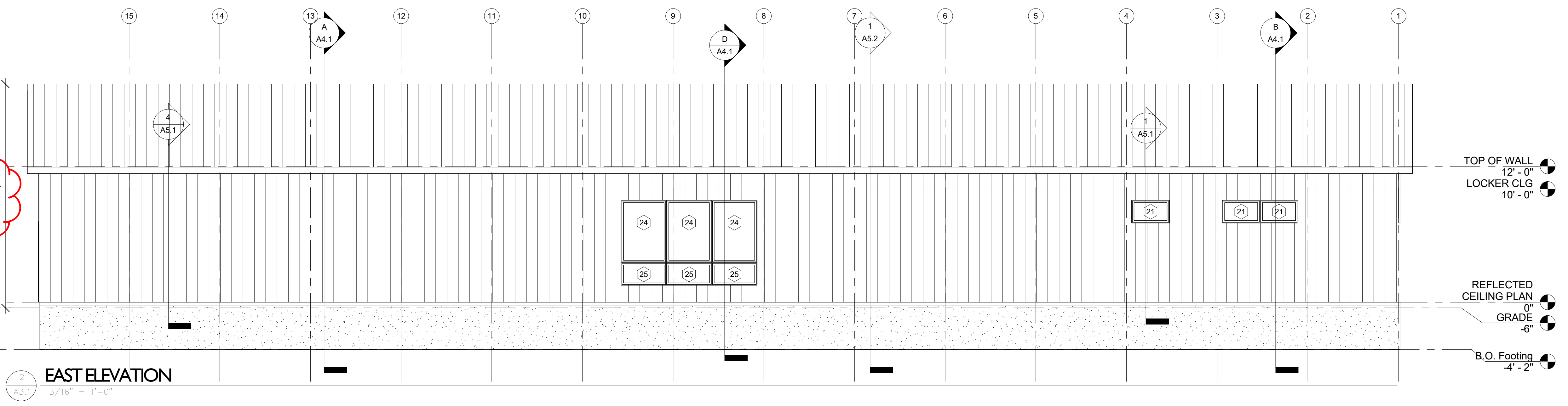
1 WEST ELEVATION
A3.1 3/16" = 1'-0"



3 NORTH ELEVATION
A3.1 3/16" = 1'-0"



4 SOUTH ELEVATION
A3.1 3/16" = 1'-0"



2 EAST ELEVATION
A3.1 3/16" = 1'-0"

BUILDING ADDRESS NOTES:

ALL ADDRESSES TO MEET REQUIREMENTS OUTLINED IN THE OSHTEMO TOWNSHIP ORDINANCE SECTION 57.130

MAIN BUILDING ADDRESS TO BE LOCATED ON SOUTH SIDE OF NEW BUILDING.

NUMBERS TO BE 12" H. x 6" WIDE MOUNTED A MIN OF 10'-0" ABOVE GRADE

DOOR 12A INTO STORAGE AREA TO RECEIVE SIGN 'SUITE A'

DOOR 1 INTO FITNESS CENTER TO RECEIVE SIGN 'SUITE C'

DOOR ON EXISTING SHED TO RECEIVE SUITE 'B'

BECAUSE THE PROPOSED BUILDING IS MORE THAN 200' FROM ROAD AND IS OBSCURED BY VEGETATION, A FREESTANDING SIGN BETWEEN THE STRUCTURE AND THE ROAD, WHILE AND VISIBLE FROM THE ROAD TO BE INSTALLED.

SIGN TO BE MINIMUM THREE FEET IN HEIGHT ABOVE THE ADJACENT ROAD GRADE, TO BE LOCATED AT THE STREET FRONTAGE AS CLOSE TO THE RIGHT-OF-WAY/ROAD EASEMENT BOUNDARY AND ASSOCIATED DRIVEWAY.

ONLY BUILDING ADDRESS NUMBER 9292 SHALL BE ON BOTH SIDES OF SIGN. NO REFERENCE TO BUILDING OWNER OR USE.

Proposed Fitness Center and Storage Building

THE FETZER INSTITUTE

9292 W. KL Avenue
Kalamazoo, MI 49009

REV. 1.29.2021
ADDED INFORMATION FOR BUILDING ADDRESS AND NOTED BUILDING HEIGHT EAVE TO GRADE

revisions

sheet name

EXTERIOR ELEVATIONS

project number

20-20

issue date

PRELIMINARY DESIGN REVIEW
11.24.2020

sheet number

A3.1



- (D) CONCRETE CURB
- (E) HEADER CURB
- (F) BARRIER FREE
- (G) BARRIER FREE
- (H) PAVEMENT MARK
- (J) KEY CARD ACC



#	Date	Comments

Drawn By: M. Wozniacki
 Checked By:
 Date: 2/1/2021
 Scale:

Fetzer Fitness
 4

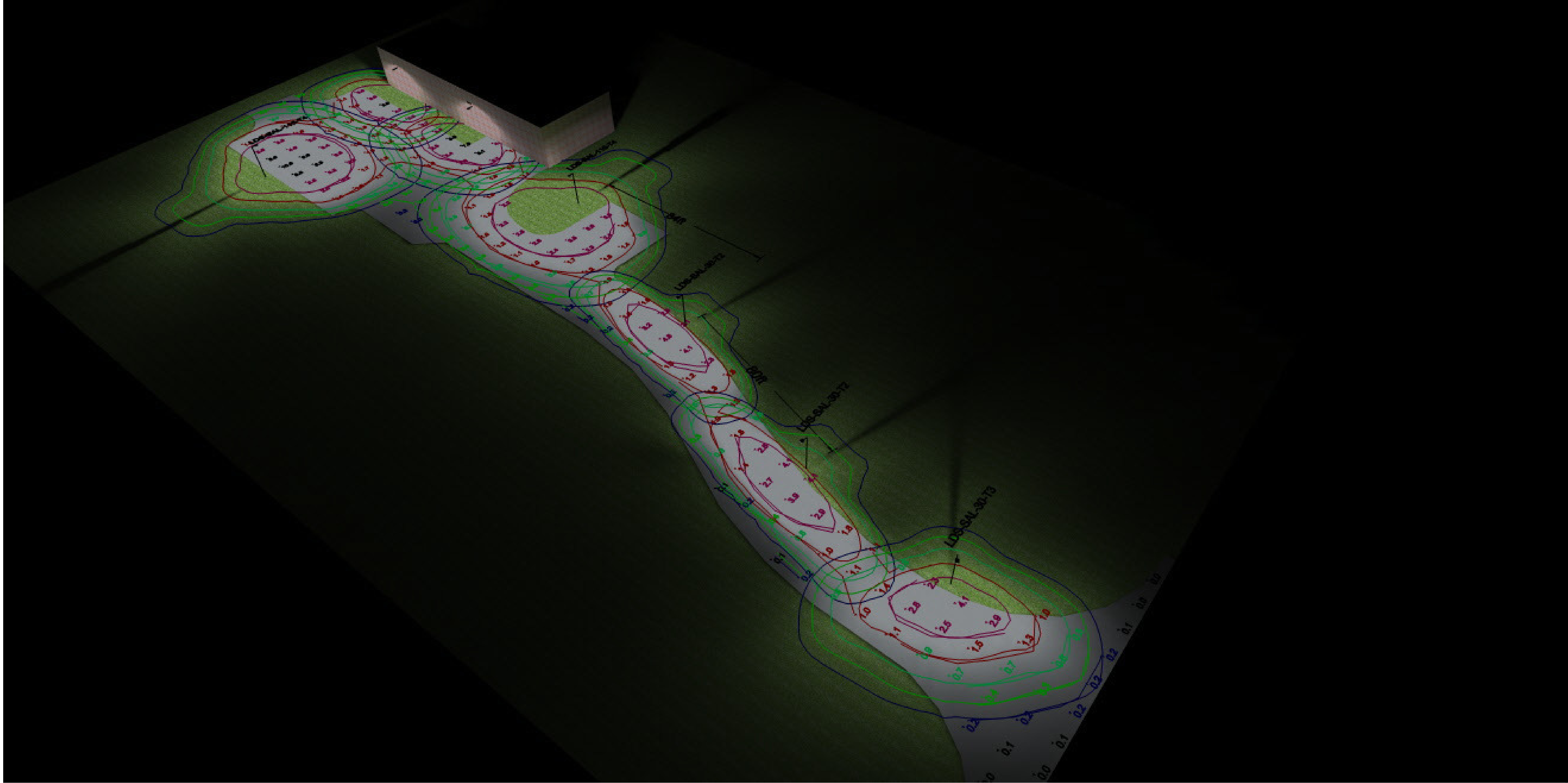
Symbol	Qty	Label	Lum. Lumens	LLF	Description
☐	2	LDS-SAL-110-T4	15952	0.890	LDS-SAL-110-DB-T4-1-NW-MA
☐	2	LDS-SAL-60-T3	8399	0.890	LDS-SAL-60-DB-T3-40-MAS-X
☐	2	LDS-SAL-30-T2	4480	0.890	LDS-SAL-30-DB-T2-1-40-MAS
☐	1	LDS-SAL-30-T3	4541	0.890	LDS-SAL-30-DB-T3-1-40-MAS

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Asphalt Planar	Illuminance	Fc	1.62	10.8	0.0	N.A.	N.A.
PROPERTY-LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

Fixtures: 2 LDS-SAL-110 type 4 2 LDS-SAL-60 type 3
 108 watts; 15,952 lumens 55 watts; 7,310 lumens
 Mounting height: 20 ft Mounting height: 14 ft WALL
 1 LDS-SAL-30 type 3 2 LDS-SAL-30 type 2
 30 watts; 4,541 lumens 30 watts; 4,480 lumens
 Mounting height: 20 ft Mounting height: 20 ft

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

- Illuminance Values**
- 0.2 - 0.29 fc
 - 0.3 - 0.49 fc
 - 0.5 - 0.99 fc
 - 1.0 - 1.99 fc
 - 2.0 - 5.0 fc



Fetzer Fitness

4

Drawn By: M. Wozniicki
 Checked By:
 Date: 2/1/2021

Scale:

Revisions

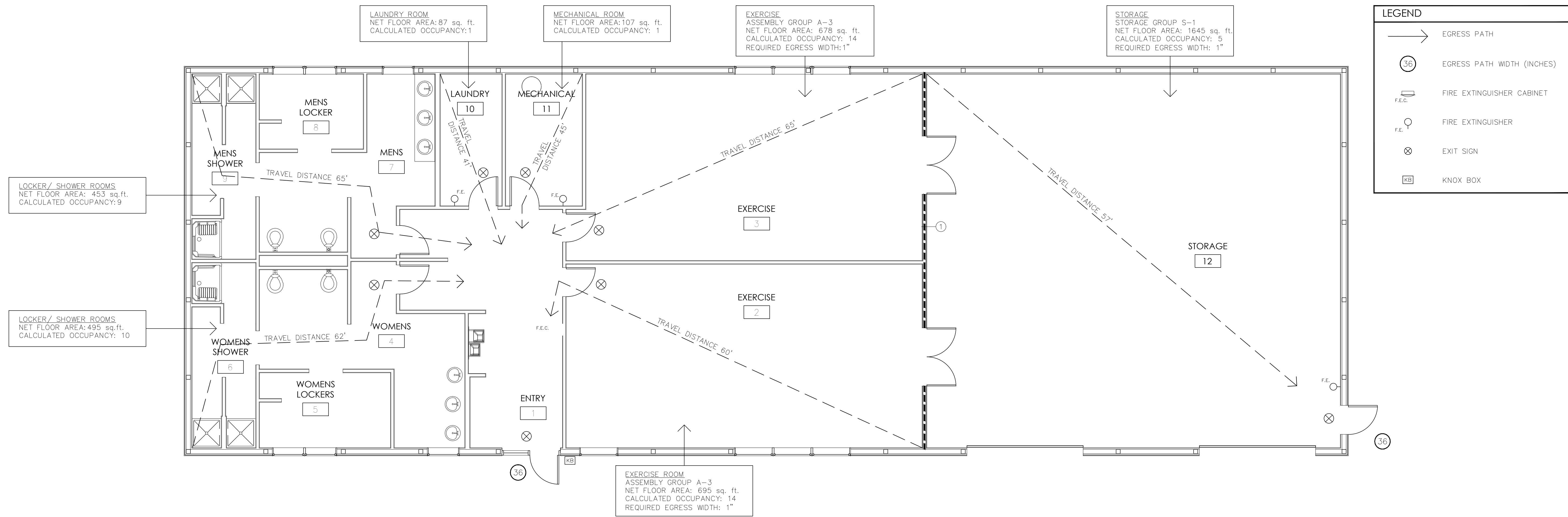
#	Date	Comments

PLUMBING FIXTURE REQUIREMENTS (BASED ON ACTUAL OCCUPANT LOAD)		
	REQUIRED	PROVIDED
WATER CLOSETS	1 PER 125 FOR MEN = 1 REQUIRED 1 PER 65 FOR WOMEN = 1 REQUIRED	2 PROVIDED
LAVATORIES	1 PER 200	3 MEN AND 3 WOMEN PROVIDED
MOP SINKS	1 PER 100	1 PROVIDED
SHOWER		1 EACH B.F. AND 2 EACH STANDARD
ELECTRIC WATER COOLER	1 PER 500	1 HI-LO ELC PROVIDED
SERVICE SINK	1 REQUIRED	1 PROVIDED

APPLICABLE CODES
2015 Michigan Building Code (MBC)
2017 NFPA 70 National Electrical Code (NEC)
2015 Michigan Mechanical Code (MMC)
2015 Michigan Plumbing Code (MPC)
2013 ASHRAE 90.1
OSHTIEMO TOWNSHIP ZONING ORDINANCE

WALL TYPE LEGEND		
VIEW ON PLAN	DETAIL	DESCRIPTION
		EXTERIOR WALL WITH HORIZONTAL METAL SIDING TYPICAL WALL NORTH OF GRID ANGLED WALL <ul style="list-style-type: none"> HORIZONTAL METAL SIDING SYSTEM WITH 1/2" HANGER CLIPS WATERPROOFING MEMBRANE 2" ZIP SHEATHING SYSTEM WEATHER BARRIER 2 x 4 HORIZONTAL GIRTS 5/2" TIMBER POSTS @ 8'-0" O.C. 2 x 4 HORIZONTAL GIRTS 5 1/2" R-21 BATT INSULATION 5/8" GYPSUM WALL BOARD TOTAL R VALUE = R33
		TYPICAL INTERIOR WALL TYPICAL UNLESS NOTED <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2 x 4 WOOD STUDS @ 16" O.C. OR 2 x 6 WOOD STUDS @ 16" FOR PLUMBING WALLS 3" ACOUSTIC INSULATION 5/8" GYPSUM WALL BOARD
		TWO HOUR RATED FIRE SEPARATION WALL <ul style="list-style-type: none"> (2) LAYERS 5/8" GYP. BOARD - TYPE 'X' 2 x 4 WOOD STUDS @ 16" O.C. R-11 BATT INSULATION (2) LAYERS 5/8" GYP. BOARD - TYPE 'X' BASED ON: UL DESIGN NO. U419 53 STC SOUND RAL-TL-11-176

BUILDING CONSTRUCTION INFORMATION		
	ALLOWED / REQUIRED	PROPOSED
FLOOR STRUCTURE	CONCRETE SLAB ON GRADE	
ROOF STRUCTURE	WOOD ROOF TRUSSES	
BEARING WALLS, EXTERIOR	WOOD TIMBER	
NON-BEARING WALLS, INTERIOR	WOOD STUDS AND GYP. BOARD	
CONSTRUCTION TYPE	TYPE V B - NO FIRE SUPPRESSION	
BUILDING HEIGHT - TABLE 504.3	40 FEET	20 FEET
BUILDING STORIES - TABLE 504.4	1 STORY	1 STORY
PRIMARY OCCUPANCIES	ASSEMBLY GROUP A-3 GYMNASIUM STORAGE GROUP S-1 MODERATE HAZARD (FURNITURE)	
ALLOWABLE AREA FACTOR - TABLE 506.2		
ASSEMBLY A-3	6,000 sq. ft.	1,312 sq. ft.
STORAGE S-1	9,000 sq. ft.	1,645 sq. ft.
TOTAL BUILDING FLOOR AREA		4,800 SQ. FT.
ROOM AREAS		
GYMNASIUM/EXERCISE ROOM	FLOOR AREA: 1,373 sq. ft. @ 50 sq. ft. / PERSON CALCULATED OCCUPANCY: 28	
STORAGE ROOM	FLOOR AREA: 1,586 sq. ft. @ 300 sq. ft. / PERSON CALCULATED OCCUPANCY: 5	
LOCKER ROOMS	FLOOR AREA: 941 sq. ft. @ 50 sq. ft. / PERSON CALCULATED OCCUPANCY: 19	
LAUNDRY	FLOOR AREA: 87 sq. ft. @ 300 sq. ft. / PERSON CALCULATED OCCUPANCY: 1	
MECHANICAL	FLOOR AREA: 107 sq. ft. @ 300 sq. ft. / PERSON CALCULATED OCCUPANCY: 1	
CALCULATED OCCUPANT LOAD	54	
OCCUPANCY SEPARATION	PER TABLE 508.4	2 HOURS



Proposed Storage and Fitness Center Building
THE FETZER INSTITUTE
 9292 W. KL AVENUE
 Kalamazoo, MI 49009

revisions	12.2.20
sheet name	CODE COMPLIANCE PLAN
project number	20-02
issue date	PRELIMINARY DESIGN REVIEW 11.24.2020
sheet number	G1.1

Preliminary

12/02/2020